



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Wednesday, July 7, 2021 at 6:00 p.m.**

PUBLIC NOTICE is hereby given that the Vineyard City Planning Commission will hold a regularly scheduled meeting at City Hall, 125 South Main Street, Vineyard, Utah. You can also view the meeting on our [live stream channel](#).

REGULAR SESSION

CALL TO ORDER

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

2. OPEN SESSION - Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.

3. MINUTES REVIEW AND APPROVAL:

3.1 June 16, 2021

4. BUSINESS ITEMS

4.1 Discussion and Action – Utah Community Credit Union Site Plan

- The applicant is requesting approval of a site plan for the Utah Community Credit Union located at 622 N. Mill Rd. Parcel ID 56:038:0001. The Planning Commission will act to approve (or deny) the proposed application.

5. WORKSESSION

6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

7. ADJOURNMENT

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Cache Hancey, Planning Technician, at least 24 hours prior to the meeting by calling (801) 226-1929 or email at cacheh@vineyardutah.org.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices and City Hall, delivered electronically to city staff and each member of the planning commission.

AGENDA NOTICING COMPLETED ON: July 1, 2021

NOTICED BY: /s/ Cache Hancey

Cache Hancey, Planning Technician



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Wednesday, June 16, 2021 at 6:00 p.m.**

Commissioners Present:

Vice-Chair Shan Sullivan
Commissioner Tim Blackburn
Commissioner Anthony Jenkins
Commissioner Amber Rasmussen

Staff Present: Planning Technician Cache Hancey, Planner II Briam Amaya Perez, Community Development Director Morgan Brim, City Engineer Naseem Ghandour, and Building Official George Reid

Others Present: Jesse Allen with GSBS Architects

CALL TO ORDER

Vice-Chair Sullivan called the meeting to order.

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

Commissioner Rasmussen lead the meeting in the pledge of allegiance.

2. OPEN SESSION

No comments were made during the open session.

3. MINUTES REVIEW AND APPROVAL:

3.1 June 2, 2021

 COMMISSIONER JENKINS MOTIONED TO APPROVE THE MINUTES AS RECORDED. COMMISSIONER RASMUSSEN SECONDED THE MOTION. ROLL WENT AS FOLLOWS: VICE-CHAIR SULLIVAN, COMMISSIONER BLACKBURN, COMMISSIONER JENKINS, AND COMMISSIONER RASMUSSEN VOTED AYE. THE MOTION CARRIED UNANIMOUSLY.

4. BUSINESS ITEMS

**4.1 Public Hearing: Zoning Text Amendment (ZTA) Accessory Dwelling Units.
Ordinance 2021-03.**

 Community Development Director Morgan Brim introduced the text amendment. With the recent adoption of House Bill 82, the city code regarding ADU's needs to conform to the updated state requirements. A discussion regarding the changes ensued.

38  COMMISSIONER RASMUSSEN MOTIONED TO OPEN THE PUBLIC HEARING.
39 COMMISSIONER JENKINS SECONDED THE MOTION. ROLL WENT AS FOLLOWS:
40 VICE-CHAIR SULLIVAN, COMMISSIONER BLACKBURN, COMMISSIONER
41 JENKINS, AND COMMISSIONER RASMUSSEN VOTED AYE. THE MOTION
42 CARRIED UNANIMOUSLY.

43
44  COMMISSIONER RASMUSSEN MOTIONED TO CLOSE THE PUBLIC
45 HEARING. COMMISSIONER JENKINS SECONDED THE MOTION. ROLL WENT AS
46 FOLLOWS: VICE-CHAIR SULLIVAN, COMMISSIONER BLACKBURN,
47 COMMISSIONER JENKINS, AND COMMISSIONER RASMUSSEN VOTED AYE. THE
48 MOTION CARRIED UNANIMOUSLY.

49
50  COMMISSIONER BLACKBURN MOTIONED TO RECOMMEND THE
51 ORDINANCE TO CITY COUNCIL. COMMISSIONER RASMUSSEN SECONDED THE
52 MOTION. ROLL WENT AS FOLLOWS: VICE-CHAIR SULLIVAN, COMMISSIONER
53 BLACKBURN, COMMISSIONER JENKINS, AND COMMISSIONER RASMUSSEN
54 VOTED AYE. THE MOTION CARRIED UNANIMOUSLY.

55 56 **4.2 Discussion and Action – 4Life Building Expansion Site Plan and Preliminary Plat**

57
58  Planner II Briam Amaya Perez introduced the applicant and project details. 4Life
59 currently has a building on 1600 N. This site plan and preliminary plat would allow them to
60 combine lots with the empty adjacent lot to build a new structure. The proposed building
61 fulfills all of the Planning Departments requirements and staff recommended approval.

62
63  COMMISSIONER JENKINS MOTIONED TO RECOMMEND APPROVAL OF THE
64 PRELIMINARY PLAT TO CITY COUNCIL. COMMISSIONER RASMUSSEN
65 SECONDED THE MOTION. ROLL WENT AS FOLLOWS: VICE-CHAIR SULLIVAN,
66 COMMISSIONER BLACKBURN, COMMISSIONER JENKINS, AND COMMISSIONER
67 RASMUSSEN VOTED AYE. THE MOTION CARRIED UNANIMOUSLY.

68
69  COMMISSIONER JENKINS MOTIONED TO RESCIND THE PREVIOUS MOTION
70 DUE TO A CLERICAL ERROR. COMMISSIONER RASMUSSEN SECONDED THE
71 MOTION. ROLL WENT AS FOLLOWS: VICE-CHAIR SULLIVAN, COMMISSIONER
72 BLACKBURN, COMMISSIONER JENKINS, AND COMMISSIONER RASMUSSEN
73 VOTED AYE. THE MOTION CARRIED UNANIMOUSLY.

74
75  COMMISSIONER JENKINS MOTIONED TO RECOMMEND APPROVAL OF THE
76 PRELIMINARY PLAT TO CITY COUNCIL WITH CONDITIONS LISTED IN THE
77 STAFF REPORT. COMMISSIONER RASMUSSEN SECONDED THE MOTION. ROLL
78 WENT AS FOLLOWS: VICE-CHAIR SULLIVAN, COMMISSIONER BLACKBURN,
79 COMMISSIONER JENKINS, AND COMMISSIONER RASMUSSEN VOTED AYE. THE
80 MOTION CARRIED UNANIMOUSLY.

82  COMMISSIONER BLACKBURN MOTIONED TO APPROVE THE 4LIFE SITE
83 PLAN WITH THE LISTED CONDITIONS IN THE STAFF REPORT. COMMISSIONER
84 RASMUSSEN SECONDED THE MOTION. ROLL WENT AS FOLLOWS: VICE-CHAIR
85 SULLIVAN, COMMISSIONER BLACKBURN, COMMISSIONER JENKINS, AND
86 COMMISSIONER RASMUSSEN VOTED AYE. THE MOTION CARRIED
87 UNANIMOUSLY.
88

89 5. WORKSESSION

90  No items were addressed during the work session.
91

92 6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION 93 DISCLOSURE

94  Mr. Brim updated the Commission on the staff process of selecting a consulting firm
95 to redesign the waterfront area. There will be a vote in City Council on June 23, 2021 to
96 confirm the staff's recommendation. In two weeks, there will be an update about the active
97 transportation plan.
98

99 Vice-Chair Sullivan asked staff about the missing connection in the bike path near Sunset
100 Beach. Mr. Brim asked if City Engineer Naseem Ghandour could have an update regarding
101 that in the coming weeks.
102

103 Commissioner Blackburn thanked the Commission for reading a letter he wrote regarding
104 the Clegg Farm Development in the previous City council Meeting.
105

106 7. ADJOURNMENT

107  COMMISSIONER JENKINS MOTIONED TO ADJOURN. COMMISSIONER
108 BLACKBURN SECONDED THE MOTION. ROLL WENT AS FOLLOWS: VICE-
109 CHAIR SULLIVAN, COMMISSIONER BLACKBURN, COMMISSIONER JENKINS,
110 AND COMMISSIONER RASMUSSEN VOTED AYE. THE MOTION CARRIED
111 UNANIMOUSLY.
112

113
114 **Minutes Approved On:**
115

116 **Certified Correct By:** /s/ Cache Hancey
117 Cache Hancey, Planning Technician
118

Community Development

Date: July 07, 2021
From: Briam Amaya Perez, Planner II
To: Planning Commission
Item: UCCU Vineyard Office Site Plan Application
Address: 622 N Mill Rd, Vineyard, Utah, 84059
Applicant: Bruce Fallon, WPA Architecture
Owner: Utah Community Federal Credit Union (UCCU)



ANALYSIS

The applicant, Bruce Fallon (WPA Architecture), is representing UCCU in their request for approval of a site plan at The Yard 'Plat A' Subdivision. This parcel lies adjacent to Mill Rd and 650 N and situated just northwest of the Megaplex Theatres at Geneva. The site measures 0.93 ac (40,387 SF) and is zoned Regional Mixed-Use (RMU). The proposed building footprint measures 0.06 ac (2,770 SF). UCCU is a financial company or corporation providing the extension of credit, and the custody, loan, or exchange of money. This is an out-right permitted use within the RMU Zoning District. The RMU Zoning District is intended to provide commercial, employment, and residential uses...with intensities and densities that promote a mix of day and nighttime activities. Developments within this district shall be compatible with surrounding existing and planned land uses. This zoning district also encourages a combination of land uses in a horizontal or vertical, mixed-use development pattern.

The proposed parking and sidewalk areas measures 0.55 ac (24,357 SF); and the total landscape area measures 0.30 ac (13,260 SF).

FINDINGS

The proposed site plan application meets the spirit and intent of the Vineyard Zoning Code (VZC).

STAFF RECOMMENDATION

Staff is recommending approval of the site plan with the conditions listed below.

CONDITIONS

1. A third wall sign on one of the four exterior elevations shall not be approved until the applicant applies for and is approved for a sign standard waiver.
2. The applicant pays any outstanding fees and makes any redline corrections.
3. The applicant is subject to all federal, state, and local laws.

PROPOSED MOTION

"I move to approve the site plan as requested by Bruce Fallon (WPA Architecture) with the proposed conditions."

ATTACHMENTS

Site Plan

Exterior Elevations

Landscaping Plan

Analysis	
Zoning	Regional Mixed-Use (RMU)
Use	Financial Services
Lot Size	0.93 ac (40,387 SF)
Building Square Footage	0.06 ac (2,770 SF)
Building Height	Allowed: 60' Actual: 26'
Minimum Front Yard	Required: 25' Actual: 30'
Minimum Rear Yard	Required: NA Actual: NA
Minimum Side Yard for Interior Lots	Required: 15' Actual: 27.5'
Minimum Side Yard for Corner Lots	Required: NA Actual: NA
Landscaping	Minimum Required: 10% Actual: 32.8%
Parking Stalls	Per VZC 15.38.030(2)(c) 'Nonresidential Uses Financial Services: One (1) space per 150 SF of Floor Area $2770+330=3,100$ SF/150=20.6 required stalls (21); includes one (1) ADA van accessible stall Total Provided: 21

ADA Parking Stalls		Minimum Required: 1	
VZC 15.36 Site Planning and Building Design Requirements			
Category	Standard	Staff Comments	Compliance
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and <i>useable</i> parks and open spaces.	The applicant has provided usable park space east of the primary building that will serve as a public gathering space.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a Building Design	The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures blend harmoniously with the natural environment.	The structure possesses creative and varied building shapes and configurations. Both form and space are given shape and scale in the design process. Variation in building materials has been accomplished.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of	The proposed design recesses and projects building elements to avoid flat monotonous facades. Varied roofline patterns also create visual interest.	☒ Yes ☐ No ☐ N/A

	proposed buildings and structures		
15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.v Architectural details	Surface details, ornaments, and other building elements that enrich the character of a building are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged: - Stonework	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	- Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures.		
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building	NA	☐ Yes ☐ No ☒ N/A
15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.	NA	☐ Yes ☐ No ☒ N/A
15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining	All mechanical equipment shall be located on the roof and will be screened on all four sides through parapet walls.	☒ Yes ☐ No ☐ N/A

	properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.		
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.5.d Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and muted colors that blend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.		
15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable	NA	☐ Yes ☐ No ☒ N/A
15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and provide open space and to protect views . The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.9.a.ii.	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing, or planned to be located on adjacent properties.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.10 Site Access	The location and number of access points to the site, the	The applicant has provided numerous pedestrian and	☒ Yes

	interior circulation pattern, and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.	vehicular access points to the site.	☐ No ☐ N/A
15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.12 Views	Due to the community quality and character created by the surrounding scenic beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.	NA	☐ Yes ☐ No ☒ N/A
15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.	NA	☐ Yes ☐ No ☒ N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant "xeriscape" landscaping is encouraged. Landscaping improvements may also include berms, contouring, rocks, and boulders.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.		
15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that are compatible with the residence.	NA	☐ Yes ☐ No ☒ N/A
15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be “down lighting” so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	no light is allowed to spill or trespass onto adjacent properties.		
15.36.030.17. a.	Warming lighting colors are encouraged. Blue-white colors or fluorescent and mercury vapor lamps are prohibited.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits . All parking area lighting shall be integrated with landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.		☒ Yes ☐ No ☐ N/A
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein		☒ Yes ☐ No ☐ N/A
17.36.030.c	All sign materials shall be compatible with building materials and colors. The		☒ Yes ☐ No ☐ N/A

	illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.				
VZC Chapter 15.38 Parking and Loading Requirements					
Category	Standard			Staff Comments	Compliance
15.38.030.1.e Parking Stall Dimensions	Type	Width	Length	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
	Standard	9 ft	20 ft		
	Parallel	8 ft	24 ft		
	The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).				
15.38.030.1.f. Parking Aisle Dimensions	Angle	1way Aisle	2way Aisle	The aisle between the angled parking and the drive thru aisle does not meet the 24' minimum	☐ Yes ☒ No ☐ N/A
	90 deg.	24 ft	24 ft		
	60 deg.	18 ft	22 ft		
	45 deg.	18 ft	20 ft		
	30 deg.	18 ft	20 ft		
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.			The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.h. Within Structures	The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to				☐ Yes ☐ No ☒ N/A

	comply with the required off-street provisions of this Section		
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.	NA	☐ Yes ☐ No ☒ N/A
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination there-of at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.i. Parking Area Landscaping	5% of the gross parking surface area shall be of disperse interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs: 1) 5' by 5' tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces. 2) Min. 5' wide landscape medians	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	with trees planted 40 feet apart 3) Min. 5' wide landscape islands and peninsulas with at least 1 tree 4) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.		
15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.iii.	Access drives, internal circulation drives, parking area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.	The site is not greater than one (1) acre.	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.v.	Joint use of parking is encouraged in order to		☐ Yes

	reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.		☐ No ☒ N/A
15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.viii.	All sites shall meet the requirements of the Americans with Disabilities Act ("ADA")	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.		☐ Yes ☐ No ☒ N/A
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and	The proposed site plan meets this requirement.	☒ Yes ☐ No

	vehicular traffic to the extent possible.		☐ N/A
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.		☐ Yes ☐ No ☒ N/A
15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.		☐ Yes ☐ No ☒ N/A
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.		☐ Yes ☐ No ☒ N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		

15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		
15.38030.1.s.iv.	All canopies shall include a fascia		
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		
15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Medical Offices and Clinics: 1 space per 200 SF of floor area.		☐ Yes ☐ No ☒ N/A
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the various uses computed separately.		☐ Yes ☐ No ☒ N/A
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed-use development may reduce the amount of required parking by 10% if the project is a mixed use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.		☐ Yes ☐ No ☒ N/A
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the		☐ Yes ☐ No ☐ N/A

	various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.		
15.38.030.2.f. Joint Use Parking			☐ Yes ☐ No ☒ N/A
15.38.030.2.g. Offsite Parking			☐ Yes ☐ No ☒ N/A
15.38.040 Off-Street Loading Requirements			☐ Yes ☐ No ☒ N/A
VZC Chapter 15.40 Landscaping			
Category	Standard	Staff Comments	Compliance
15.40.080.1.a. Landscape Improvements and Guarantees	All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner <i>may</i> approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.		
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.	All trees proposed in the plant schedule meet this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.		
15.40.080.1.g. Irrigation Standards			
15.40.080.1.h. Separate Connection			
15.40.080.1.i. Soil Preparation			
15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.l. Detention Basins			☒ Yes ☐ No ☐ N/A
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater		☐ Yes ☐ No ☒ N/A

	than 5% of the net site area, whichever is greater.		
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area. For the purposes of this section, landscape areas shall also include plazas.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.2.d.	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.3.a. Landscaped Buffers	A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that		☐ Yes ☐ No ☒ N/A

	no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of this Section.		
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15-foot interval of the property boundary being screened.		☐ Yes ☐ No ☒ N/A
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.5. Building Foundations	For each elevation visible from a public or private street, a minimum of 5-foot foundation planting area shall be provided.		☒ Yes ☐ No ☐ N/A
15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet		☐ Yes ☐ No ☒ N/A

15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.		☒ Yes ☐ No ☐ N/A
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VZO: Special Purpose Zoning Districts – Chapter 2 Regional Mixed-Use District			
Standard	Standard	Staff Comments	Compliance
2.08.1.a. Project Characteristics	Multiple buildings which may accommodate one or more uses	The proposed site plan meets this requirement.	☐ Yes ☒ No ☐ N/A
2.08.1.b.	Buildings on the site connected by internal streets and drives, and pedestrian connections and pathways		☐ Yes ☐ No ☒ N/A
2.08.1.c.	At least one major private or public space, such as a plaza, park, town square, or other gathering space	A public gathering space has been provided to the east of the primary building.	☒ Yes ☐ No ☐ N/A
2.08.2. Minimum Acreage	The minimum acreage required for a Development Plan shall be ten (10) acres; provided, however, that a parcel of less than 10 acres may be approved, subject to compliance with all provisions of this ordinance and approval by the City Council	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
2.08.4. Non-Residential	There is no limit on the intensity of non-residential units as long as each development complies with the development standards of the approved	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	development plan and the requirements herein.		
2.08.5. Building Height	Maximum allowed: 60 FT	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
2.08.6. Setbacks	Arterial – 25 feet Collector – 20 feet Local – 15 feet	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
2.08.7. Compatibility Requirements	Development shall be compatible with and preserve the character and integrity of adjacent land uses, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent land uses. These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, buffer yards, alteration of building mass, and the addition of landscaping, walls, or both to ameliorate such impacts.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
2.08.8. Separation Between Industrial Uses			☐ Yes ☐ No ☒ N/A

2.08.9.a.i. Mixed Use Requirements	Each development shall be designed in such a way that it is well integrated within adjacent land uses . Integrated means that uses are within a comfortable walking distance (1/4) mile and are connected to each other with direct, convenient, and attractive pedestrian pathways ; or the proposal contains a superior way to achieve the above criteria.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
2.08.9.a.ii.	Projects shall develop a comprehensive open space network that uses plazas and other open space elements to connect uses. Open space areas and the paths link them shall facilitate the integration of adjacent land uses on the site.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
2.08.9.a.iii.	Each development shall provide an on-site system of pedestrian walkways and/or public sidewalks throughout the RMU district. Connections shall be made to provide direct pedestrian and bicycle travel from within the development to adjacent uses and/or sites, transit stops, perimeter sidewalks, major destinations. In order to provide efficient pedestrian connections to adjacent destination,	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	the City may require additional sidewalks, walkways, or bike paths not associated with a street, or the extension of a sidewalk from the end of a cul-de-sac to another street or walkway. Specifically, onsite pedestrian connections shall be provided to an between the following points: 1) The primary entrance or entrances to each building 2) Existing or planned transit stops, stations, and park-n-rid location 3) Trail systems, where determined appropriate either by the City based on the Master Trails Plan. 4) On-site amenities 5) Adjacent development		
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SITE DATA

SITE COVERAGE:	
TOTAL SITE AREA	40,381 SQ. FT. (0.93 ACRES)
OFFICE BUILDING FOOTPRINT	2,710 SQ. FT. (6.9 PERCENT)
PARKING & DRIVEWAYS	24,357 SQ. FT. (60.3 PERCENT)
LANDSCAPING	13,260 SQ. FT. (32.8 PERCENT)

PARKING (VINEYARD CODE 15.38.0303 (2) (c)).
FINANCIAL SERVICES:
(1) SPACE PER 150 SQ. FT. OF FLOOR AREA
2,710 ÷ 330 = 8,100 ÷ 150 = 20.6 STALLS REQUIRED (21 STALLS)

TOTAL PROVIDED:
21 STALLS, INCLUDING (1) VAN ACCESSIBLE STALL

ZONING: RMU (REGIONAL MIXED USE)

GENERAL NOTES

- A. DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED W/ SIMILAR FEATURES AND MATERIALS AS THE MAIN BUILDING. A CHAIN LINK GATE W/ PRIVACY SLATS AND LATCHING SYSTEM SHALL ALSO BE PROVIDED. THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED AT THE SAME TIME AS THE MAIN BUILDING.
- B. PARKING STRIPING SHALL BE PAINTED YELLOW. DIRECTIONAL ARROWS AND CROSSWALK SHALL BE PAINTED WHITE.

SHEET NOTES

- EXISTING CURB & GUTTER TO REMAIN
- PLANTER AREA - SEE LANDSCAPE DWG'S
- EXISTING CITY SIDEWALK TO REMAIN
- CAST-IN-PLACE DRIVEWAY PER CITY STANDARDS - SEE CIVIL DWG'S
- CAST-IN-PLACE CURB AND GUTTER - SEE DETAIL 3/A1.3 AND CIVIL DWG'S
- ASPHALT PARKING LOT - SEE CIVIL DWG'S
- 4" WIDE PARKING LOT STRIPING (TYP.)
- CLEAR VISION TRIANGLE PER CITY STANDARDS
- MONUMENT SIGN BY OWNER
- CONCRETE PAVING
- ACCESSIBLE ACCESS AISLE - PROVIDE DIAGONAL STRIPING @ 36" O.C.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY, TYP.
- ACCESSIBLE PARKING SIGN TYP. - SEE DETAIL 6/A1.3
- BIKE RACK - SEE DETAIL 11/A1.3
- CONTROL JOINT, TYP. - SEE DETAIL 12/A1.3
- CAST-IN-PLACE CONCRETE ISLAND - SEE DETAIL 13/A1.3
- CONCRETE FILLED METAL BOLLARD, PAINT - SEE SHEET A1.3
- ITM MACHINE - OWNER PROVIDED and INSTALLED. WIRING BY CONTRACTOR
- CONCRETE ISLAND w/ THICKENED EDGES AT BOLLARD LOCATIONS - SEE DETAIL 13/A1.3
- CAST-IN-PLACE CONCRETE RAMP
- PAINTED CROSSWALK MARKINGS
- OUTLINE OF ROOF OVERHEAD
- 4" CONCRETE OVER GRAVEL BASE INFILL @ DRIVE-UP
- PORTION OF CONC. ISLAND TO BE 16" THICK TO ACCOMMODATE ATM EQUIPMENT AND PROTECTIVE BOLLARDS
- CAST-IN-PLACE CONCRETE CURB RAMP - SEE CIVIL DWG'S
- EXISTING CURB RAMP
- DIRECTIONAL ARROW PAINTED ONTO ASPHALT PAVING
- TRANSFORMER - SEE ELECTRICAL DWG'S
- EXISTING POWER BOX
- EXISTING COMMUNICATION RISER
- EXISTING COMMUNICATION VAULT (FLUSH)
- DUMPSTER ENCLOSURE w/ GATE
- NIGHT DEPOSITORY
- EXPANSION JOINT
- 35'-0" FLAG POLE
- LINE OF CANOPY ABOVE
- STORM DRAIN INLET - SEE CIVIL DWG'S
- ACCESSIBLE CURB RAMP - SEE DETAIL 2/A1.2
- SITE LIGHTING - SEE ELECTRICAL DWG'S
- GAS METER - SEE CIVIL DWG'S
- BENCH
- EXISTING CROSSWALK
- REMOVE PORTION OF EXISTING SIDEWALK. REPLACE w/ STAMPED CONCRETE CROSSWALK TO MATCH EXISTING CROSSWALKS.



Date: 07.02.2021

Revision:

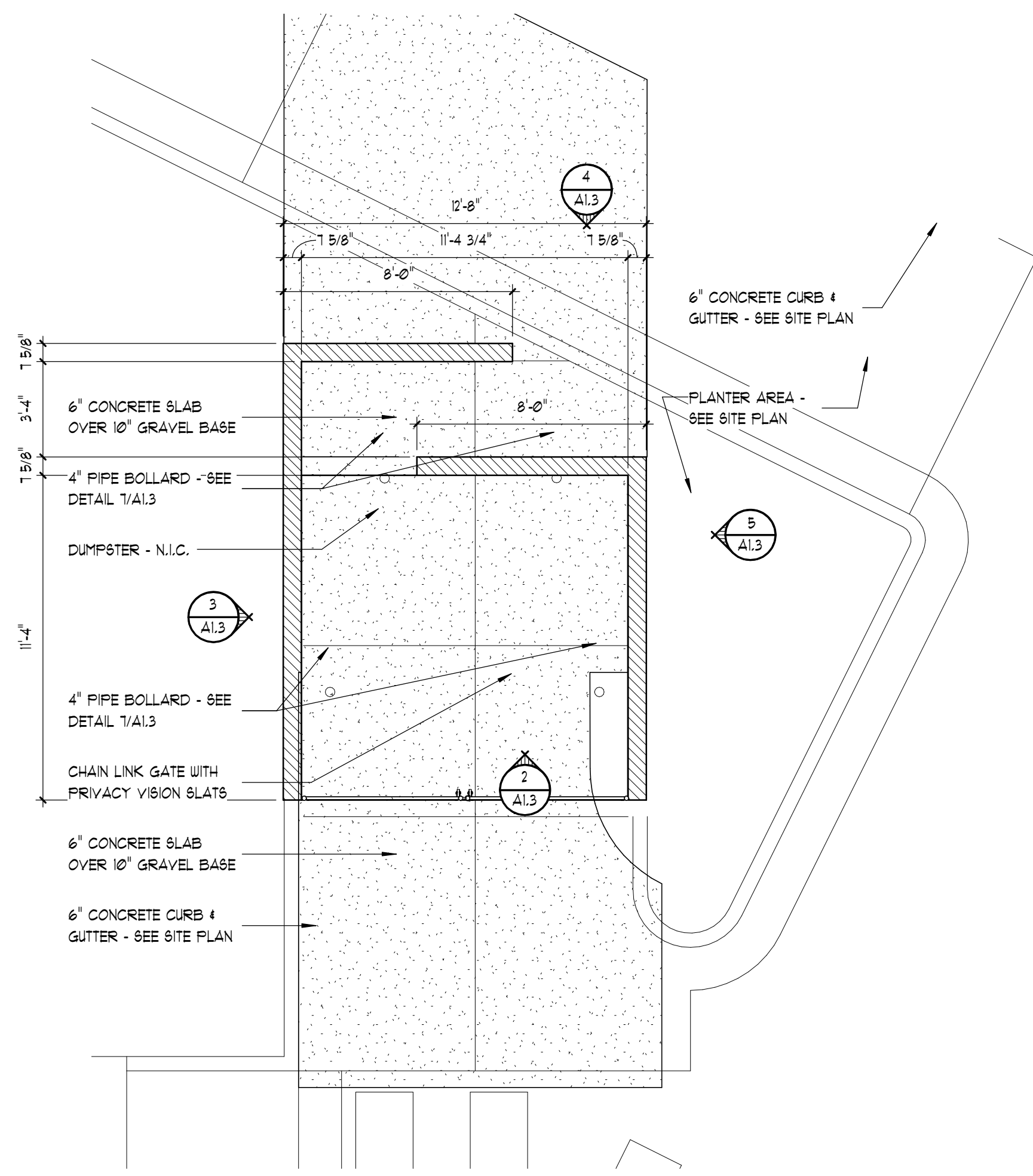
Alan R. Poulsen
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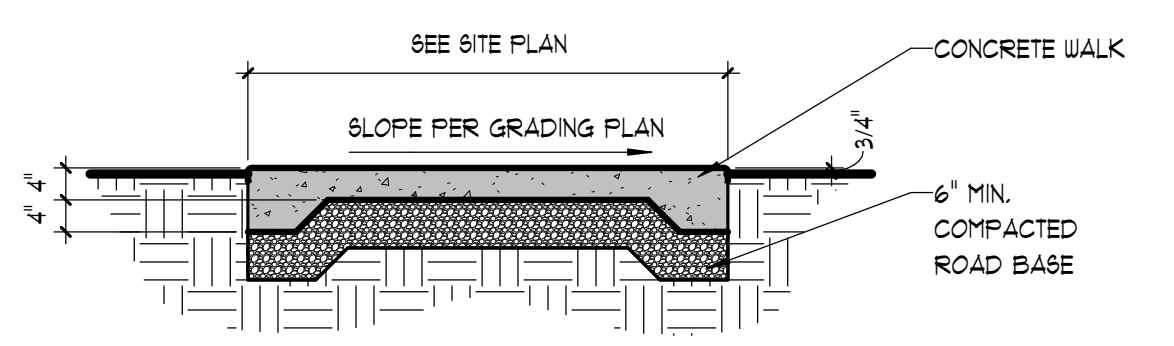
UCCU
VINEYARD BRANCH and OFFICE
622 North Mill Road
Vineyard, Utah 84058

Utah
Community
CREDIT UNION

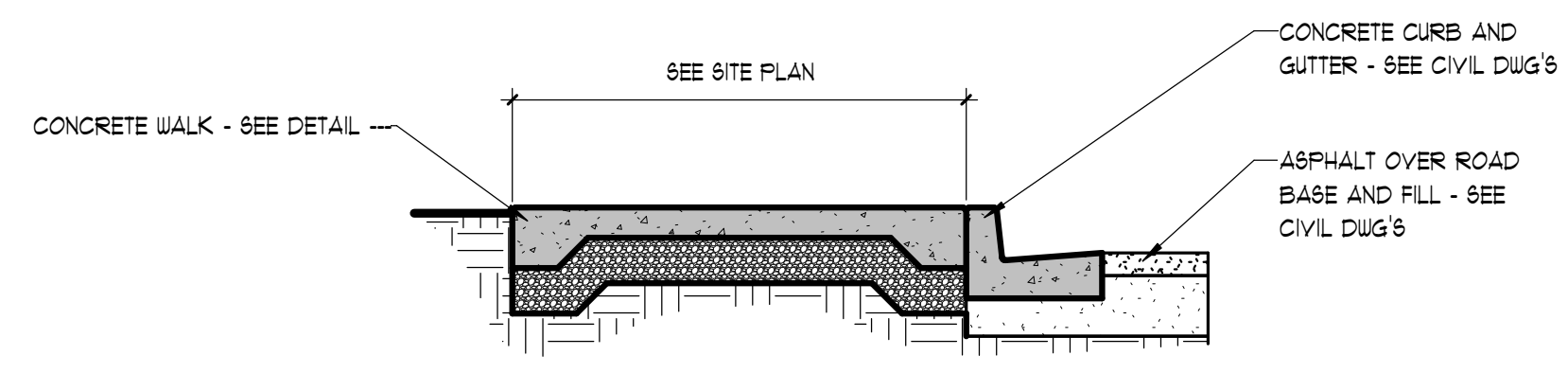
A1.1
SITE PLAN



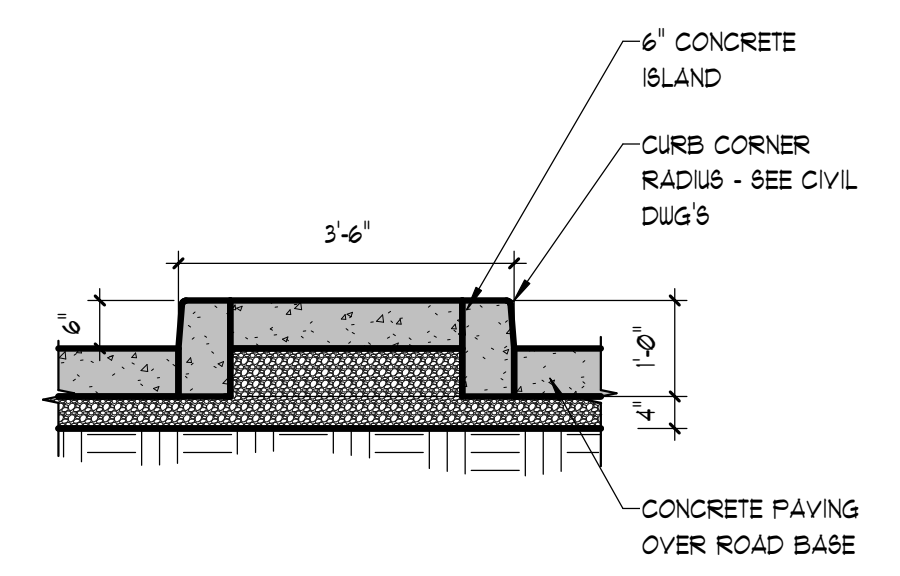
① DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"



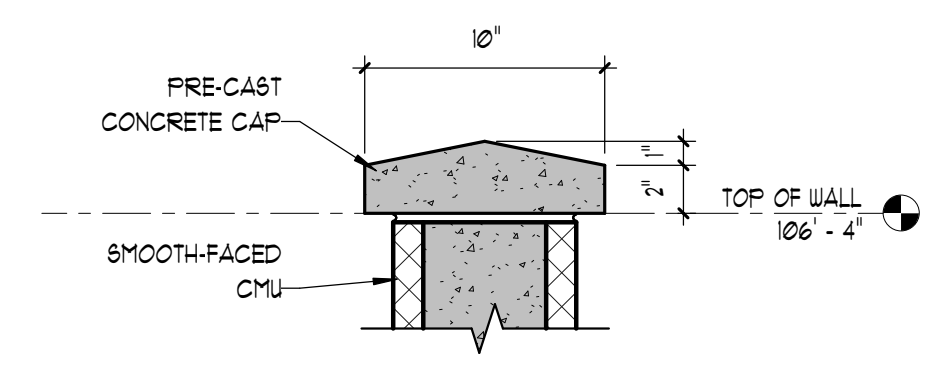
⑥ SIDEWALK DETAIL
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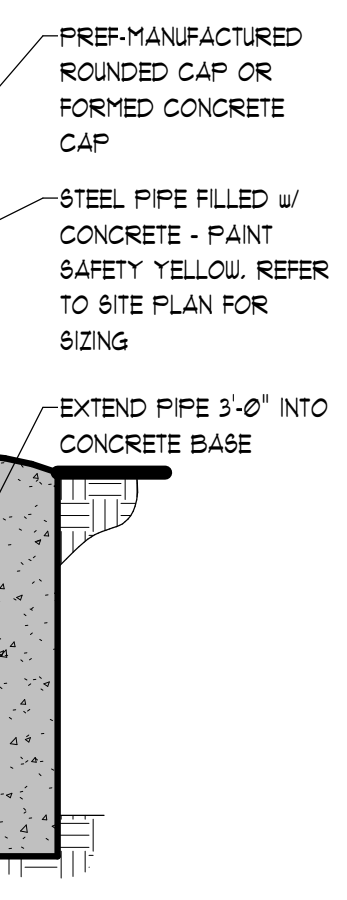
⑩ SIDEWALK w/ CURB TO ASPHALT
1/2" = 1'-0"



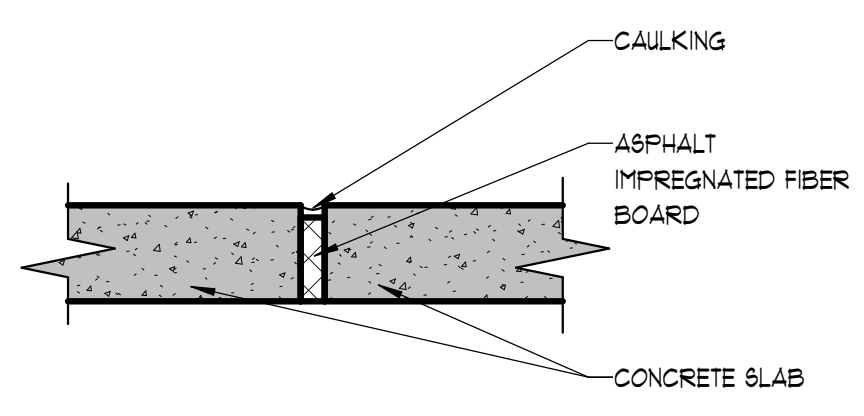
⑬ CONCRETE ISLAND DETAIL
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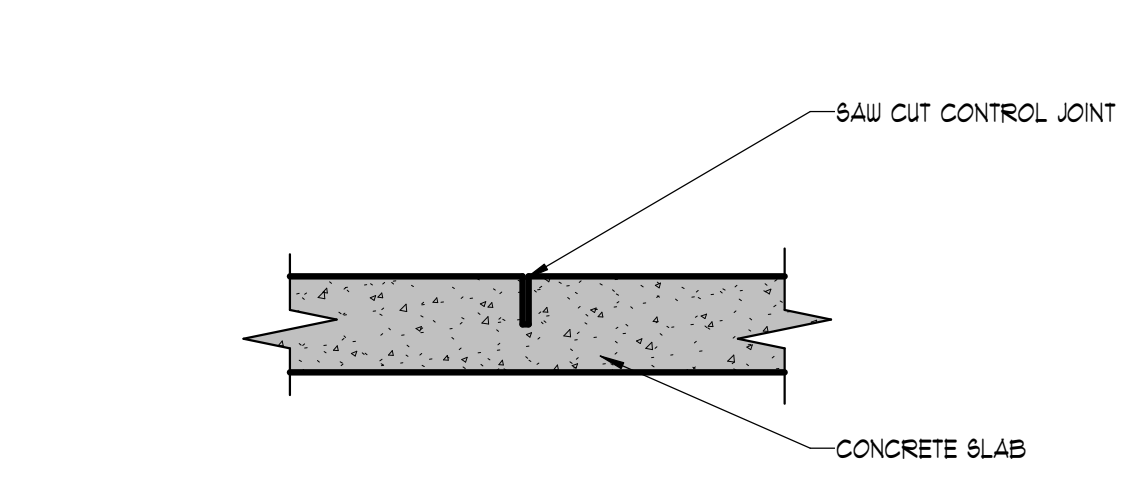
⑭ PRE-CAST CONCRETE CAP DETAIL
1 1/2" = 1'-0"



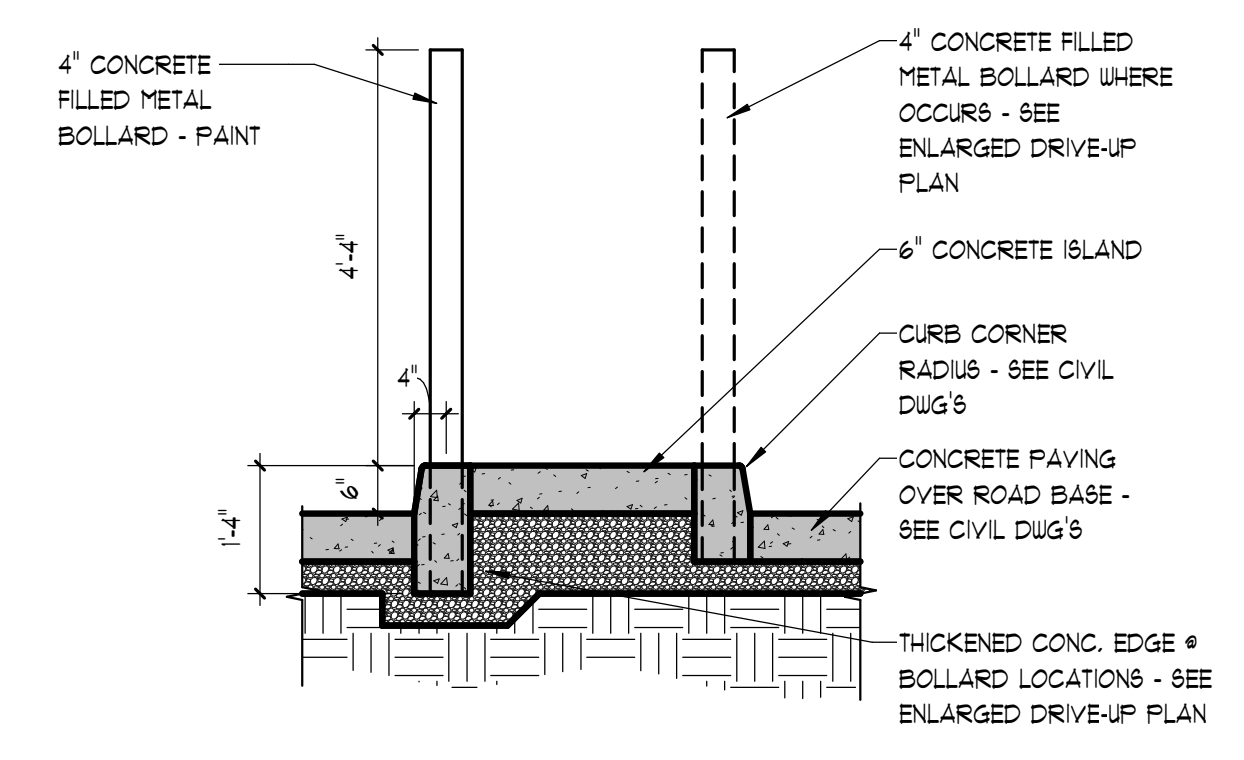
⑦ BOLLARD DETAIL
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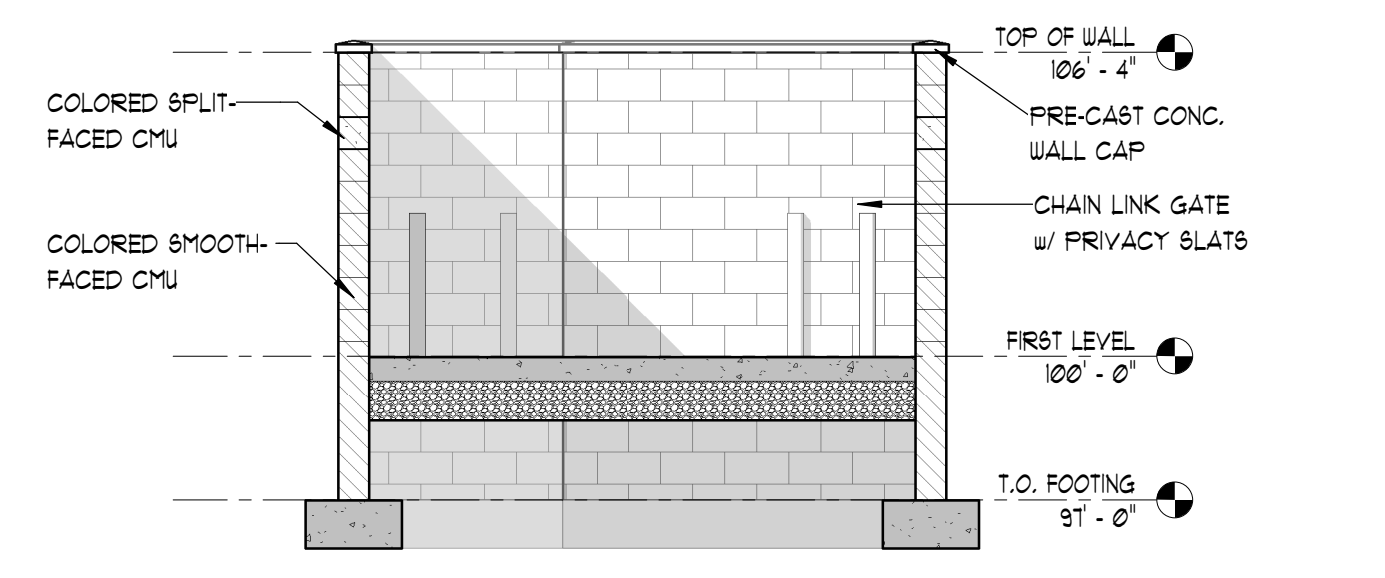
⑪ EXPANSION JOINT
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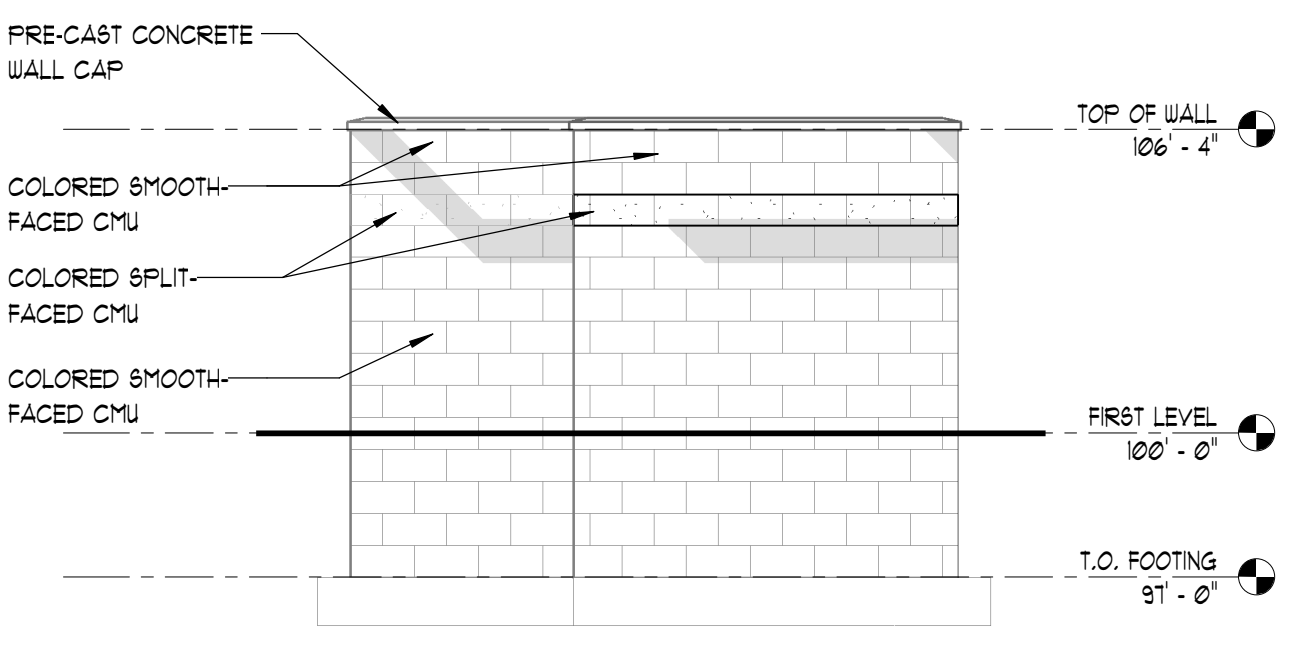
⑫ CONTROL JOINT
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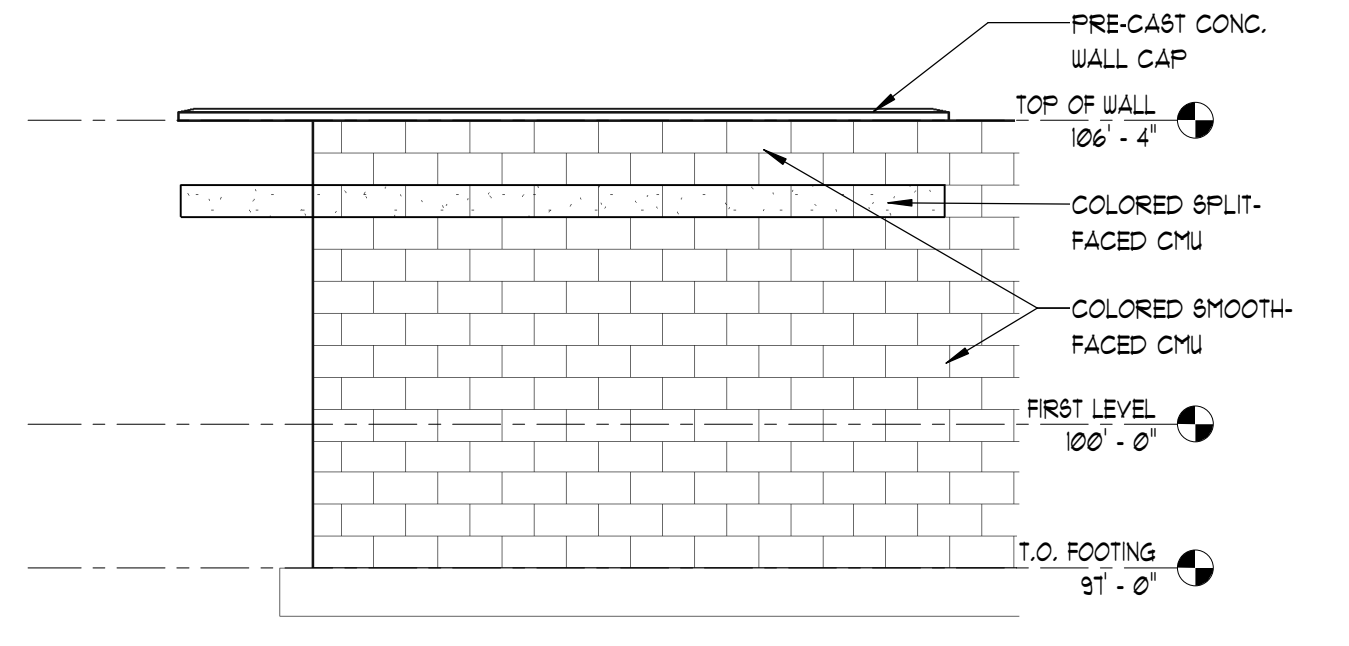
⑮ DRIVE UP CURB DETAIL
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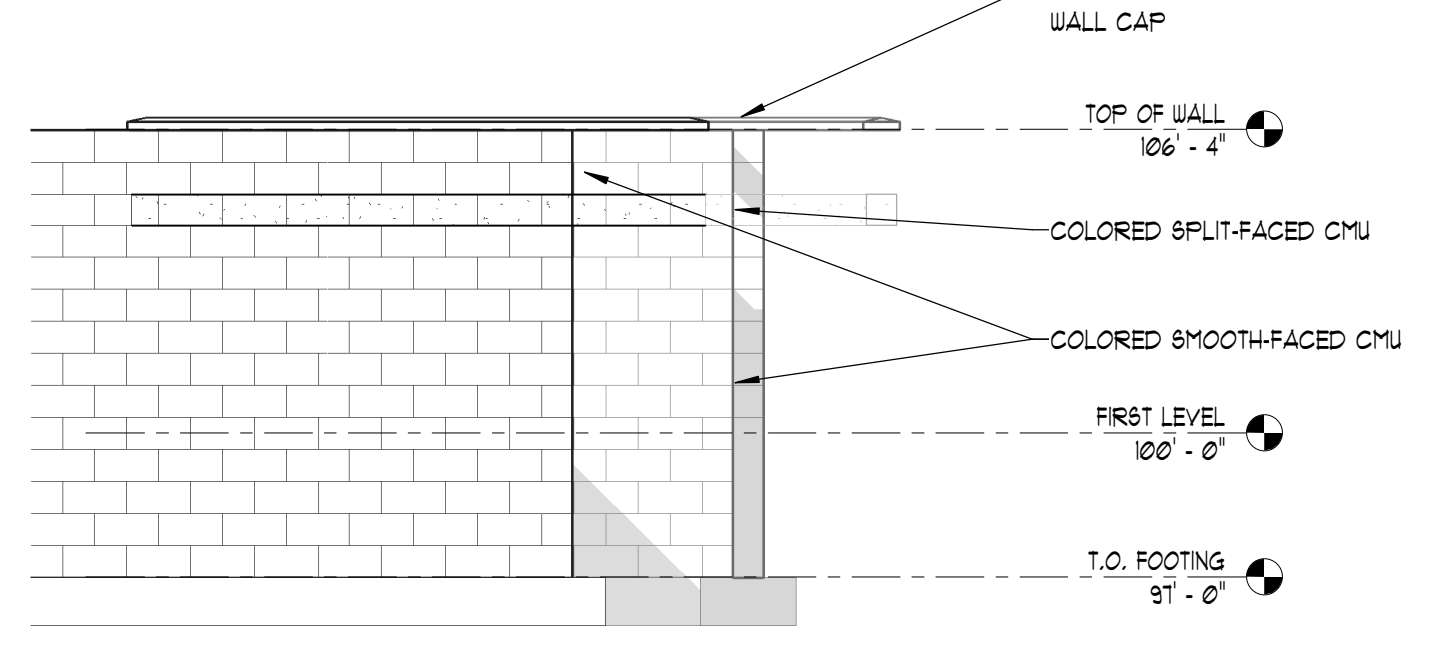
② DUMPSTER ENCLOSURE - FRONT
1/4" = 1'-0"



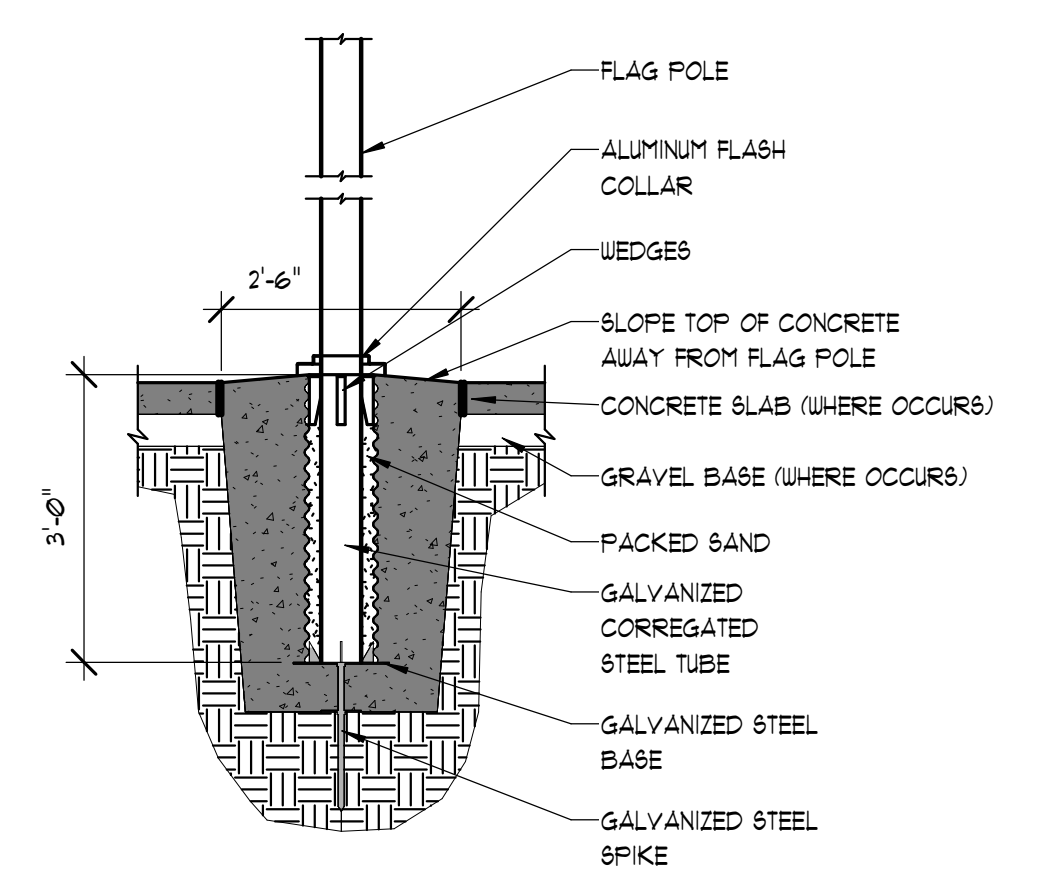
④ DUMPSTER ENCLOSURE - REAR
1/4" = 1'-0"



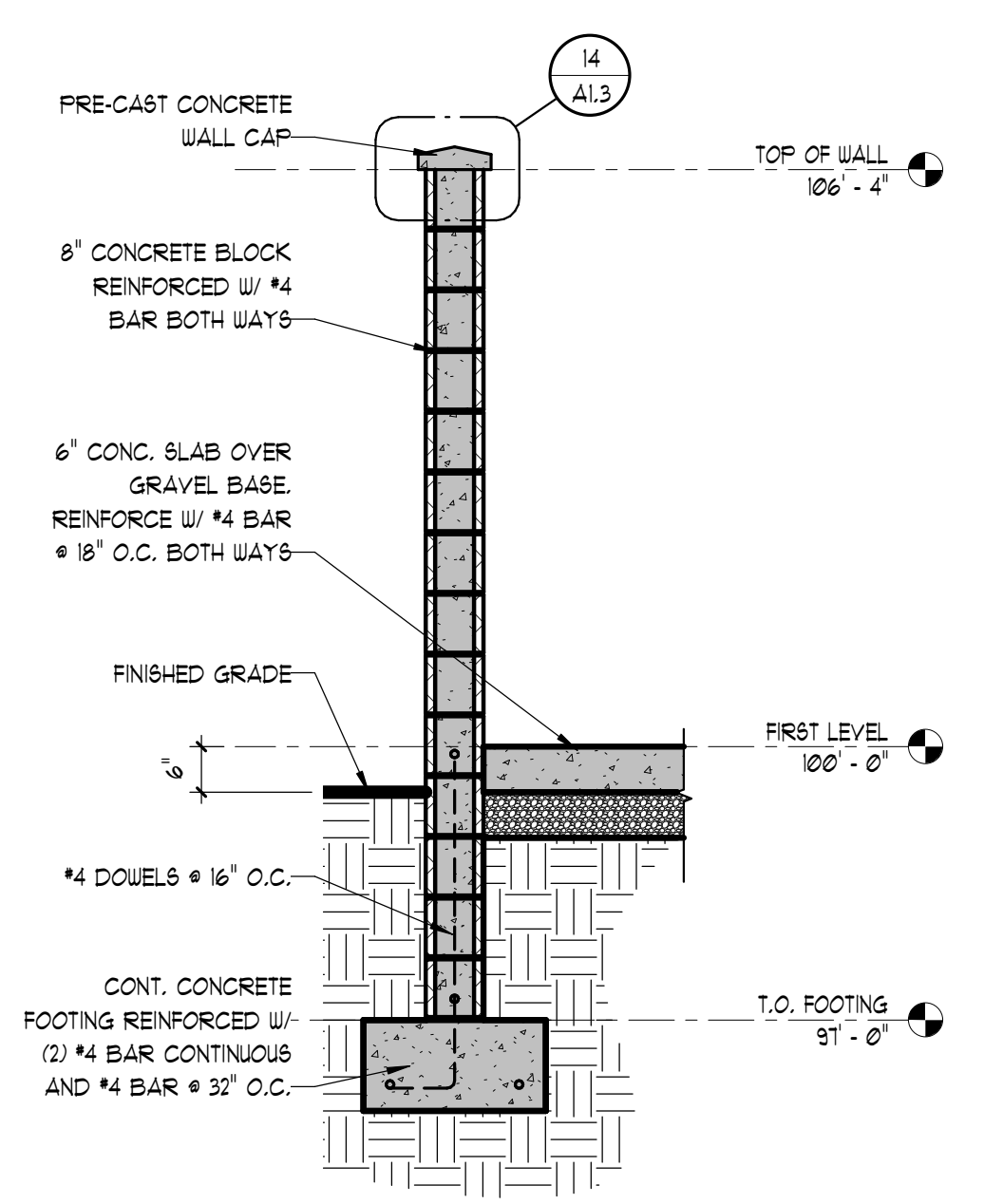
③ DUMPSTER ENCLOSURE - SIDE
1/4" = 1'-0"



⑤ DUMPSTER ENCLOSURE - SIDE
1/4" = 1'-0"

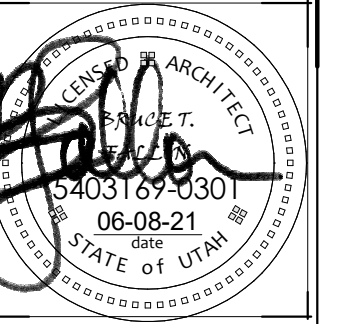


⑨ FLAG POLE DETAIL
1/2" = 1'-0"



⑯ DUMPSTER ENCLOSURE WALL SECTION
1/2" = 1'-0"

Date: 07.02.2021
Revision:



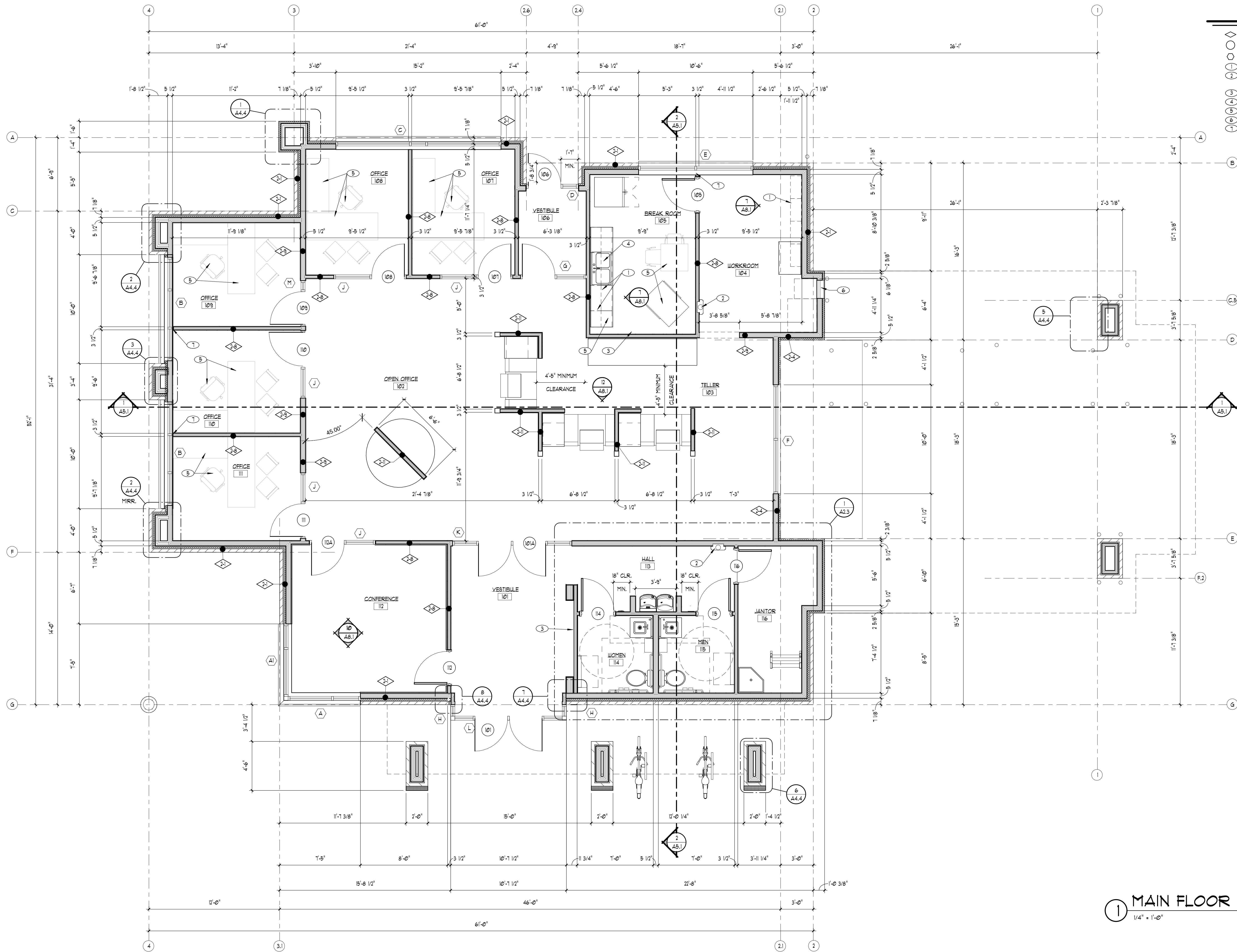
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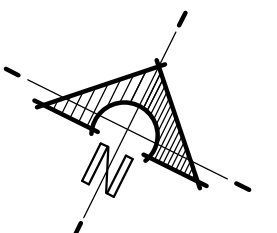
A1.3
SITE DETAILS



SHEET NOTES:

- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE
- TYPICAL REFERENCE FOR DOOR TYPE
- TYPICAL REFERENCE FOR WINDOW TYPE
- ① MILLWORK - SEE INTERIOR ELEVATIONS
- ② SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE DETAIL 4/A2.3
- ③ RECESSED DISPLAY WALL - SEE DETAIL 5/A2.3
- ④ SINK - SEE PLUMBING DWGS
- ⑤ FURNITURE - N.I.C.
- ⑥ NIGHT DEPOSITORY
- ⑦ MULLION MATE - SEE DETAIL 19/A3.4

① MAIN FLOOR PLAN
1/4" = 1'-0"



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Date: 07.02.2021

Revision:

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A2.1
FLOOR PLAN



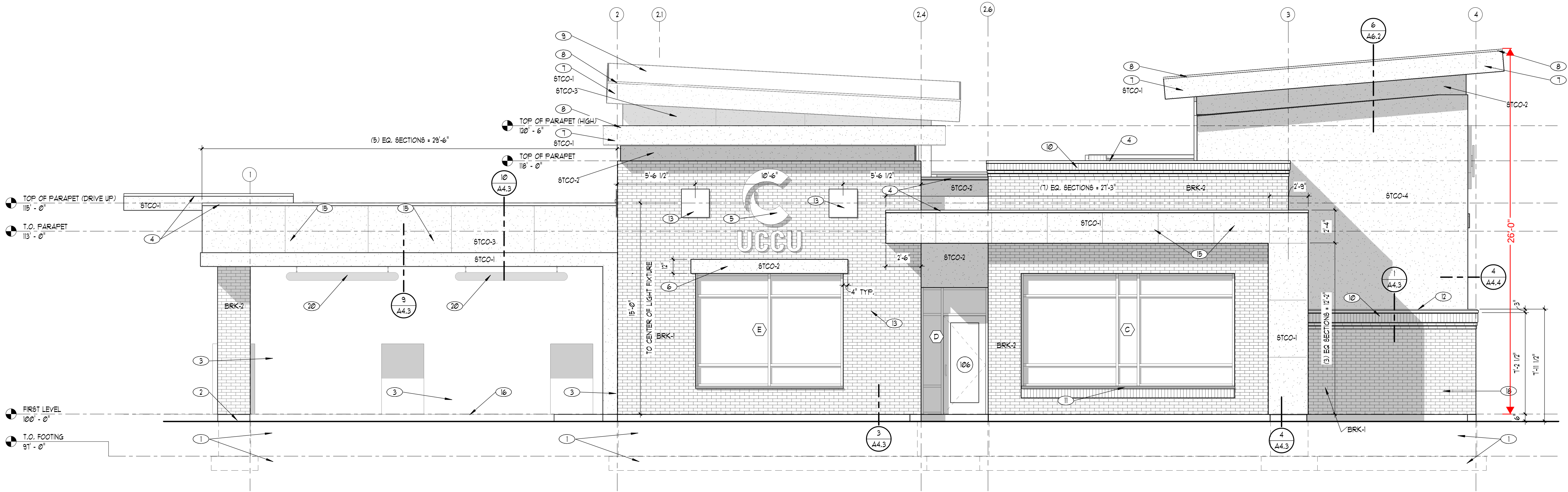
- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE
 - TYPICAL REFERENCE FOR DOOR TYPE
 - TYPICAL REFERENCE FOR WINDOW TYPE
-
- ① DRINKING FOUNTAIN w/ BOTTLE FILLING STATION - SEE PLUMBING DWG'S
 - ② SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE DETAIL 4/A123
 - ③ SINK - SEE PLUMBING DWG'S
 - ④ TOILET - SEE PLUMBING DWG'S
 - ⑤ PRE-MANUFACTURED SHIP LADDER
 - ⑥ MOP SINK - SEE PLUMBING DWG'S
 - ⑦ 1 1/2" DIA. METAL PIPE GUARDRAIL - PAINT
 - ⑧ MECHANICAL EQUIPMENT - SEE MECHANICAL DWG'S
 - ⑨ 3/4" PLYWOOD LANDING
 - ⑩ NOT USED
 - ⑪ NOT USED
 - ⑫ NOT USED
 - ⑬ ELECTRICAL EQUIPMENT - SEE ELECTRICAL DWG'S

CH	COAT HOOK - N.I.C. (CONTRACTOR INSTALLED)
DCS	NOT USED
GB18	18" GRAB BAR
GB36	36" GRAB BAR
GB42	42" GRAB BAR
MIR	MIRROR
MP	MPF 4 BROOM HOLDER - N.I.C. (CONTRACTOR INSTALLED)
ND	SANITARY NAPKIN DISPOSAL - N.I.C. (CONTRACTOR INSTALLED)
PT	PAPER TOWEL DISPENSER - N.I.C. (CONTRACTOR INSTALLED)
SD	SOAP DISPENSER - N.I.C. (CONTRACTOR INSTALLED)
TP	TOILET PAPER DISPENSER - N.I.C. (CONTRACTOR INSTALLED)



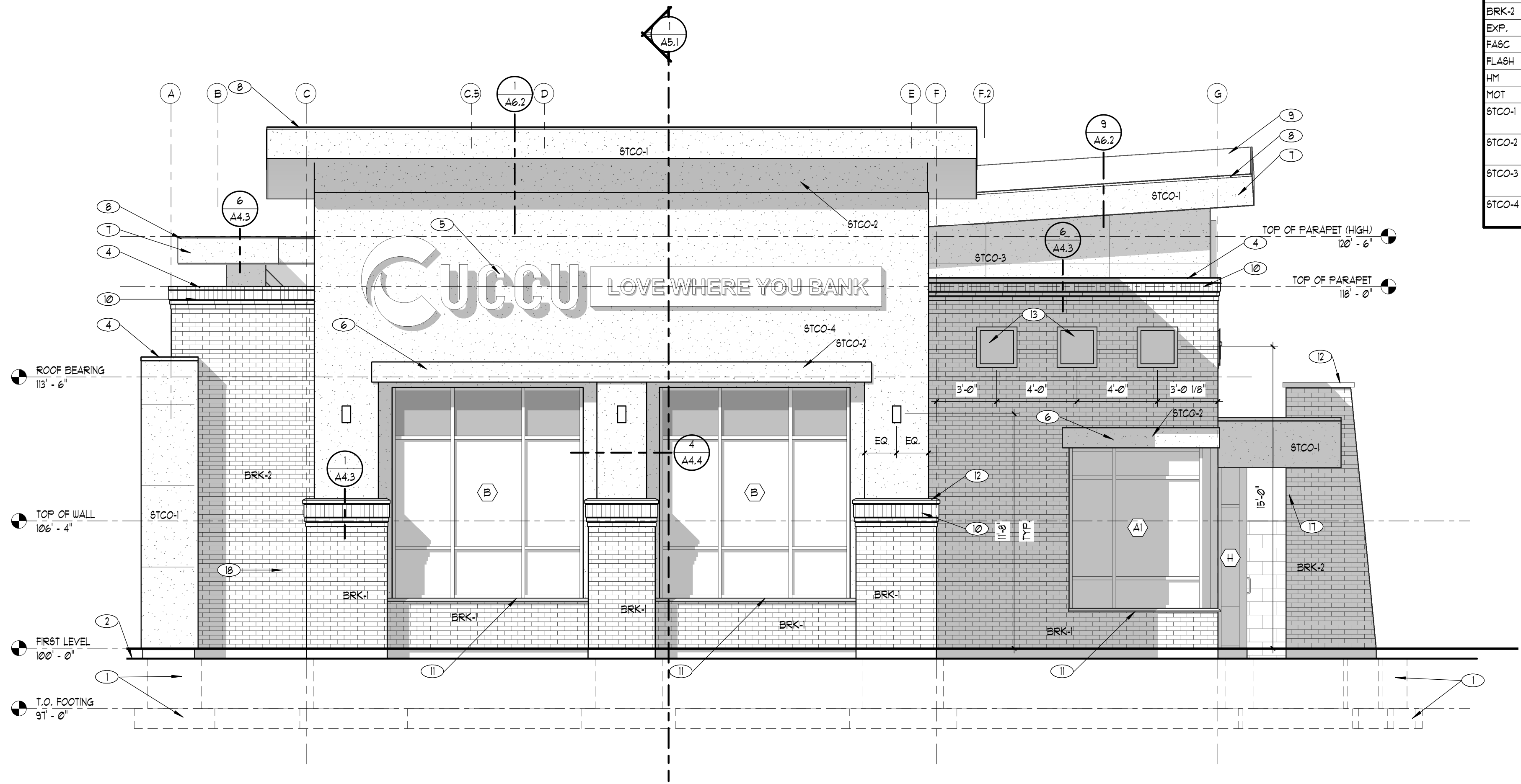
SHEET NOTES:

- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE
 - TYPICAL REFERENCE FOR DOOR TYPE
 - TYPICAL REFERENCE FOR WINDOW TYPE
- CAST IN PLACE CONCRETE FOOTINGS AND FOUNDATIONS - SEE STRUCTURAL DWG'S
 - APPROXIMATE FINISH GRADE - SEE CIVIL DWG'S
 - BANK EQUIPMENT PROVIDE AND INSTALLED BY OWNER
 - PRE-FINISHED METAL WALL CAP w/ DRIP EDGE - SEE SHEET A4.3
 - BUILDING SIGNAGE BY OWNER PROVIDE BACKING AS REQUIRED BY SIGN COMPANY
 - EIFS TRIM
 - EIFS FABRIC WITH AESTHETIC REVEALS AS INDICATED
 - PRE-FINISHED METAL DRIP EDGE
 - SINGLE PLY ROOF MEMBRANE
 - STEPPED BRICK CORNICE
 - PRE-CAST CONCRETE WINDOW SILL
 - PRE-CAST CONCRETE WALL CAP
 - LIGHT FIXTURE - SEE ELECTRICAL DWG'S
 - EIFS SCFFIT
 - CONTROL JOINT IN EIFS - SEE DETAIL I/A4.4
 - CAST-IN-PLACE CONCRETE ISLAND
 - 8" HIGH BUILDING ADDRESS SIGN w/ A 1/2" MINIMUM STROKE WIDTH
 - CT CABINET - SEE ELEC. DWG'S
 - MECHANICAL LOUVER WITH POWDERCOAT FINISH (COLOR TO BE SELECTED BY ARCHITECT) - SEE MECH. DWG'S
 - HIGH DENSITY POLYURETHANE (HDPE) CLEARANCE HEIGHT BAR

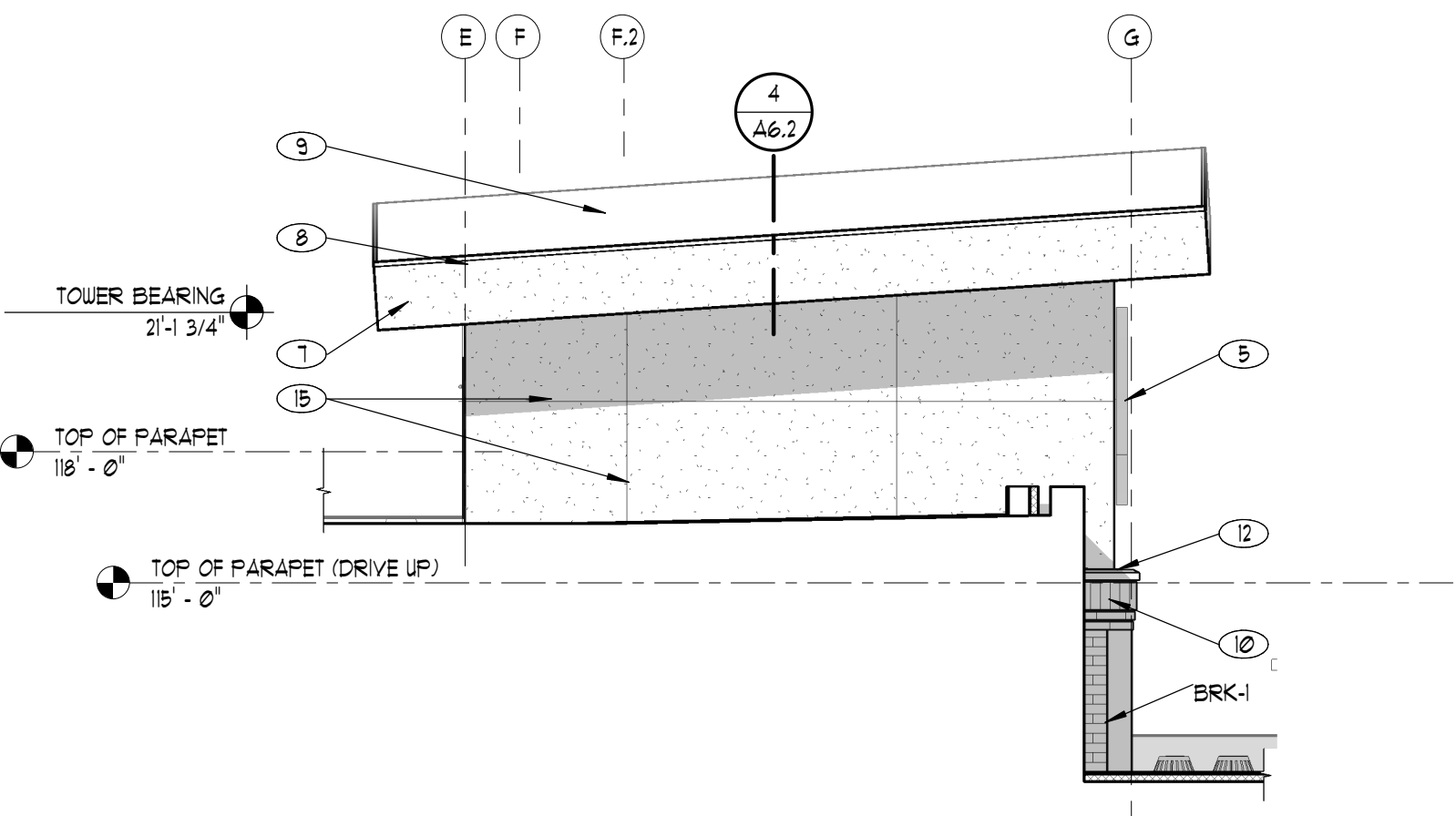


1 NORTH ELEVATION
1/4" = 1'-0"

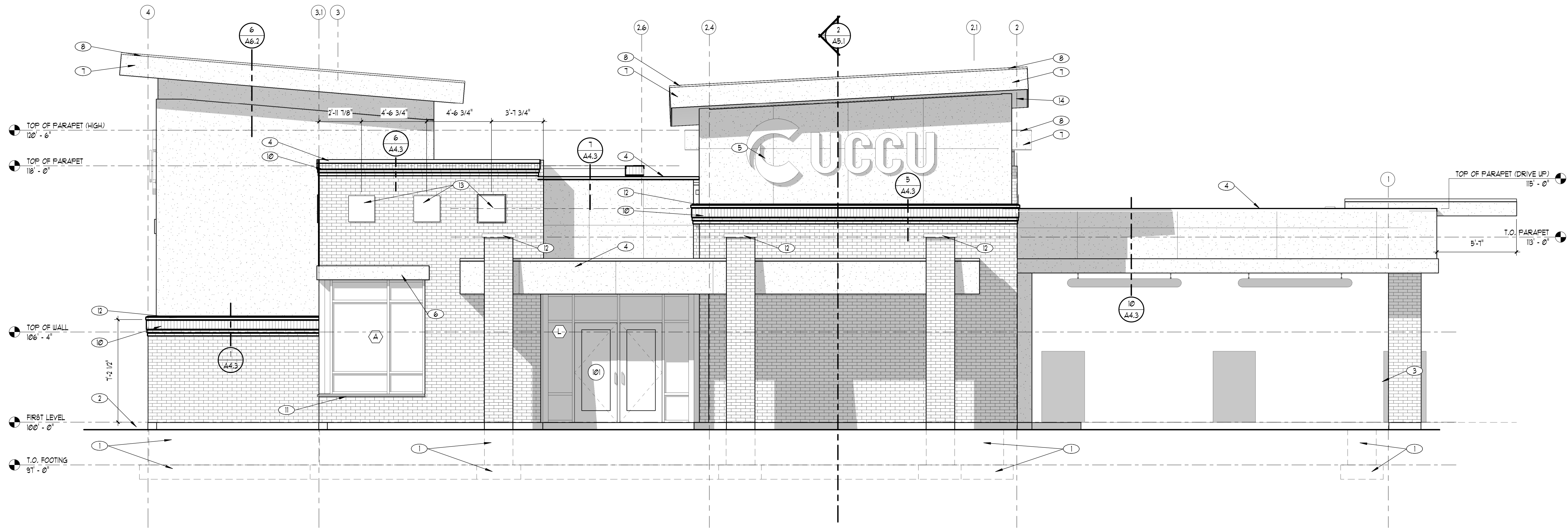
EXTERIOR FINISH LEGEND					
FINISH	FINISH DESCRIPTION	MANUFACTURER	SIZE	STYLE/COLOR	NOTES
AL	ALUMINUM STOREFRONT	KAUWEER	PER PLAN	ANODIZED ALUMINUM	
BRK-1	BRICK	INTERSTATE BRICK	2-1/4" MODULAR	CHIFFEUA L-3	
BRK-2	BRICK	INTERSTATE BRICK	2-1/4" MODULAR	SMOKEY MOUNTAIN L-4	
EXP.	EXPOSED CONCRETE				
FASC	PRE-FINISHED METAL FASCIA	COATED METALS GROUP (CMG)	PER PLAN	CHARCOAL	
FLASH	PRE-FINISHED METAL FLASHING	COATED METALS GROUP (CMG)	PER PLAN	CHARCOAL	
HM	HOLLOW METAL DOOR FRAME	SHERWIN WILLIAMS	N/A	FUNCTIONAL GRAY (SW 1024)	
MOT	MASONRY MORTAR	TBD	TBD		
STCO-1	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, IRON ORE (SW 1068)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.
STCO-2	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, BACKDROP (SW 1025)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.
STCO-3	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, WORLDLY GRAY (SW 1043)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.
STCO-4	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, NETWORK GRAY (SW1073)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.



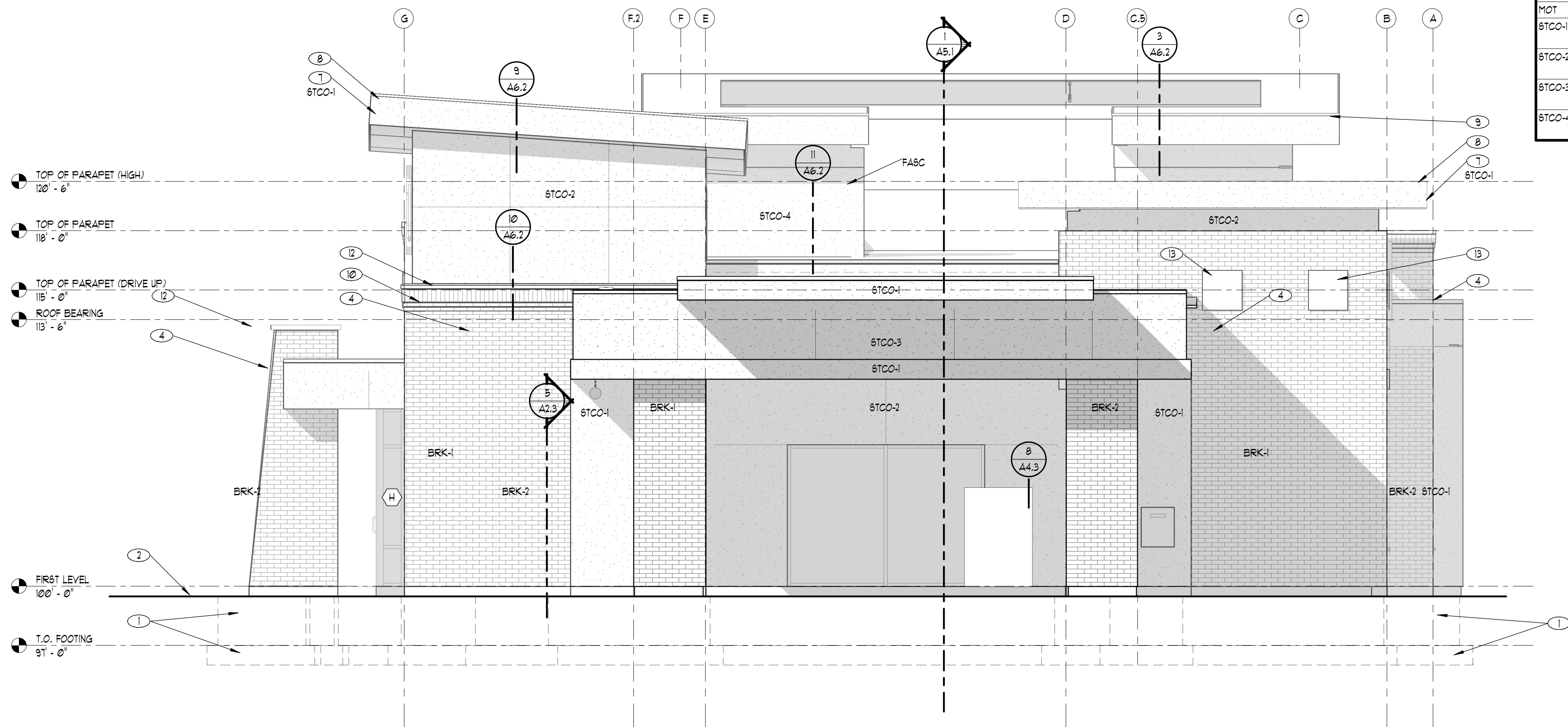
2 WEST ELEVATION
1/4" = 1'-0"



3 SOUTH TOWER EAST ELEV.
1/4" = 1'-0"

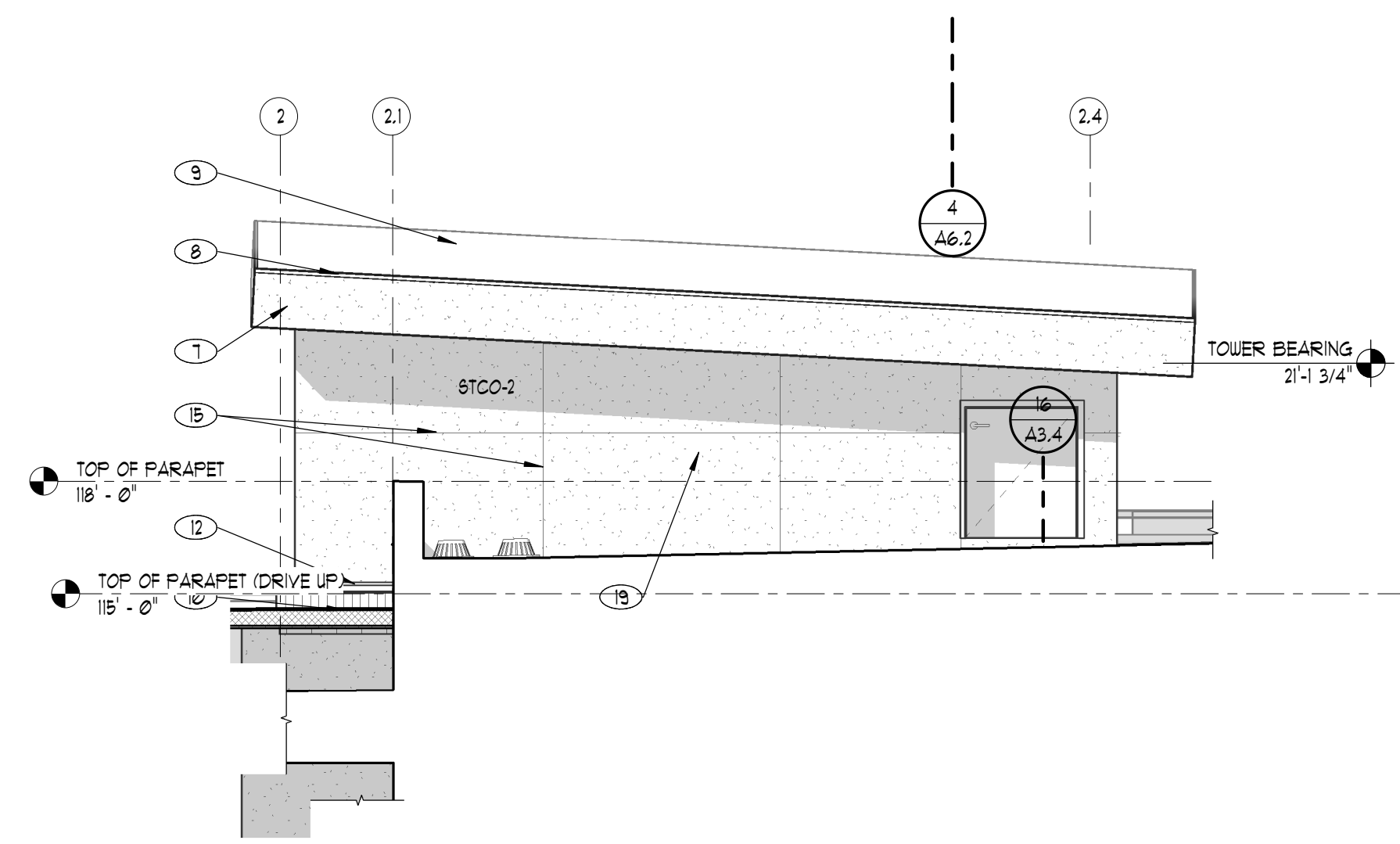


1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

FINISH	FINISH DESCRIPTION	MANUFACTURER	SIZE	STYLE/COLOR	NOTES
AL	ALUMINUM STOREFRONT	KALNEER	PER PLAN	ANODIZED ALUMINUM	
BRK-1	BRICK	INTERSTATE BRICK	2-1/4" MODULAR	CHIPPEWA L-3	
BRK-2	BRICK	INTERSTATE BRICK	2-1/4" MODULAR	SMOKEY MOUNTAIN L-4	
EXP.	EXPOSED CONCRETE				
FASC	PREFINISHED METAL FASCIA	COATED METALS GROUP (CMG)	PER PLAN	CHARCOAL	
FLASH	PREFINISHED METAL FLASHING	COATED METALS GROUP (CMG)	PER PLAN	CHARCOAL	
WM	HOLLOW METAL DOOR FRAME	SHERWIN WILLIAMS	N/A	FUNCTIONAL GRAY (SW 7024)	
MOT	MASONRY MORTAR	TBD	TBD	TBD	
STCO-1	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, IRON ORE (SW 7069)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.
STCO-2	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, BACKDROP (SW 7025)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.
STCO-3	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, WORLDLY GRAY (SW 7043)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.
STCO-4	EIFS	DRYVIT	N/A	MATCH SHERWIN WILLIAMS, NETWORK GRAY (SW 7073)	SANDPEBBLE FINE FINISH. PROVIDE SAMPLE FOR REVIEW.



3 SOUTH TOWER NORTH ELEV.
1/4" = 1'-0"

SHEET NOTES:

- ◇ TYPICAL REFERENCE FOR CONSTRUCTION TYPE
- TYPICAL REFERENCE FOR DOOR TYPE
- TYPICAL REFERENCE FOR WINDOW TYPE

- CAST IN PLACE CONCRETE FOOTINGS AND FOUNDATIONS - SEE STRUCTURAL DWG'S
- APPROXIMATE FINISH GRADE - SEE CIVIL DWG'S
- BANK EQUIPMENT PROVIDE AND INSTALLED BY OWNER
- PREFINISHED METAL WALL CAP w/ DRIP EDGE - SEE SHEET A4.3
- BUILDING SIGNAGE BY OWNER PROVIDE BACKING AS REQUIRED BY SIGN COMPANY
- EIFS TRIM
- EIFS FASCIA WITH AESTHETIC REVEALS AS INDICATED
- PREFINISHED METAL DRIP EDGE
- SINGLE PLY ROOF MEMBRANE
- STEPPED BRICK CORNICE
- PREFINISHED METAL WINDOW SILL
- PREFINISHED METAL WALL CAP
- LIGHT FIXTURE - SEE ELECTRICAL DWG'S
- EIFS SOFFIT
- CONTROL JOINT IN EIFS - SEE DETAIL 11/A4.4
- CAST-IN-PLACE CONCRETE ISLAND
- 8" HIGH BUILDING ADDRESS SIGN w/ A 1/2" MINIMUM STROKE WIDTH
- OT CABINET - SEE ELEC. DWG'S
- MECHANICAL LOUVER WITH POWDERCOAT FINISH (COLOR TO BE SELECTED BY ARCHITECT) - SEE MECH. DWG'S
- HIGH DENSITY POLYURETHANE (HDPE) CLEARANCE HEIGHT BAR

Date: 07.02.2021

Revision: A

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A4.2
EXTERIOR
ELEVATIONS

UCCU

VINEYARD OFFICE and BRANCH

622 NORTH MILL ROAD

VINEYARD, UTAH 84058

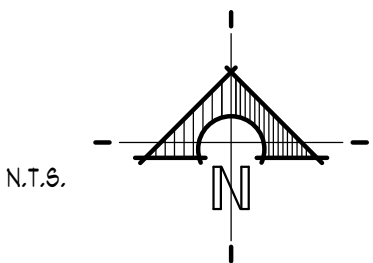
SITE PLAN REVIEW RE-SUBMITTAL | 06.08.2021



PROJECT LOCATION



VICINITY MAP



CONTRACTOR

TBD
ADDRESS LINE 1
CITY, STATE ZIP
CONTACT NAME
PHONE
EMAIL

OWNER

UTAH COMMUNITY CREDIT UNION
188 WEST RIVERPARK DRIVE
PROVO, UTAH 84604
KIRK ROGERS
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KIRK@UCCU.COM

ARCHITECT

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12 WEST 100 NORTH
AMERICAN FORK, UTAH 84003
DAVID W. PETERSON, PE
801.756.4504
DAVID@EXCEL-CIVIL.COM

LANDSCAPE ARCHITECT

CIVISWORKS
13611 CRIMSON PATCH WAY
RIVERTON, UTAH 84056
GREG G. GRAHAM, PLA
801.593.8556
GREG@CIVISWORKS.COM

STRUCTURAL ENGINEER

DYNAMIC STRUCTURES
1881 NORTH 100 WEST
PROVO, UTAH 84604
JAY ADAMS, SE
801.356.1140
JAY@DSTRUCTURES.COM

MECHANICAL ENGINEER

WHW ENGINEERING
8619 S. SANDY PARKWAY #101
SANDY, UTAH 84070
BRAD LASH, PE
801.466.4071
BRADL@WHW-ENGINEERING.COM

ELECTRICAL ENGINEER

BNA CONSULTING
635 SOUTH STATE STREET
SALT LAKE CITY, UTAH 84111
RICH BRADLEY
801.532.7266
RICH@BNACONSULTING.COM

DRAWING INDEX

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A2.1	FLOOR PLAN	S3.2	CONSTRUCTION DETAILS	EY1.1	FIRST FLOOR - SYSTEMS
		S5.1	CONSTRUCTION DETAILS	EY2.1	SYSTEMS DETAILS

DEFERRED SUBMITTALS

CERTAIN ITEMS REQUIRE APPROVAL OF THE BUILDING DEPARTMENT OF THE LOCAL AUTHORITY HAVING JURISDICTION **PRIOR** TO FABRICATION, DELIVERY OR INSTALLATION. SUBMITTALS INCLUDING SHOP DRAWINGS, PRODUCT INFORMATION, PRODUCT CERTIFICATES, PRODUCT TEST REPORTS, ETC. SHALL BE SUBMITTED TO THE ARCHITECT. AFTER REVIEW BY THE ARCHITECT AND/OR ARCHITECTURAL CONSULTANTS, THE ARCHITECT WILL FORWARD THE SUBMITTALS TO THE LOCAL AUTHORITY HAVING JURISDICTION BUILDING DEPARTMENT. CONTRACTORS SHALL PROVIDE THE SUBMITTALS IN A TIMELY MANNER TO ALLOW SUFFICIENT TIME FOR REVIEW BY THE ARCHITECT AND THE AUTHORITY HAVING JURISDICTION. APPROVED COPY MUST BE AT JOB SITE FOR REQUIRED INSPECTIONS.

CONTRACTOR SHALL PREPARE DEFERRED SUBMITTALS FOR REVIEW AND APPROVAL ON THE FOLLOWING ITEMS:

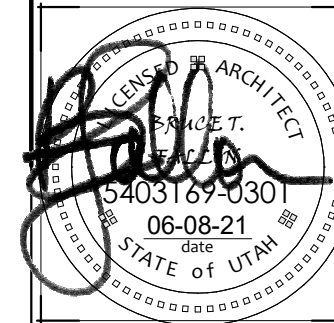
- PRE-ENGINEERED WOOD TRUSSES
- SEISMIC BRACING OF SUSPENDED CEILING AND SOFFITS

GENERAL NOTES

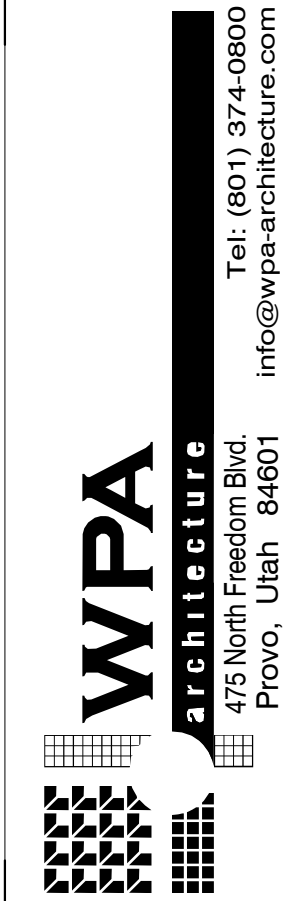
- ALL EXIT ACCESS DOORS AND EXITS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. USE OF MANUAL FLUSH BOLTS, EDGE BOLTS, TOP OR BOTTOM BOLTS, ETC. SHALL BE PROHIBITED.
- GLAZING IN DOORS OR IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE IS WITHIN A 24 INCH ARC OF THE DOOR AND WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN 60" INCHES ABOVE THE WALKING SURFACE MUST BE TEMPERED.
- TANK TYPE WATER CLOSETS SHALL HAVE A MAXIMUM WATER USE OF 1.6 GALLONS PER FLUSH.
- BURNING OF CONSTRUCTION WASTE MATERIALS IS PROHIBITED AT ALL TIMES.
- PROVIDE (1) ONE RECESSED 2-4 FIRE EXTINGUISHER FOR EVERY 3,000 SQUARE FEET OF FLOOR AREA WITH A MAXIMUM TRAVEL DISTANCE OF 75 FEET TO AN EXTINGUISHER.
- STORAGE OF EQUIPMENT, SOILS, CONSTRUCTION MATERIALS ON PUBLIC RIGHT-OF-WAY (STREET/SIDEWALKS) OR EASEMENT IS EXPRESSLY PROHIBITED.
- GENERAL CONTRACTOR SHALL PROCURE ALL REQUIRED PERMITS FROM THE AUTHORITY HAVING JURISDICTION (AHJ), INCLUDING BUT NOT LIMITED TO BUILDING, ENGINEERING, RIGHT-OF-WAY, AND OTHER PERMITS REQUIRED FOR SUB-CONTRACTOR WORK.
- GENERAL CONTRACTOR TO PROVIDE REQUIRED FIRE EXTINGUISHERS TO BE PRESENT DURING CONSTRUCTION.
- DIMENSIONS ARE SHOWN TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- ALL SIGNAGE WILL NEED TO BE SUBMITTED TO THE AHJ FOR A SIGN PERMIT, INCLUDING BUT NOT LIMITED TO FREESTANDING MONUMENT SIGNS AND BUILDING SIGNS ATTACHED TO THE EXTERIOR OF THE BUILDING.

Date: 07.02.2021

Revision:



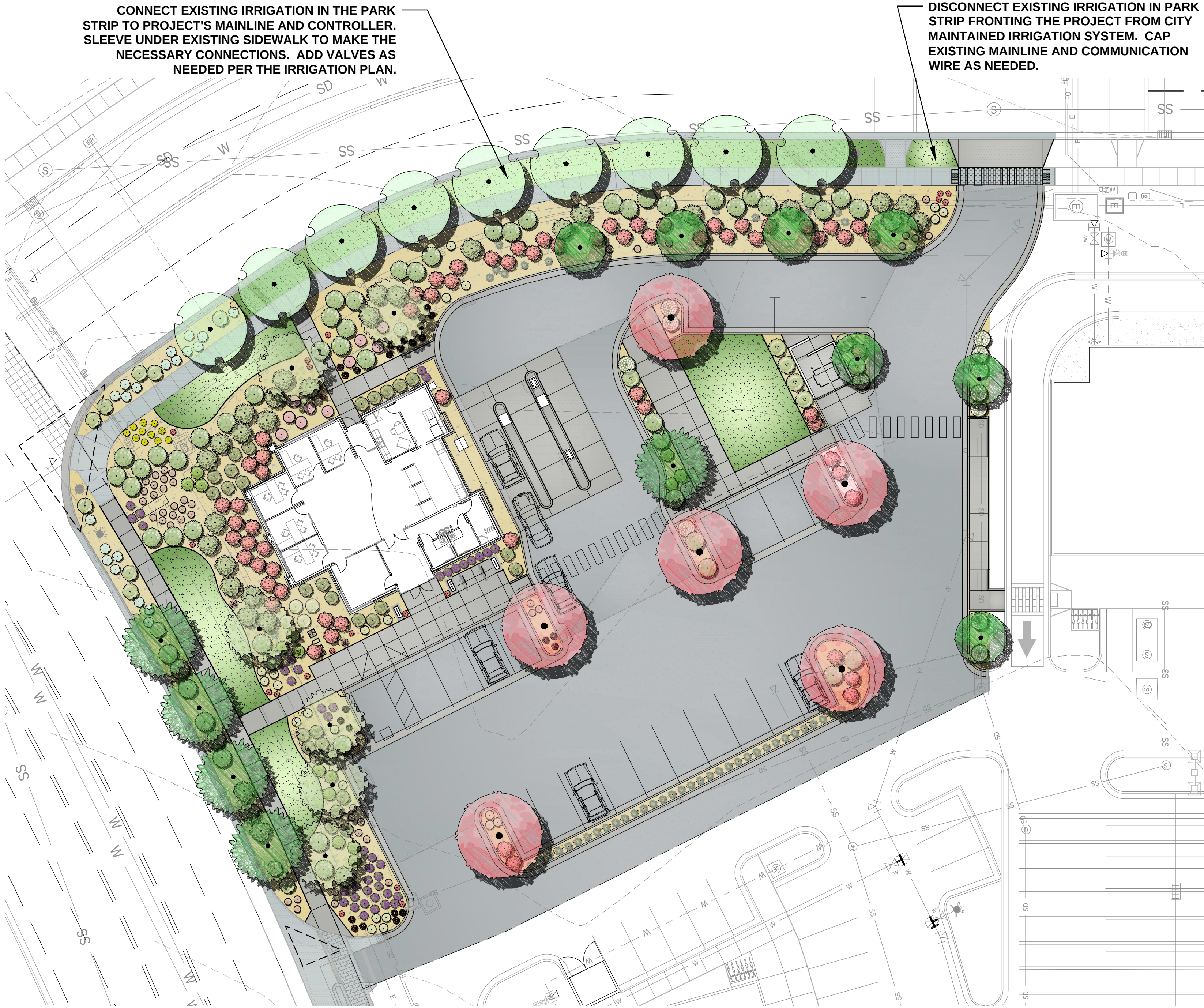
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G1.1
COVER SHEET



PLAN

PLANT MATERIAL CONFORMANCE TO THE TREE AND LANDSCAPE MANUAL PURPOSE

THE TREE AND LANDSCAPE MANUAL STATES IN PART THAT IT'S PURPOSE IS TO PROMOTE THE GENERAL WELFARE BY ESTABLISHING AND MAINTAINING THE MAXIMUM AMOUNT OF CANOPY COVERAGE TO CONSERVE ENERGY, MINIMIZE CONFLICTS WITH PUBLIC INFRASTRUCTURE, INCREASE THE ENVIRONMENTAL BENEFITS OF TREES WITHIN THE PUBLIC RIGHT-OF-WAY, CREATE QUALITY LANDSCAPE SPACES THAT ARE ATTRACTIVE AND ENCOURAGE PUBLIC GATHERING AND PEDESTRIAN TRAVEL, MAINTAIN TREES IN A HEALTHY, NON-HAZARDOUS CONDITION, PROVIDE AN APPROPRIATE LIST OF TREE SPECIES WHICH ARE ACCEPTABLE FOR VINEYARD PUBLIC SPACES.

TREE SPECIES HAVE BEEN SELECTED FROM THE CITY'S PLANT LIST BUT SOME CULTIVARS NOT ON THE LIST ARE INCLUDED. TREES SUCH AS THE MUSAHINO JAPANESE ZELKOVA AND THE PRAIRIE SENTINEL COMMON HACKBERRY ARE THE SAME AS THE SPECIES LISTED IN THE APPROVED PLANT LIST BUT HAVE UNIQUE TRAITS THAT BETTER FIT THE CONDITIONS AND NEEDS OF THE PROJECT. THE TREE STILL SATISFIES THE INTENT OF TREE AND LANDSCAPE MANUAL.

SIMILAR TO THE ABOVE, 11 OF THE 19 SPECIES OF SHRUBS AND GROUND COVER TYPE PLANTS ARE ON THE APPROVED PLANT LIST. AGAIN, SOME OF THE CULTIVARS OF THOSE SPECIES VARY FROM THE APPROVED LIST DUE TO UNIQUE TRAITS DESIRED FOR THE PROJECT.

SPECIES INCLUDED THAT ARE NOT ON THE APPROVED LIST ARE BEING PROPOSED DUE TO THEIR AESTHETICS, GROWTH HABIT, LOW WATER REQUIREMENTS, AVAILABILITY, AND ADAPTATION TO THE NORTHERN UTAH CLIMATE. THE FOLLOWING ARE SHRUB OR GROUND COVER TYPE PLANTS NOT ON THE APPROVED LIST BUT SHOULD BE CONSIDERED FOR FUTURE INCLUSION.

WINTER GEM BOXWOOD
SMALLER GROWING BROADLEAF EVERGREEN WELL ADAPTED TO NORTHERN UTAH AND UTAH LAKE. SECONDARY WATER, EXCELLENT SHINY LEAVES WITH A FINE TEXTURE, MODERATE TO LOW WATER USAGE, FEW DISEASES OR PESTS AFFECT THIS PLANT

GARDEN SHOW DAYLILY AND STELLA DE ORO DAYLILY
SMALL FLOWERING PERENNIALS WITH YELLOW AND MAUVE FLOWERS, LOW WATER USAGE, SALT TOLERANT, UTAH LAKE SECONDARY WATER TOLERANT, VERY ORNAMENTAL, LOW MAINTENANCE

SANDIA GLOW RED YUCCA
SMALL ORNAMENTAL YUCCA TYPE PLANT WITH VERY ATTRACTIVE RED FLOWERS IN SUMMER, HIGHLY ADAPTED TO NORTHERN UTAH, VERY LOW WATER NEEDS, LOW MAINTENANCE

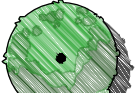
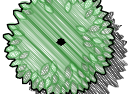
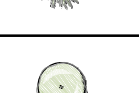
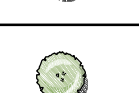
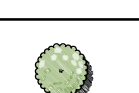
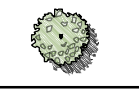
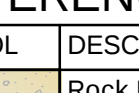
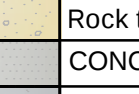
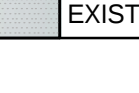
MUNSTEAD ENGLISH LAVENDER
SMALL SEMI-EVERGREEN PERENNIAL WITH GREY GREEN LEAVES, LAVENDER FLOWERS IN LATE SPRING AND SUMMER, LOW WATER USAGE, VERY ORNAMENTAL, LOW MAINTENANCE, SALT TOLERANT

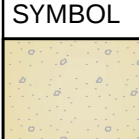
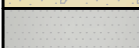
FIRECRACKER PENSTEMON
SMALL NATIVE PERENNIAL PLANT WITH FIRE RED FLOWERS IN LATE SPRING, VERY LOW WATER USAGE, SALT TOLERANT, LOW MAINTENANCE

PAWNEE BUTES SAND CHERRY
TALL X 6' WIDE PROVIDES VERY ATTRACTIVE FOLIAGE COVERAGE OF LARGE AREAS, LOW WATER USAGE, SALT TOLERANT, WHITE FLOWERS IN SPRING

GRO-LOW SUMAC
GROUND COVER TYPE VARIANT OF NATIVE FRAGRANT SUMACE, 2.5' TALL X 7' WIDE OR MORE, PROVIDES VERY ATTRACTIVE FOLIAGE COVERAGE OF LARGE AREAS, LOW WATER USAGE, SALT TOLERANT

PROSTRATE GERMANDER
SMALL ATTRACTIVE EVERGREEN GROUND COVER WITH PURPLE FLOWERS IN SUMMER, LOW MAINTENANCE, LOW WATER USE

PLANT SCHEDULE						
TREES	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	REMARKS
	CEL OCC	7	Prairie Sentinel Common Hackberry <i>Celtis occidentalis</i> `Prairie Sentinel`	2" Cal.	B&B	45" T X 12" W
	EXI SNX	9	Existing Tree Exist Tree	---		Existing deciduous tree
	KOE COR	6	Golden Rain Tree <i>Koeleruteria paniculata</i>	2" Cal.	B&B	30" T X 30" W, LOW WATER USE
	MAL SPR	6	Spring Snow Flowering Crabapple <i>Malus x `Spring Snow`</i>	2" Cal.	B&B	25" T X 25" W, LOW WATER USE
	ZEL MUS	5	Musashino Japanese Zelkova <i>Zelkova serrata</i> `Musashino`	2" Cal.	B&B	45" T X 20" WIDE, COLUMNAR, LOW WATER USE WHEN ESTABLISHED
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	REMARKS
	BUX GEM	30	Globe Winter Gem Boxwood <i>Buxus microphylla</i> `Winter Gem`	5 gal.		3.5" T X 4.0" W, MODERATE WATER USE
	CAL OVR	47	Overdam Feather Reed Grass <i>Calamagrostis x acutiflora</i> `Overdam`	1 gal.		3" T X 2" W, LOW WATER USE
	CAR CLA	5	Blue Mist Shrub <i>Caryopteris x clandonensis</i> `Blue Mist`	5 gal.		3" T X 3" W, LOW WATER USE
	HEM GAR	42	Garden Show Dayily <i>Hemerocallis x `Garden Show`</i>	1 gal.		12" T X 18" W, LOW WATER USE
	HEM ORO	11	Stella de Oro Daylily <i>Hemerocallis x `Stella de Oro`</i>	1 gal.		12" T X 18" W, LOW WATER USE
	HES PAR	4	Sandia Glow Red Yucca <i>Hesperaloe parviflora</i> `MSWNPRED`	5 gal.		3" T X 3" W, ENSURE THIS CULTIVAR ONLY, AVAILABLE FROM MOUNTAIN STATES WHOLSALE NURSERY, VERY LOW WATER USE
	JUN HUG	11	Hughes Creeping Juniper <i>Juniperus horizontalis</i> `Hughes`	5 gal.		12" T x 6" W, LOW WATER USE
	LAV MUN	24	Munstead English Lavender <i>Lavandula angustifolia</i> `Munstead`	1 gal.		18" T X 24" W, LOW WATER USE
	MUH UND	44	Undaunted Ruby Muhly <i>Muhlenbergia reverchonii</i> `PUND01S` TM	1 gal.		18" tall x 24" wide at maturity
	PEN PEN	20	Firecracker Penstemon <i>Penstemon eatonii</i>	1 gal.		18" T X 12" W, LOW WATER USE
	PER ESE	20	Denim `n Lace Russian Sage <i>Perovskia atriplicifolia</i> `Denim` `n Lace`	5 gal.		28" T x 34" W, LOW WATER USE
	PHI BLI	7	Blizzard Mockorange <i>Philadelphus lewisii</i> `Blizzard`	5 gal.		7" T X 5" W, LOW WATER USE WHEN ESTABLISHED
	PHI DWA	12	Miniature Snowflake Mockorange <i>Philadelphus x virginalis</i> `Miniature Snowflake`	5 gal.		3.5" T X 4.0" W, LOW WATER USE WHEN ESTABLISHED
	PHY LIT	66	Little Devil Dwarf Ninebark <i>Physocarpus opulifolius</i> `Little Devil` TM	5 gal.		3.5" T X 4.0" W, LOW WATER USE WHEN ESTABLISHED
	PIN SLO	15	Slowmound Mugo Pine <i>Pinus mugo</i> `Slowmound`	5 gal.		3" T X 4" W, LOW WATER USE
	PRU PAW	55	Sand Cherry <i>Prunus besseyi</i> `Pawnee Buttes`	5 gal.		12" T X 6" W, LOW WATER USE
	RHU GLO	31	Gro-Low Fragrant Sumac <i>Rhus aromatica</i> `Gro-Low`	5 gal.		2.5" T X 7" W, LOW WATER USE
	SYR COD	10	Blooming Dwarf Purple Lilac <i>Syringa x `SMNJRPU` TM</i>	2 gal.		3" tall x 3" wide at maturity
	TEU PRO	26	Prostrate Germander <i>Teucrium chamaedrys</i> `Prostratum`	1 gal.		8" T X 30" W, LOW WATER USE WHEN ESTABLISHED
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	SIZE	CONTAINER	REMARKS
	POA IMP	3,995 sf	Imperial Blue Kentucky Bluegrass <i>Poa pratensis</i> `Imperial Blue`	sod		

REFERENCE NOTES SCHEDULE		
SYMBOL	DESCRIPTION	QTY
	Rock Mulch - Calico Cobble from Staker Parson. Rock mulch shall be a 50/50 blend of 2-4" and 4-6" cobble. Depth shall be 3" minimum. Rock to be round cobble, not crush rock.	11,887 sf
	CONCRETE PAVING / CURBS	
	ASPHALT PAVEMENT	
	EXISTING CONCRETE PAVING / CURBS	

- ROCK MULCH NOTES:
- ALL PLANTING AREAS TO RECEIVE ROCK MULCH PER REFERENCE NOTE ABOVE.
 - INSTALL A TRUE 50Z WEED FABRIC BARRIER BETWEEN THE SOIL AND ROCK MULCH. INSTALL PER MANUFACTURE'S DETAILS AND SPECIFICATIONS.
 - APPLY A PRE-EMERGENT HERBICIDE BEFORE INSTALLATION OF WEED BARRIER FABRIC AND AFTER ROCK MULCH.
 - MINIMUM DEPTH OF ROCK MULCH AS PER REFERENCE NOTE ABOVE.
 - ROCK MULCH TO BE EVENLY SPREAD WITH NO SOIL OR WEED BARRIER FABRIC SHOWING

LANDSCAPE STATISTICS	
DESCRIPTION	QTY
LOT:	
TOTAL LOT SIZE:	40,387 SF
ZONING:	C-2
TOTAL ON-SITE PLANTING AND TURF AREA OF LOT:	12,888 SF
PERCENTAGE OF LOT IN LANDSCAPE (15% MIN. REQUIRED):	31.9%
PLANTING AND TURF AREAS:	
TOTAL ON-SITE SHRUB AND TURF AREA:	12,888 SF
SHRUB PLANTING AREA:	10,543 SF
SHRUB PLANTING PERCENTAGE OF LANDSCAPE AREA:	81.5%
TURF PLANTING AREA:	2,392 SF
TURF PLANTING PERCENTAGE OF LANDSCAPE AREA:	18.5%
STREET FRONTAGE PERCENTAGES:	
TOTAL STREET FRONTAGE LANDSCAPE AREA:	10,832 LF
STREET FRONTAGE TURF AREA:	3,085
STREET FRONTAGE TURF PERCENTAGE:	28.5%
STREET FRONTAGE SHRUB AREA:	7,747
STREET FRONTAGE SHRUB PERCENTAGE:	71.5%
STREET FRONTAGE PLANTS:	
TOTAL LINEAR FEET OF FRONTAGE:	443 LF
TREES REQUIRE (1 PER 20 LF):	23
TREES PROVIDED INCLUDING EXISTING:	230
SHRUBS REQUIRE (10 PER 20 LF):	230
SHRUBS PROVIDED:	250

No.	Revisions	Date	By
1			
2			
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