REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Wednesday June 21, 2023, 6:00 p.m.

PUBLIC NOTICE is hereby given that the Vineyard City Planning Commission will hold a regularly scheduled meeting at City Hall, 125 South Main Street, Vineyard, Utah. You can also view the meeting on our live stream channel.

REGULAR SESSION

CALL TO ORDER

1. **INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE**
2. **OPEN SESSION -** Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.
3. **MEETING MINUTES**
   - **3.1 June 7, 2023**
4. **BUSINESS ITEMS**
   - **4.1 Site Plan - Mountain America Credit Union**
     Mountain America Credit Untion is requesting site plan approval for a new credit untions to be built at 653 E 450 N (Parcel ID: 56:042:0009). The lot is in located in the Yard Subdivision and zoned Regional Mixed Use (RMU) district. Credit Unions are a permitted use in the RMU district. The Planning Commission will take appropriate action.
5. **COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE**
6. **ADJOURNMENT**

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Rachel Stevens, Planning Technician, at least 24 hours prior to the meeting by calling (801) 226-1929 or email at rachels@vineyardutah.org.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices and City Hall, delivered electronically to city staff and each member of the Planning Commission.

AGENDA NOTICING COMPLETED ON: June 16, 2023

NOTICED BY: /s/ Rachel Stevens
Rachel Stevens, Planner

REGULAR MEETING
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Wednesday June 7, 2023, 6:00 p.m.

PUBLIC NOTICE is hereby given that the Vineyard City Planning Commission will hold a regularly scheduled meeting at City Hall, 125 South Main Street, Vineyard, Utah. You can also

REGULAR SESSION:

Attendance:

Planning Commissioners: Bryce Brady, Tay Gundmundson, Anthony Jenkins, Craig Bown, Graden Ostler

Those Excused: Chris Bramwell and Steve Anderson

Staff Present: Patrick James, Staff Engineer; Naseem Ghandour, Public Works Director; Morgan Brim; Community Development Director; Rachel Stevens and Anthony Fletcher, Planners.

Others Present: Christ Kephart, Vineyard Properties

CALL TO ORDER

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

Bryce Brady called the meeting to order at 6:01 pm. Anthony Jenkins offered and invocation and led the pledge of allegiance.

2. OPEN SESSION –

There were no public comments.

3. MEETING MINUTES

3.1 May 24, 2023

MOTION: Tay Gundmundson made a motion to approve the May 24, 2023 meeting minutes and Anthony Jenkins seconded the motion. Those voting aye: Bryce Brady, Tay Gundmundson, Anthony Jenkins, Craig Bown, and Graden Ostler. The motion passed unanimously.

4. BUSINESS ITEMS

4.1 Site Plan Amendment – Lot 5, Buildings C at Eastlake at Geneva

Rachel Stevens presented a site plan amendment for Lot 5, Building C at Eastlake Geneva. Vineyard Properties of Utah requested approval of a site plan amendment for Lot 05 of Eastlake at Geneva. This amendment proposes removing architectural elements such as roof trims, awnings, endcaps, and concrete parapets and changing the color scheme. There were no further questions.

MOTION: Craig Bown made a motion to approve the site plan amendment with the conditions that all outstanding fees are paid and that all sign permits are approved

separately. Tay Gundmundson seconded the motion. Those voting aye: Bryce Brady, Tay Gundmundson, Anthony Jenkins, Craig Bown, and Graden Ostler. The motion passed unanimously.

5. WORK SESSION

5.1 There were no work sessions scheduled.

6. TRAINING SESSION

6.1 There were no training sessions scheduled.

7. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

Anthony Jenkins reported on bike month.
Bryce Brady reported on the Outdoor Adventure Coordination
Morgan Brim reported on Vineyard Days.
A new staff engineer, Patrick James, was introduced.

From the audience, Chris Kephart, reported that 1600 north should paved in the next few weeks.

8. ADJOURNMENT

Bryce Brady closed the meeting at 6:10.

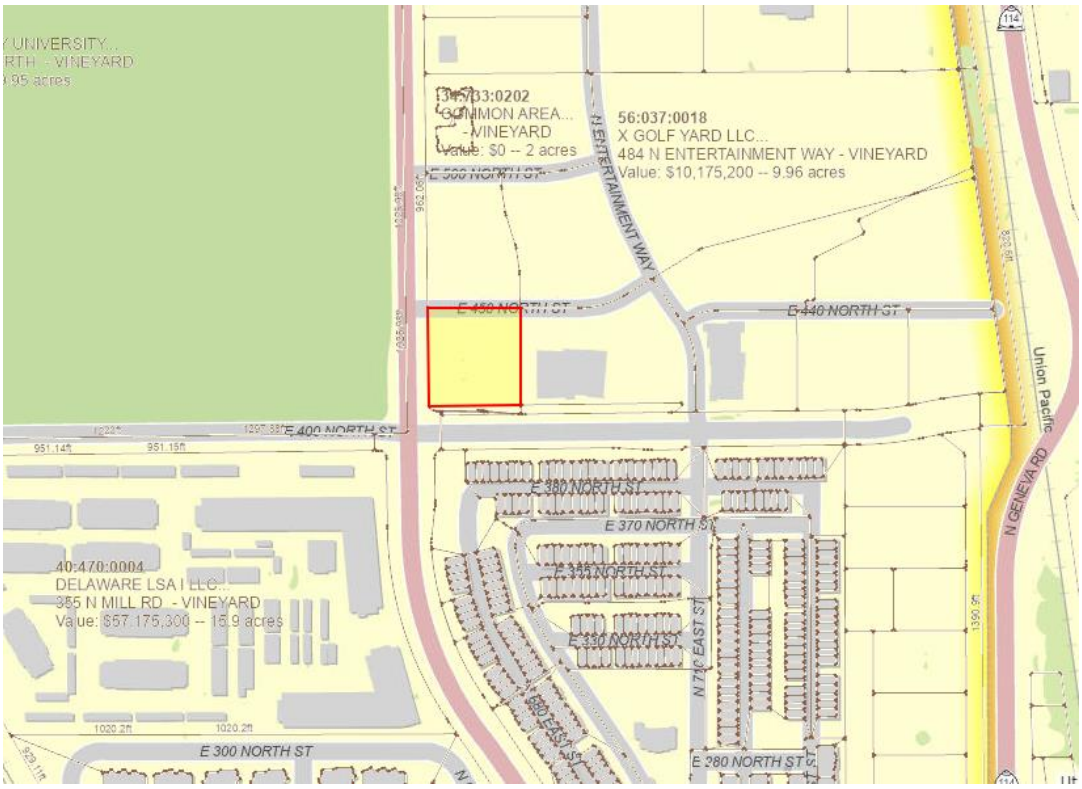
Certified correct on: June 21, 2023

Certified by: /s/ Rachel Stevens
Rachel Stevens, Planner

DRAFT

Community Development

Date: June 21, 2023
From: Cache Hancey, Planner & Business Advocate
To: Planning Commission
Item: Mountain America Credit Union Site Plan (PLAN 23-010)
Applicant: Brooke Bean, Sanders Associates Architects



SUMMARY

Mountain America Credit Union has submitted for site plan approval for a new credit union to be built at 653 E 450 N (Parcel ID: 56:042:0009). The lot is approximately 1 acre and located within the Yard B Subdivision. This use is an out-right permitted use in the RMU Zoning District.

The site has adequate parking (31 vehicular stalls and 2 inverted-U bicycle racks) for intended use and 3 drive-through teller lanes. The property has vehicular access off 440 North and pedestrian access on the west and east facades of the building. There is adequate pedestrian crossings throughout the parking lot. Due to existing utilities, the building was unable to be brought up closer to Mill Road. The applicant has done an adequate job at providing access and landscaping along Mill Road to ensure the property fits within the zoning design guidelines. Landscaping will be completed with decorative stone and native plants. They have provided 28% of the site with landscaping. Proper landscaping has been provided along the southern end of the parking lot to shield any vehicular light from the neighboring residential buildings. The site will have adequate lighting, with multiple shielded light poles not exceeding 20ft in height.

STAFF RECOMMENDATION

Staff recommends approval with the listed conditions of the site plan application.

CONDITIONS

1. The applicant pays any outstanding fees and makes any redline corrections.
2. The applicant is subject to all federal, state, and local laws.
3. The applicant must observe all American with Disabilities Act (ADA) requirements.
4. The applicant increases the sidewalk width on the east property line.
5. The detention pond must not be located within a Public Utility Easement (PUE), as it is currently along Mill Road.
6. The sidewalk must be located within a public Right-of-Way (ROW) and not within private property without a public use easement in place.
7. The applicant must provide a utility easement across the site's north side (along 440N which is not a Public Road).

POTENTIAL MOTIONS

"I move to approve the Mountain America Credit Union site plan application with the proposed conditions."

ATTACHMENTS

Staff Review
Site Plan (includes landscaping plan and elevations)
Lighting Spec Sheet

VZC 15.36 Site Planning and Building Design Requirements			
Category	**Standard**	**Staff Comments**	**Compliance**
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project **features that add visual interest** and **attractiveness** to the subdivision or project area and the City. Such features may include **subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and *useable* parks and open spaces.**	Complaint	Yes No N/A
15.36.030.1.a Building Design	The City encourages **creative and varied architectural forms** reflecting its historic rural character. The goal is	The structure possesses creative and varied building shapes and configurations. Both form and space are	☒ Yes No

	that all man-made structures blend harmoniously with the natural environment.	given shape and scale in the design process. Variation in building materials has been accomplished.	☐ N/A
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.		☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for **reducing the apparent size and bulk of proposed buildings and structures**	The proposed design recesses and projects building elements to avoid flat monotonous facades. Varied roofline patterns also create visual interest.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.		☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.		☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is very shallow pitch, or a hip		☒ Yes ☐ No ☐ N/A

	roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)		
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.		☒ Yes ☐ No ☐ N/A
15.36.030.1.a.v Architectural details	Surface **details**, **ornaments**, and other **building elements that enrich the character of a building** are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged: - Stonework - Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures.		☒ Yes ☐ No ☐ N/A
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building		☐ Yes ☐ No ☒ N/A

15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.		☐ Yes ☐ No ☒ N/A
15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.	Mechanical equipment is adequately screened.	☐ Yes ☐ ☐
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.		☒ Yes ☐ No ☐ N/A
15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or		☒ Yes ☐ No

	planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.		☐ N/A
15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable		☒ No ☐ ☐
15.36.030.5.d Building Location	**All buildings shall have an orientation to the street to encourage a pedestrian relationship.** Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	The applicant tried to orient their building toward Mill Road but due to existing utility constraints, they were unable to locate the building further west.	☐ Yes No N/A ☐
15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.		☒ Yes ☐ No ☐ N/A
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.	Cedar finish fiber cement siding fulfills this requirement	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and		☒ Yes ☐ No ☐ N/A

	muted colors that bend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.		
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.		☒ Yes ☐ No ☐ N/A
15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable		☐ Yes ☐ No ☒ N/A
15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and **provide open space** and		☒ Yes ☐ No

	to **protect views**. The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.		☐ N/A
15.36.030.9.a.ii.	**Provide an interconnected system of open space areas.** The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing, or planned to be located on adjacent properties.	The have provided a gathering space in the southwest area of their lot.	☐ No ☐ ☐
15.36.030.10 Site Access	The location and number of access points to the site, the **interior circulation pattern**, and **the separation between pedestrians and vehicles shall be designed to maximize safety and convenience**, and should be harmonious with proposed and neighboring buildings.		☐ Yes ☒ No ☐ N/A
15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.		☒ Yes ☐ No ☐ N/A
15.36.030.12 Views	Due to the community quality and character created by the surrounding scenic		☒ Yes ☐ No

	beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake		☐ N/A
15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.		☒ Yes ☐ No ☐ N/A
15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.		☐ Yes ☐ No ☒ N/A
15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.		☐ Yes ☐ No ☒ N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant “xeriscape” landscaping is encouraged.	The landscaping plan provides for drought resistant plants. No grass is proposed.	☒ Yes ☐ No ☐ N/A

	Landscaping improvements may also include berming, contouring, rocks, and boulders.		
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.		☐ Yes ☐ ☐
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, **public art** and pedestrian and **biking facilities** and street furniture.		☒ Yes ☐ No ☐ N/A
15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that are compatible with the residence.		☒ Yes ☐ No ☐ N/A

15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.		☒ Yes ☐ No ☐ N/A
15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.		☒ Yes ☐ No ☐ N/A
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be "down lighting" so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties.		☐ Yes ☐ ☐
15.36.030.17. a.	Warming lighting colors are encouraged. Blue white colors or fluorescent and mercury vapor lamps are prohibited.		☐ Yes ☐ No ☒ N/A
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.		☐ Yes ☐ ☐
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, **with emphasis placed on appropriate lighting at entrances and exits.** All parking area lighting shall be integrated with landscape features. The height of pole-mounted		☒ Yes ☐ No ☐ N/A

	fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.		
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.		☒ Yes ☐ No ☐ N/A
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein		☒ Yes ☐ No ☐ N/A
17.36.030.c	All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.		☒ Yes ☐ No ☐ N/A
VZC Chapter 15.38 Parking and Loading Requirements			
Category	**Standard**	**Staff Comments**	**Compliance**
15.38.030.1.e Parking Stall Dimensions	Type / Width / Length Standard / 9 ft / 20 ft Parallel / 8 ft / 24 ft The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).	Most spaces are close to 9' in width and vary from 16'6" to 18' in length. With sidewalk overhand allowance, the parking stalls are complaint.	☐ Yes No N/A ☐

15.38.030.1.f. Parking Aisle Dimensions	<table><tr><td>Angle</td><td>1way Aisle</td><td>2way Aisle</td></tr><tr><td>90 deg.</td><td>24 ft</td><td>24 ft</td></tr></table>		☐ Yes ☐
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.		☒ Yes ☐ No ☐ N/A
15.38.030.1.h. Within Structures	The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section		☐ Yes ☐ No ☒ N/A
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.		☒ Yes ☐ No ☐ N/A
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface.		☒ Yes ☐ No ☐ N/A

	Such area shall not be considered as part of a required landscape area.		
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide		☒ Yes ☐ No ☐ N/A
15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.		☒ Yes ☐ No ☐ N/A
15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.		☐ Yes ☐ No ☒ N/A
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination there-of at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.		☒ Yes ☐ No ☐ N/A
15.38.030.1.o.i. Parking Area Landscaping	5% of the gross parking surface area shall be of disperse interior landscaping, designed so as to reduce the "heat island" effect and to		☒ Yes ☐ No ☐ N/A

	enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs: 1) 5' by 5' tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces. 2) Min. 5' wide landscape medians with trees planted 40 feet apart 3) Min. 5' wide landscape islands and peninsulas with at least 1 tree 4) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.		
15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges		☒ Yes ☐ No ☐ N/A
15.38.030.1.o.iii.	Access drives, internal circulation drives, parking		☐ Yes

	area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways **shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.**		☒ No ☐ N/A
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.		☒ Yes ☐ No ☐ N/A
15.38.030.1.o.v.	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.		☐ Yes ☐ No ☐ N/A
15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and **pedestrian access enhanced.**		☒ Yes ☐ No ☐ N/A
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.		☒ Yes ☐ No ☐ N/A
15.38.030.1.o.viii.	All sites shall meet the requirements of the		☒ Yes ☐ No

	Americans with Disabilities Act ("ADA")		☐ N/A
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.		☐ Yes ☐ No ☒ N/A
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.		☐ Yes ☐ No ☒ N/A
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.		☒ Yes ☐ No ☐ N/A
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.		☐ Yes ☐ No ☒ N/A
15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation.		☐ Yes ☐ No ☒ N/A
15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of		☐ Yes ☐ No ☒ N/A

	goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.		
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.		☐ ☐
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.		☐ Yes ☐ No ☒ N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		
15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		
15.38030.1.s.iv.	All canopies shall include a fascia		
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		
15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Medical Offices and Clinics: 1 space per 200 SF of floor area.		☐ Yes ☐ No ☒ N/A
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the various uses computed separately.		☐ Yes ☐ No ☒ N/A
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed-use development may reduce the amount of required parking		☐ Yes ☐ No

	by 10% if the project is a mixed use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.		☒ N/A
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is.5 or greater.		☐ Yes ☐ No ☐ N/A
15.38.030.2.f. Joint Use Parking			☐ Yes ☐ No ☐ N/A
15.38.030.2.g. Offsite Parking			☐ Yes ☐ No ☒ N/A
15.38.040 Off-Street Loading Requirements			☐ Yes ☐ No ☒ N/A
VZC Chapter 15.40 Landscaping			
Category	**Standard**	**Staff Comments**	**Compliance**
15.40.080.1.a. Landscape Improvements and Guarantees	All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed and paid for by the developer		☐ Yes ☐ No ☒ N/A

	on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner ***may*** approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.		
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.		☒ Yes ☐ No ☐ N/A
15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual	All trees conform with the trees listed in the Tree manual.	☐ Yes ☐ ☐
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with		Yes

	similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. **Plant materials shall be chosen from the approved Vineyard Tree Manual.**		
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	No turf is proposed for this location.	☒ Yes ☐ No ☐ N/A
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.		☒ Yes ☐ No ☐ N/A
15.40.080.1.g. Irrigation Standards			
15.40.080.1.h. Separate Connection			
15.40.080.1.i. Soil Preparation			
15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and		☒ Yes ☐ No ☐ N/A

	vehicular access ways to prevent the destruction of landscape materials by vehicles.		
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.		☒ Yes ☐ No ☐ N/A
15.40.080.1.l. Detention Ponds			
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.		☐ Yes ☐ No ☒ N/A
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area. For the purposes of this section, landscape areas shall also include plazas.	This site plan proposes 28% landscaped areas.	☒ Yes ☐ No ☐ N/A
15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.		☐ Yes ☐ No ☒ N/A

15.40.080.2.d.	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.		☒ Yes ☐ No ☐ N/A
15.40.080.3.a. Landscaped Buffers	A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of this Section.		☐ Yes ☐ No ☒ N/A
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15-foot interval of the property boundary being screened.		☐ Yes ☐ No ☒ N/A
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.		☒ Yes ☐ No ☐ N/A

15.40.080.5. Building Foundations	For each elevation visible from a public or private street, a minimum of 5-foot foundation planting area shall be provided.		Yes ☒ No N/A
15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet		☒ Yes ☐ No ☐ N/A
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet		☐ Yes ☐ No ☒ N/A
15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.		☒ Yes ☐ No ☐ N/A
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage		☒ Yes ☐ No ☐ N/A

	landscaping shall be designed and located to enhance the proposed development project and the streetscape.		
15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.		☒ No ☐ ☐
15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.		☒ Yes ☐ No ☐ N/A

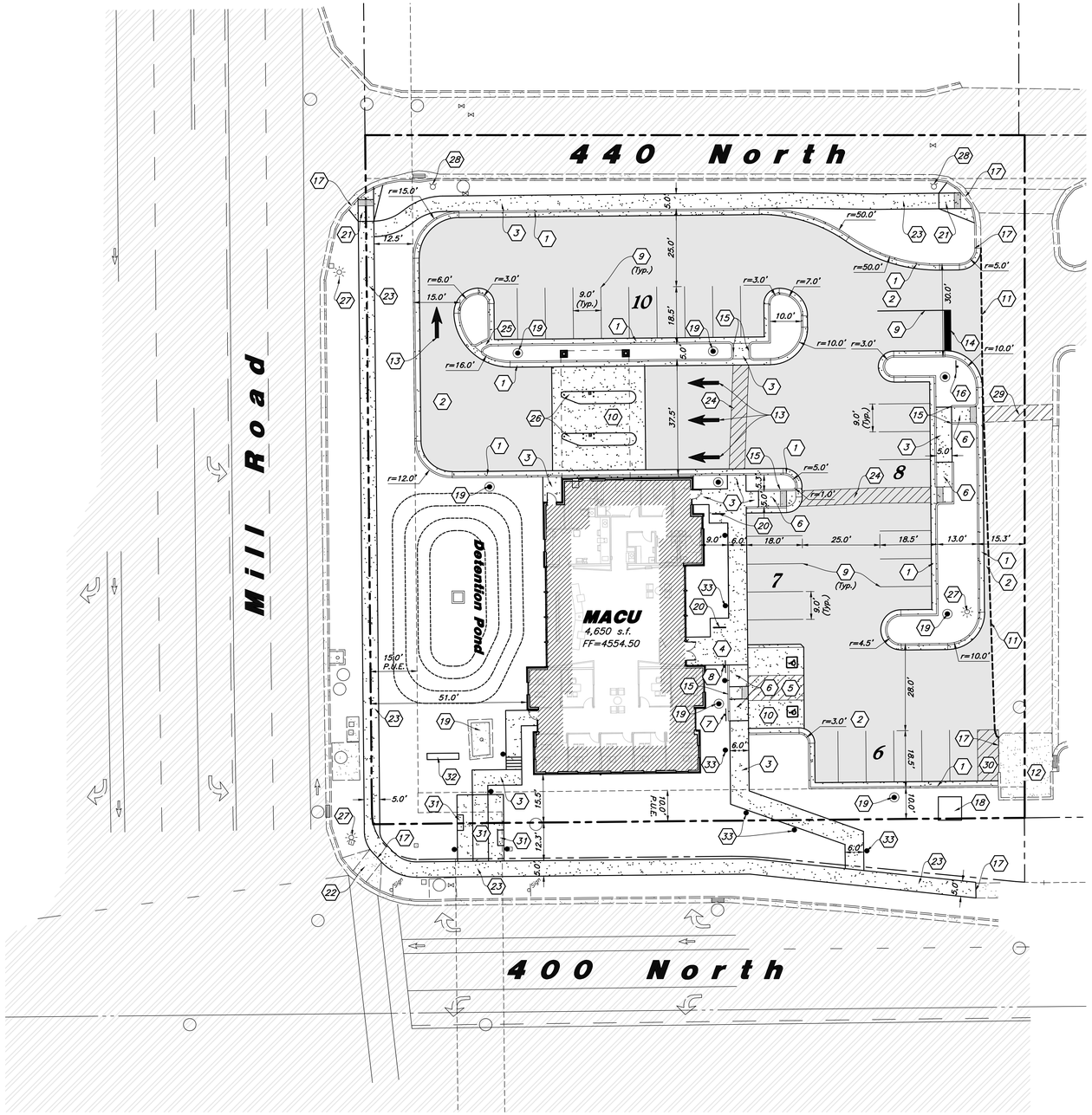
VZO: Special Purpose Zoning Districts – Chapter 2 Regional Mixed-Use District			
Standard	**Standard**	**Staff Comments**	**Compliance**
2.08.1.a. Project Characteristics	Multiple buildings which may accommodate one or more uses	Single building accommodating a single use	☐ ☒ ☐
2.08.1.b.	Buildings on the site connected by internal streets and drives, and pedestrian connections and pathways		☐ Yes ☐ No ☒ N/A
2.08.1.c.	At least one major private or public space, such as a plaza, park, town square, or other gathering space	Please provide at least one of these.	☐ Yes No N/A ☐

2.08.2. Minimum Acreage	The minimum acreage required for a Development Plan shall be ten (10) acres; provided, however, that a parcel of less than 10 acres may be approved, subject to compliance with all provisions of this ordinance and approval by the City Council		☒ Yes ☐ No ☐ N/A
2.08.4. Non-Residential	There is no limit on the intensity of non-residential units as long as each development complies with the development standards of the approved development plan and the requirements herein.		☒ Yes ☐ No ☐ N/A
2.08.5. Building Height	Maximum allowed: 60 FT		☒ Yes ☐ No ☐ N/A
2.08.6. Setbacks	Arterial – 25 feet Collector – 20 feet Local – 15 feet		☒ Yes ☐ No ☐ N/A
2.08.7. Compatibility Requirements	Development shall be compatible with and preserve the character and integrity of adjacent land uses, the development shall include improvements or modifications either on-site or within the public rights-of-way to mitigate adverse impacts, such as traffic, noise, odors, shadow, scale, visual nuisances, or other similar adverse effects to adjacent land uses.		☒ Yes ☐ No ☐ N/A

	These improvements or modifications may include, but shall not be limited to, the placement or orientation of buildings and entryways, parking areas, buffer yards, alteration of building mass, and the addition of landscaping, walls, or both to ameliorate such impacts.		
2.08.8. Separation Between Industrial Uses			☐ Yes ☐ No ☒ N/A
2.08.9.a.i. Mixed Use Requirements	Each development shall be designed in such a way that it is **well integrated within adjacent land uses**. Integrated means that uses are within a comfortable walking distance (1/4) mile and are **connected to each other with direct, convenient, and attractive pedestrian pathways**; or the proposal contains a superior way to achieve the above criteria.	The sidewalk improvements surround the property and the connectivity to the adjacent properties allows for enhanced pedestrian use.	Yes
2.08.9.a.ii.	Projects shall develop a comprehensive open space network that uses plazas and other open space elements to connect uses. Open space areas and the paths link them shall facilitate the integration of adjacent land uses on the site.		Yes

2.08.9.a.iii.	Each development shall provide an on-site system of pedestrian walkways and/or public sidewalks throughout the RMU district. Connections shall be made to provide direct pedestrian and bicycle travel from within the development to adjacent uses and/or sites, transit stops, perimeter sidewalks, major destinations. In order to provide efficient pedestrian connections to adjacent destination, the City may require additional sidewalks, walkways, or bike paths not associated with a street, or the extension of a sidewalk from the end of a cul-de-sac to another street or walkway. Specifically, onsite pedestrian connections shall be provided to an between the following points: 1) The primary entrance or entrances to each building 2) Existing or planned transit stops, stations, and park-n-rid location 3) Trail systems, where determined appropriate either by the City based on		Yes ☒ No N/A

	the Master Trails Plan. 4) On-site amenities 5) Adjacent development		



Scale: 1" = 20'

20' 0 20' 40'

Site Data

Site Area = 46,817 s.f. (1.07 ac.)
Landscape Area Provided = 10,597 s.f. (22%)
Impervious Area Provided = 28,914 s.f. (62%)
Detention Pond Area - 2,656 s.f. (6%)
Building Area = 4,650 s.f (10%)
Parking Required = 1/150 s.f. = 31 stalls
Parking Provided = 31 stalls (6.7/1,000)

Hatch Legend

- Standard Asphalt Paving
- Existing Asphalt Paving
- Standard Concrete Paving
- Existing Concrete Paving
- Building Interior

Site Construction Notes

1. Const. 24" Curb & Gutter (1/C4.1)
2. Const. Asphalt Paving (2/C4.1)
3. Const. Conc. Sidewalk (4/C4.1)
4. Const. Thickened Edge Sidewalk (5/C4.1)
5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (3/C2.2)
6. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Detail Sheets) (1/C2.2)
7. Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (4/C2.2)
8. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (4/C2.2)
9. Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. Dry Thickness (Two Coats)
10. Const. Conc. Paving (6/C4.1)
11. Sawcut; Provide Smooth Clean Edge
12. Existing Dumpster Enclosure
13. Const. Directional Arrows per MUTCD
14. Const. 24" White Stop Bar
15. Const. 6" Conc. Curb Wall (7/C4.1)
16. Const. Stop Sign per MUTCD R1-1
17. Conn. & Match Existing Improvements
18. Const. Transformer (See Site Electrical Plans)
19. Const. Light Pole – for reference only. (See Site Electrical Plans).
20. Const. Bike Rack (21/C4.3)
21. Const. Accessible Ramp Per Vineyard City Standards
22. Existing Accessible Ramp
23. Const. Conc. Sidewalk Per Vineyard City Standards
24. Const. 6.0' Painted Pedestrian Crosswalk, 45° Diagonal Striping at 24" O.C.
25. Const. Drainage Thru Planter (16/C4.3)
26. Const. Raised Concrete Drive-Thru Island (See Architectural Plan – 6" Max. Height)
27. Existing Light Pole
28. Existing Fire Hydrant
29. Existing Pedestrian Crossing
30. Const. 4" White Paint Striping @ 24" O.C. 45°, Contractor Shall Provide 15 Mil Min Dry Thickness (Two Coats)
31. Const. Pedestrian Plaza with owner provided Benches. Contractor to install. (See Architectural Plans)
32. Monument Sign by Separate permit.
33. Const. Sidewalk bollard lights (See Site Electrical Plans).

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property: that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

REV	DATE	DESCRIPTION

Designed by: LC
Drafted by: NE
Client Name: MAFCU
22-109 SP

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Site Plan

MACU - Vineyard

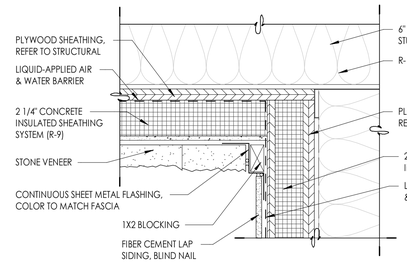
633 East 450 North
Vineyard City, UT

REGISTERED PROFESSIONAL ENGINEER No. 7895285 SHAUN R. YOUNG 5/24/23 STATE OF UTAH

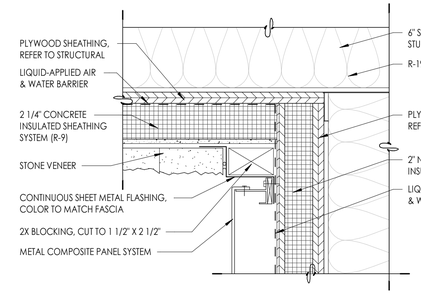
17 Jan, 2023

SHEET NO.
C1.1

W:\22-109 MACU Vineyard\dwgs\22-109 SP.dwg, 5/24/2023 8:50:08 AM, DWG To PDF.pc3, 1:1, LC



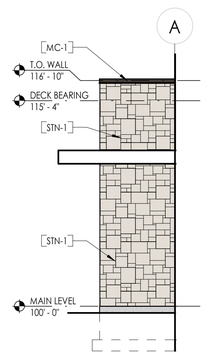
D3 WALL DETAIL
3" = 1'-0"



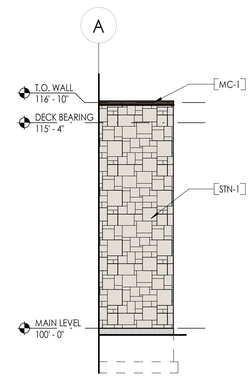
D4 WALL DETAIL
3" = 1'-0"

EXTERIOR MATERIAL SCHEDULE

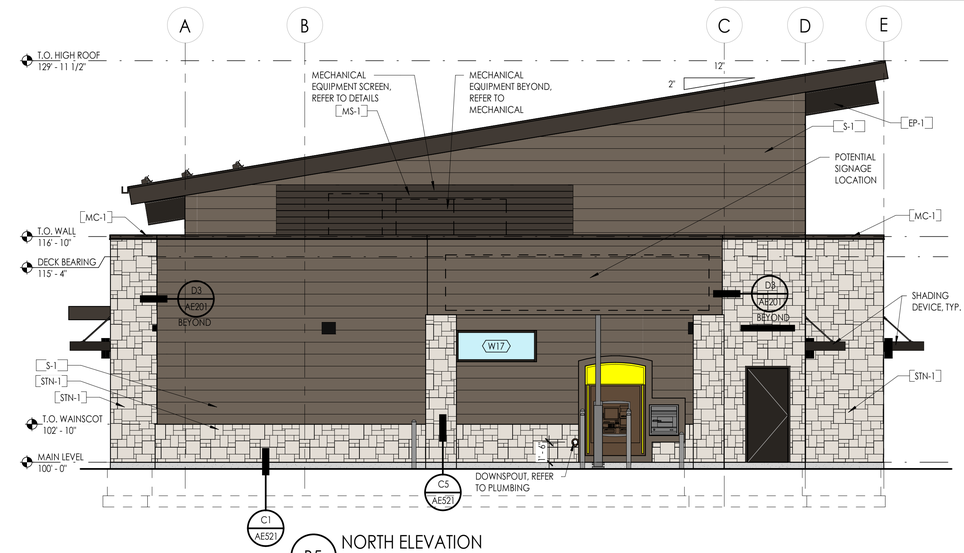
MARK	MANUF.	PRODUCT	COLOR / FINISH
EXTERIOR PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT	SW6990 CAVIAR 251-C2, EGGSHELL
MASONRY			
STN-1	DELTA STONE	STONE VENEER	IVORY WHITE
MECHANICAL SCREEN			
MS-1	GEOLAM	QUALITA 020C	EBONY, END CAPS @ ALL EXPOSED ENDS
METAL			
MC-1	SEE SPEC. 076200	PRE-FINISHED METAL COPING	SEE SPEC.
METAL PANEL			
MP-1	ALPOLIC	METAL PANEL	JBR BRONZE (SIGNAGE PAINT COLOR SW7020 BLACK FOX)
SIDING			
S-1		FIBER CEMENT LAP SIDING	CEDAR TEXTURE FINISH, PAINT SW7026 GRIFFIN (SIGNAGE PAINT COLOR SW7026 GRIFFIN)
ST-1		FIBER CEMENT LAP SIDING TRIM	CEDAR TEXTURE FINISH, PAINT SW7026 GRIFFIN



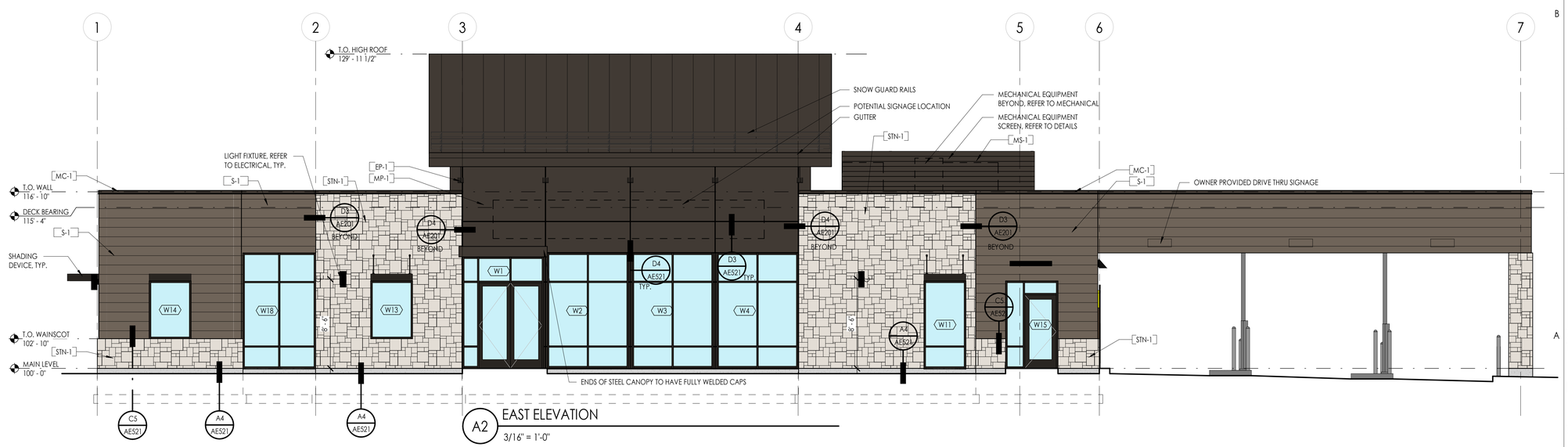
B2 NORTH ELEVATION
3/16" = 1'-0"



B3 SOUTH ELEVATION
3/16" = 1'-0"



B5 NORTH ELEVATION
3/16" = 1'-0"



A2 EAST ELEVATION
3/16" = 1'-0"

SAA
SANDERS ASSOCIATES ARCHITECTS
2668 Grant Avenue
Ogden, Utah 84401
Phone: 801.621.7303
www.sandersarch.com

Seal

Consultant

Project Name

MOUNTAIN AMERICA CREDIT UNION
THE YARD BRANCH
653 E. 450 N.
VINEYARD, UT 84058

Issued

No.	Date	Description

Revision

No.	Date	Description

SAA Project No. 2022-30

Drawing Title

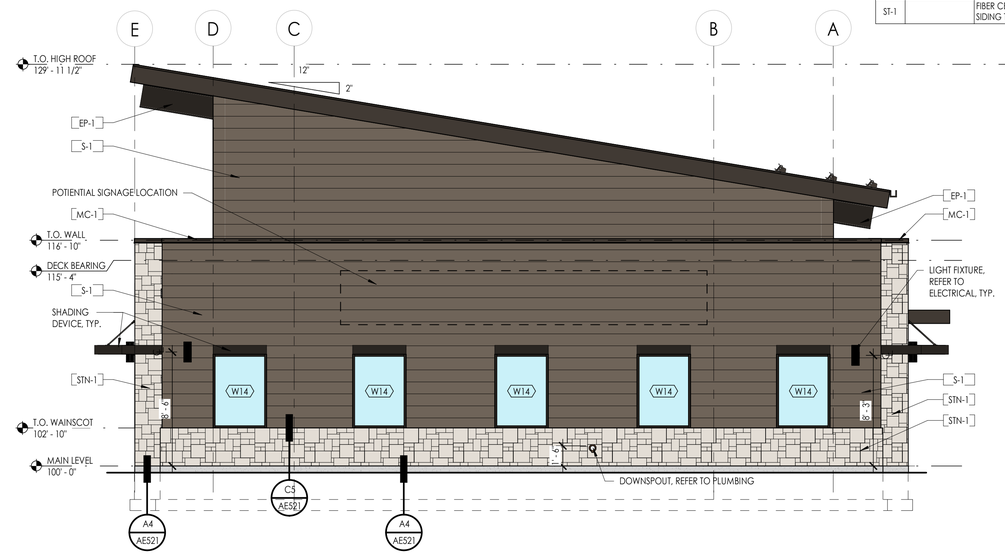
EXTERIOR ELEVATIONS

Sheet Number

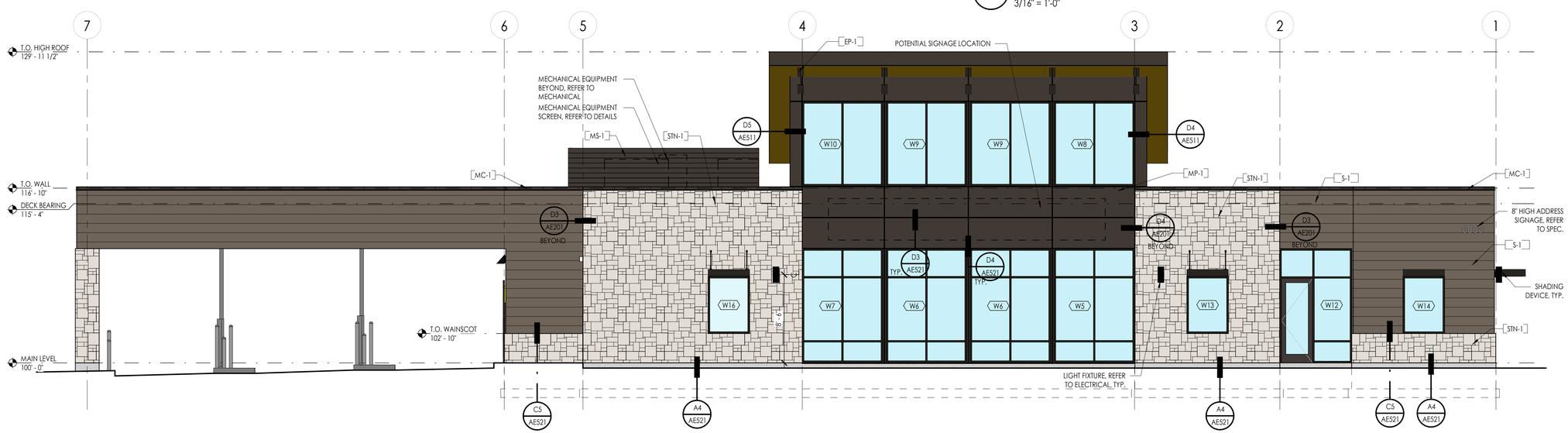
AE201

EXTERIOR MATERIAL SCHEDULE

MARK	MANUF.	PRODUCT	COLOR / FINISH
EXTERIOR PAINT			
EP-1	SHERWIN WILLIAMS	EXTERIOR PAINT	SW6990 CAVIAR 251-C2, EGGSHELL
MASONRY			
STN-1	DELTA STONE	STONE VENEER	IVORY WHITE
MECHANICAL SCREEN			
MS-1	GEOLAM	QUALITA 020C	EBONY, END CAPS @ ALL EXPOSED ENDS
METAL			
MC-1	SEE SPEC. 076200	PRE-FINISHED METAL COPING	SEE SPEC.
METAL PANEL			
MP-1	ALPOLIC	METAL PANEL	JBR BRONZE (SIGNAGE PAINT COLOR SW7020 BLACK FOX)
SIDING			
S-1		FIBER CEMENT LAP SIDING	CEDAR TEXTURE FINISH, PAINT SW7026 GRIFFIN (SIGNAGE PAINT COLOR SW7026 GRIFFIN)
ST-1		FIBER CEMENT LAP SIDING TRIM	CEDAR TEXTURE FINISH, PAINT SW7026 GRIFFIN



B5 SOUTH ELEVATION
3/16" = 1'-0"



A3 WEST ELEVATION
3/16" = 1'-0"

SANDERS ASSOCIATES ARCHITECTS
2668 Grant Avenue
Ogden, Utah 84401
Phone: 801.621.7303
www.saandersarch.com

Seal

Consultant

Project Name
MOUNTAIN AMERICA CREDIT UNION
THE YARD BRANCH
653 E. 450 N.
VINEYARD, UT 84058

Issued

No.	Date	Description

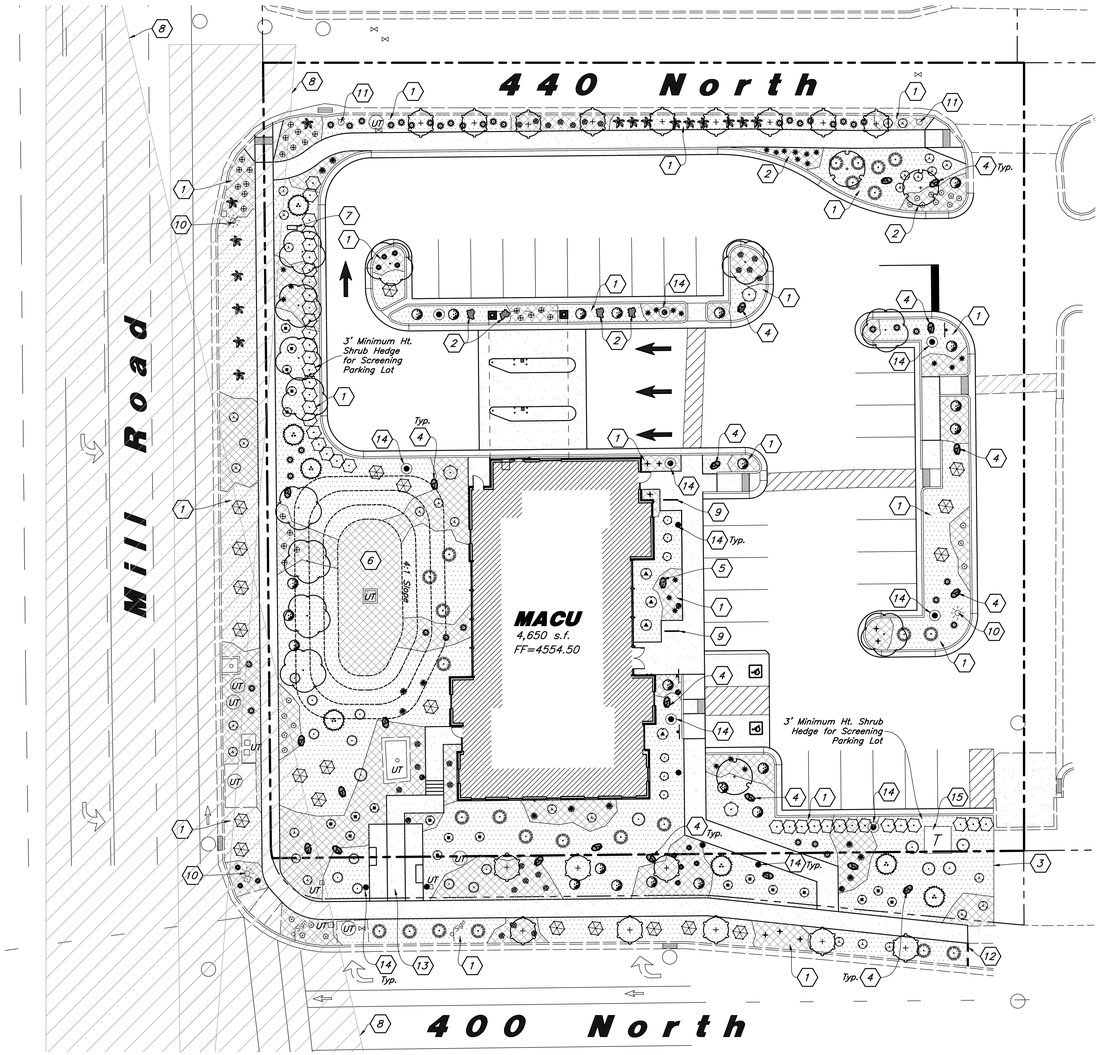
Revision

No.	Date	Description

SAA Project No. 2022-30

Drawing Title
EXTERIOR ELEVATIONS AND DETAILS

Sheet Number
AE202



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MATURE SIZE (HxW)
	3	Cercis canadensis 'Silver Cloud' / Silver Cloud Eastern Redbud	2" Caliper	15' X 15'
	17	Ginkgo biloba 'Goldspire' / Fastigiate Maidenhair Tree (Male)	2" Caliper	15' X 5'
	7	Picea glauca 'Pendula' / Weeping White Spruce	6' Min. Ht.	20' X 6'
	12	Zelkova serrata 'JFS-KW1' / City Sprite Japanese Zelkova	2" Caliper	25' X 20'
SHRUBS	**QTY**	**BOTANICAL / COMMON NAME**	**SIZE**	
	20	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	5 gal	18" X 18"
	38	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal	40" X 36"
	6	Cornus sericea 'Kelseyi' / Kelseyi Dogwood	5 gal	18" X 18"
	16	Juniperus communis 'Alpine Carpet' / Juniper	5 gal	6" X 36"
	24	Juniperus sabina 'Buffalo' / Buffalo Juniper	5 gal	8" X 60"
	6	Ligustrum vicaryi / Golden Privet	5 gal	60" X 60"
	3	Picea pungens 'Globosa' / Dwarf Globe Blue Spruce	5 gal	36" X 36"
	11	Pinus mugo 'Slowmound' / Slowmound Mugo Pine	5 gal	36" X 36"
	21	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	18" X 60"
	30	Rosa x 'Meigalpio' / Red Drift Rose	5 gal	18" X 60
	22	Spiraea x bumalda 'Goldflame' / Goldflame Spirea	5 gal	36" X 36"
	4	Taxus x media 'Dark Green Spreading' / Green Spreading Yew	5 gal	30" X 30"
ORNAMENTAL GRASSES	**QTY**	**BOTANICAL / COMMON NAME**	**SIZE**	
	11	Calamagrostis x acutiflora 'Karl Foerster' / Karl Forester Grass	1 gal	60" X 24"
	39	Pennisetum alopecuroides 'Hameln' / Hameln Fountain Grass	1 gal	24" X 24"
PERENNIALS	**QTY**	**BOTANICAL / COMMON NAME**	**SIZE**	
	24	Hemerocallis x 'Red Hot Returns' / Red Hot Returns Daylily	1 gal	18" X 18"
	8	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal	18" X 18"
	11	Lavandula angustifolia 'Hidcote Blue' / Blue Lavender	1 gal	18" X 18"
	21	Nepeta racemosa 'Blue Wonder' / Blue Wonder Catmint	1 gal	18" X 24"
	13	Rudbeckia fulgida 'Goldstrum' / Black Eyed Susan	1 gal	18" X 18"
	12	Salvia x superba 'May Night' / May Night Salvia	1 gal	18" X 18"
	25	Zauschneria garrettii 'Orange Carpet' / Hummingbird Trumpet	1 gal	12" X 24"

MATERIAL SCHEDULE

1" to 2" Dia. Decorative Stone #1 – Install a Four (4) inch depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be Fractured Earth Tone/Tan Colors From Utah Landscaping Rock (South Towne)	Detail: 4/L3.1
4" to 8" Dia. Decorative Cobble Stone #2 – Install over Dewitt Pro5 Weed Barrier and Make Sure it Covers Weed Barrier; Carefully Place Around Plant Material; Stone Shall be Used in all Planting Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be From Utah Landscaping Rock (South Towne)	Detail: 4/L3.1
4" x 6" Landscape Concrete Curbing – Install Flush to all Concrete Edges Between Lawn and Shrub Areas; Curbing Shall be Continuous; Adjust Alignment as Needed to Avoid New and Existing Utilities and Irrigation Boxes	Detail: 4/L3.1
Landscape Accent Boulders – Boulders Shall be 3-4' in Diameter, Fractured and Match Proposed Stone; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper	Detail: 5/L3.1
Stepping Stone – Flagstone Stepping Stones Shall be Used for Cutting Through the Parking Lot Landscape Island to the Building; Align Stepping Stones with Parking Stall Striping; Stones Shall be 18-24" Long and/or Wide & 2" Thick (Tan Color); Install on Compacted Base to Prevent Tipping of Stones; Stones Shall be Spaced at a Comfortable Walking Distance; Source of Flagstone Shall be a Local Source; Submit Sample for Approval	

Landscape/Irrigation Seasonal Maintenance Schedule:

1. Dead Plant Material Shall be Removed and Replaced in a Timely Manner. Investigate and Review Dead Plant Material to Determine why Plant Material Died. Adjust Irrigation as Needed. Amend Soil ad Needed. Replace Plant Type or Species if not Suitable to Site or Soil Conditions.
2. Verify that Tree Staking is Working Properly and Trees are Straight. Repair Damaged Tree Staking as Needed and Straighten Tree. Remove Trees Stakes After One Year of Growth.
3. Review all Landscape Areas and Remove Trash, Debris, and Weeds on a Weekly Basis or as Needed.
4. Dead Head and Trim Plant Material in the Fall and Spring to Encourage New Growth.
5. All Plant Material Shall Receive Fertilizer at the Beginning of the Growing Season. Apply a Tree and Shrub Granular Fertilizer per Manufacturer's Instructions.
6. Remove Dead and Struggling Branches and Foliage on Plant Material. Remove any Low Lying Tree Branches that Overhang Sidewalks. Preserve Sight Triangle Views.
7. Start-up and Shut-down Irrigation Irrigation System at the Beginning and End of the Growing Season. Utilize Manual Drains and Blow Out Devices on the Irrigation System to Avoid the System From Freezing and Damaging Irrigation Components and Piping.
8. Review and Adjust Irrigation Water Time During the Spring, Summer, and Fall to Verify that Plant Material is Receiving Adequate Water. Adjust for Seasonal Conditions.
9. Periodically Check Irrigation System to Verify that System is Functioning Properly and There are no Leaks. Clean Drip Filters and Replace Filters as Needed.

Scale: 1" = 20'

20' 0 20' 40'

Landscape Data

Zone = Commercial

Site Area = 46,817 s.f. (1.07 ac.)

Landscape Area Required = 9,363 s.f. (20%)

Landscape Area Provided = 13,253 s.f. (28%)

Lawn Area = 0 s.f. (0%)

Shrub Area = 13,253 s.f. (100%)

Off-site Landscape Area Provided = 6,156 s.f.

440 North Street Trees Required = 11 Trees (11 Provided)

440 North Shrubs Required = 110 Shrubs (110 Provided) **

Mill Road Street Trees Required = 12 Trees (12 Provided) *

Mill Road Shrubs Required = 120 Shrubs (120 Provided) **

400 North Street Trees Required = 11 Trees (11 Provided)

400 North Shrubs Required = 110 Shrubs (100 Provided) **

Parking Lot Area = 12,881 s.f.

Parking Lot Landscape Required = 645 s.f. (5%)

Parking Lot Landscape Provided = 1,999 s.f. (16%)

Provided a 3' High Hedge at Maturity to Screening Parking Lots & Headlights (See Two Locations)

*** Unable to Meet the Required Street Tree Count Due to Existing Utilities, Easements, Sight Triangles, and Spacing Guidelines From Intersections; Trees are Spaced Every 20'**

**** Includes Shrubs, Ornamental Grasses, and Perennial Plants**

Landscape Notes:

1. See Civil Site Plan for Dimensioning of Site.
2. All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Point Source Drip Shall be Used to Irrigate Shrub Areas. See Irrigation Sheet L2.1 for Layout and Sheet L3.1 for Details.
3. Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
4. All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone.
5. The Landscape Contractor Shall be Selected at Time of Bidding.
6. After Landscape Contractor is Selected, the Landscape Contractor Shall Provide a Soil Test From a Certified Agency on Existing and/or Imported Topsoil in Landscape Areas.
5. Upon Completion of Installation of Landscape, Coordinate with the Town of Vineyard to get a Landscape Inspection Prior to a Certificate of Occupancy.
6. Equipment Cannot Stay Longer Than Two Weeks on Jobsites Unless Otherwise Approved by MACU Corporate Real Estate-Facilities Team.
7. From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
8. See Landscape Notes for Details regarding Landscape Maintenance Period.

Landscape Maintenance

1. All Private and Adjacent Street ROW Landscape Shall be Maintained by the Owner. Such Landscaped Areas Shall be Kept Free of Trash, Debris, Weeds, and Dead Plant Material, and Shall in all Aspects be Maintained in a Neat and Clean Fashion.
2. The Owner Shall Replace all Dead or Removed Plants of the Same Variety, and in the Size and Quality as Required by the City Landscape Ordinance by the End of the Current Growing Season.

Landscape Keynotes

1. Install Decorative Stone Over Commercial Grade Weed Barrier – See Material Schedule for Type and Size
2. Install Flagstone Stepping Stone; Align with Parking Stall – See Material Schedule for More Detail
3. Blend New Landscape into Existing
4. Install Landscape Boulder
5. Install Landscape Boulder for MACU Eagle Statue
6. Detention Pond – See Grading Plan for More Detail on Depth of Pond; See Material Schedule for Stone Type and Size
7. Preliminary Irrigation Backflow Prevention Location; Backflow Shall be Installed Between Plant Material and be Protected by an Enclosure on a Concrete Pad; Enclosure Shall be Secured to Concrete Pad
8. Sight Distance Triangle – Landscape Within Triangle Shall be Less Than Three (3) Feet Tall; Site Triangle Shall Follow AASHTO Guidelines; (35 mph Posted Speed Limit)
9. Bike Rack – See Civil Plans for More Detail
10. Existing Light Pole
11. Existing Fire Hydrant – Trees Shall be a Minimum of 10' Away From Hydrants
12. Install Decorative Steel Edging Between Existing Lawn and New Shrub Area in Parkstrip; Patchup Lawn Against Steel Edging as Needed
13. Public Gathering Place (322 s.f.): Public Space Shall Consist of a Plaza and 2 Outdoor Benches – See Architectural Plans for More Detail
14. New Light Pole – See Site Elect. Plans; Evenly Space Plant Material Around Light Poles; Adjust Plant Material as Needed
15. New Elect. Transformer – See Site Elect. Plans; Transformer Shall be Screened and Follow Clearance Guidelines

General Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stake before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurseryman, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
13. The contractor shall install all landscape material per plan, notes and details.
14. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
15. No grading or soil placement shall be undertaken when soils are wet or frozen.
16. Imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
17. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils. Remove all construction debris and foreign material.
18. Provide an eight (8) inch depth of imported topsoil in all shrub areas and twelve (12) inches in parking islands.
19. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from plant and tree pit and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
20. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the plant well and extend up near the base of the plant. The wood mulch shall be covered with the specified stone and the remainder of the planter.
21. All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
22. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
23. All deciduous trees shall be double staked per tree staking details. Tree stakes shall be wood and ties shall be V.I.T. Cinche Ties #CT32. It is the contractors responsibility to remove tree staking after one year.
24. Install landscape concrete curbing between lawn and planting areas. Curbing to be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
25. Bury 2 inches of boulder height into soil, keeping best visual side above ground. Use care to minimize marring and scratching.
26. Provide a 4 inch depth of imported topsoil in all lawn areas.
27. Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
28. All lawn areas to have uniform grades by float raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
24. Landscape installer shall repair or replace plantings and accessories that fail in materials, workmanship, or growth within specified warranty period. Failures include, but are not limited to, the following: Death and unsatisfactory growth, except for defects resulting from abuse, lack of adequate maintenance, or neglect by Owner, or incidents that are beyond installer's control. Warranty period shall be 12 months and begin at date of final project acceptance. Dead plant material shall be replaced in a timely manner. From the time the landscape contractor is notified of dead plant material, the contractor has two weeks to replace dead plant material. If plant material is not replaced by the two week time frame MACU will have plants replaced and bill the installing company.

REV	DATE	DESCRIPTION

Designed by: LC
Drafted by: NE
Client Name: MAFCU
22-109 LS

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Landscape Plan

MACU - Vineyard

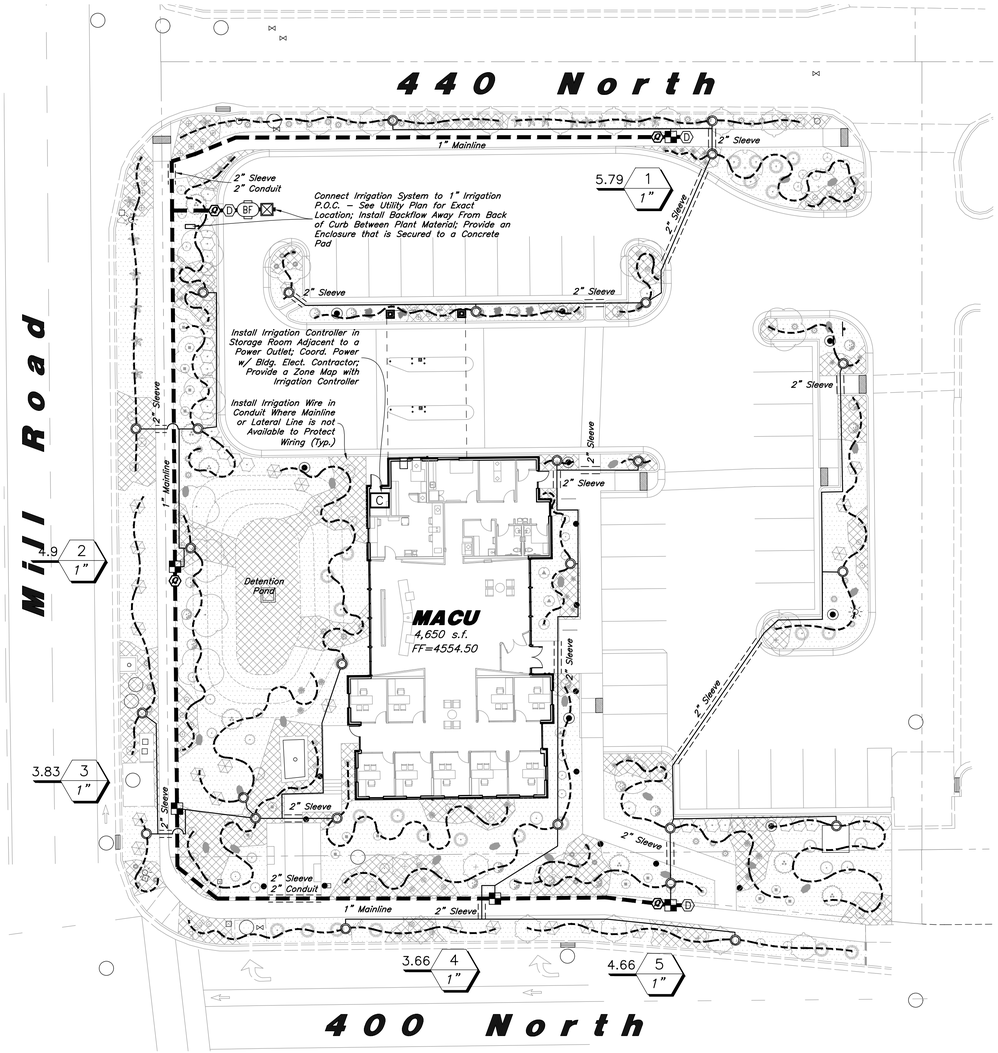
633 East 450 North
Vineyard City, UT

State of Utah
Jared R. Manscill
No. 7740426-5301
Licensed Landscape Architect

17 Jan, 2023

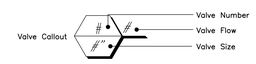
SHEET NO.
L1.1

811 Know what's below. Call before you dig.



Irrigation Schedule

Symbol	Manufacturer/Model #	Description	Notes	Detail
Valves				
	Rain Bird XCZ-100-PRB-COM	Drip Remote Control Valve	1 Inch Size; Drip Control Zone Kit; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors	8/L3.1
	Rain Bird 44RC	Coupler Valve With a Swing Joint Assembly	1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier	9/L3.1
	Matco-Norca 759	Manual Drain Valve	1/2" Inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel Over Weed Barrier	12/L3.1
Drip				
	PVC Pipe To Drip Tubing	Provide Connection Fittings	Install 1" Feeder Line To All Drip Areas	13/L3.1
	Netafim TLHCVXR11-12XX	Techline Copper Dripline with 1.16 gph Emitters @ 12" Spacing; Dripline Shall be Used to Water all Perennials, Shrubs, Ornamental Grasses and Trees; See Drip Irrigation Detail for Dripline Configuration and Layout; Blank Tubing Shall be Used in Areas Where There is No Plant Material; Install per Manufacturer's Specifications; Drip Shall be Installed After Plant Installation; Secure Tubing with Staples No Less Than Every 24 Inches & at Critical Holding Points; Tubing with Emitters Shall be Installed Under Weed Barrier so That the Water Drips on the Soil and not on Top of Weed Barrier	13/L3.1 17/L3.1
P.O.C. Components				
	Mueller Oriseal Mark II	Stop & Waste Valve	1 Inch Size; Installed in 10" Round Valve Box with 3" Depth Gravel Over Weed Barrier	7/L3.1
BF	Wilkins 375XL Series	Reduce Pressure Backflow Preventer (RPBP)	1 Inch Size; Backflow Preventer Shall be Properly Installed & Tested to Meet all State & Local Health & Safety Laws & Ordinances; Install in Artificial Rock Enclosure (110-ST from DekoRRa Products, LLC.); Rock Color Shall be Riverbend Brown; Install on Concrete Pad with Frost Bag (602-DT)	16/L3.1
Pipes				
	Schedule 40 PVC	Mainline Pipe	1 Inch Size; Controller Wire Shall be Tucked Under Mainline; Sch 80 Fittings Shall be Used for Mainline Connections	11/L3.1
	Schedule 40 PVC	Lateral Line Pipe	See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Inch; Minimum Pipe Size Shall be 1 Inch for PVC Pipe; Sch 40 Fittings Shall be Used for Lateral Line Connections	11/L3.1
Controller				
C	Rain Bird ESP4MEI Rain Bird ESPSM3	4 Station Base Indoor Controller 3 Station Module	See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor;	14/L3.1
Sleeving				
	Schedule 40 PVC	Provide for Irr. Mainlines, Laterals and Controller Wire Located Under Concrete and Asphalt Paving at Specified Depths	Contractor Shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving Shall be by the Landscape Contractor Unless Otherwise Noted.	15/L3.1



Scale: 1" = 20'

20' 0 20' 40'

Main Service Line and Other Irrigation Components Are Shown In Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Irrigation Notes:

1. See Sheet L1.1 for Plant Layout and Sheet L3.1 for Planting Details.
2. See Sheet L3.1 for Irrigation Details.
3. Onsite Storage of Landscape/Irrigation Materials and Equipment Should Not Block More Than 3 Parking Stalls Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
4. Equipment Cannot Stay Longer Than Two Weeks on Jobsites Unless Otherwise Approved by Corporate Real Estate-Facilities Team.
5. From the Beginning of the Project Through the Final Walk Thru Parking Lots, Sidewalks and Gutters Shall be Free of Dirt and Debris at the End of Each Day.
6. A Static Pressure of psi was Reported in the Area. The Irrigation System was Designed for a Minimum of 52 psi.

VALVE SCHEDULE

VALVE #	VALVE SIZE	IRRIGATION TYPE	FLOW (GPM)	PSI	PSI @ POC	PRECIP. RATE
1	1"	Area for Drip Emitters	5.79	34.6	49.0	0.54 in/h
2	1"	Area for Drip Emitters	4.9	34.2	50.4	0.53 in/h
3	1"	Area for Drip Emitters	3.83	32.9	48.7	0.8 in/h
4	1"	Area for Drip Emitters	3.66	32.7	48.8	0.48 in/h
5	1"	Area for Drip Emitters	4.66	33.8	51.5	0.48 in/h

General Irrigation Notes:

1. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
2. The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
3. The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
4. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
5. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
6. The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
7. The contractor shall install all irrigation material per plan, notes and details.
8. Irrigation system components must be premium quality only and installed to manufactures requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
9. Irrigation installer shall repair or replace irrigation components and accessories that fail in materials and workmanship within specified warranty period. The warranty shall be 12 months and shall begin with final project acceptance.
10. Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
11. Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
12. Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 80 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
13. Install dielectric fittings whenever dissimilar metals are joined.
14. Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
15. Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
16. Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wire that runs the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
17. Control valve size, type, quantity, and location to be approved by landscape architect. install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes shall be Carson Brooks or equal.
18. Quick couplers shall be a Rain Bird 44RC with a (one) 1 inch swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
19. Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill ground pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
20. All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be eighteen (18) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
21. Plans are diagrammatic and approximate due to scale. where possible, all piping is to be installed within the planting areas. No tees, ells, or changes in direction shall occur under hardscape.
22. It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
23. The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto walks, roadways, and/or buildings as much as possible. This shall include selecting the best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.
24. Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
25. Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
26. The sprinkler system design is based on the operating pressure shown on the irrigation drawings. The irrigation contractor shall verify water pressure prior to any construction. Report any difference between the water pressure indicated on the drawings and the actual pressure reading at the point of connection to the owner's authorized representative immediately.
27. Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
28. All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
29. Upon completion and approval of irrigation system, irrigation contractor to provide the owner with two sets of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
30. An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.

Landscape/Irrigation Seasonal Maintenance Schedule:

1. Dead Plant Material Shall be Removed and Replaced in a Timely Manner. Investigate and Review Dead Plant Material to Determine why Plant Material Died. Adjust Irrigation as Needed. Amend Soil ad Needed. Replace Plant Type or Species if not Suitable to Site or Soil Conditions.
2. Verify that Tree Staking is Working Properly and Trees are Straight. Repair Damaged Tree Staking as Needed and Straighten Tree. Remove Trees Stakes After One Year of Growth.
3. Review all Landscape Areas and Remove Trash, Debris, and Weeds on a Weekly Basis or as Needed.
4. Dead Head and Trim Plant Material in the Fall and Spring to Encourage New Growth.
5. All Plant Material Shall Receive Fertilizer at the Beginning of the Growing Season. Apply a Tree and Shrub Granular Fertilizer per Manufacturer's Instructions.
6. Remove Dead and Struggling Branches and Foliage on Plant Material. Remove any Low Lying Tree Branches that Overhang Sidewalks. Preserve Sight Triangle Views.
7. Start-up and Shut-down Irrigation Irrigation System at the Beginning and End of the Growing Season. Utilize Manual Drains and Blow Out Devices on the Irrigation System to Avoid the System From Freezing and Damaging Irrigation Components and Piping.
8. Review and Adjust Irrigation Water Time During the Spring, Summer, and Fall to Verify that Plant Material is Receiving Adequate Water. Adjust for Seasonal Conditions.
9. Periodically Check Irrigation System to Verify that System is Functioning Properly and There are no Leaks. Clean Drip Filters and Replace Filters as Needed.

Know what's below.
Call before you dig.

REV	DATE	DESCRIPTION

Designed by: LC
Drafted by: NE
Client Name:
MAFCU
22-109 IR

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Irrigation Plan

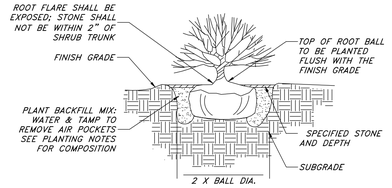
MACU - Vineyard

633 East 450 North
Vineyard City, UT

State of Utah
Jared R. Manscill
No. 7740426-5301
Licensed Landscape Architect

17 Jan, 2023

SHEET NO.
L2.1

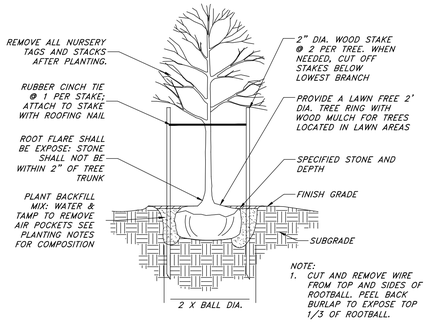


NOTE:

1. CUT AND REMOVE WIRE FROM TOP AND SIDES OF ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL.
2. REMOVE ALL NURSERY TAGS AND STACKS AFTER PLANTING.

1 SHRUB PLANTING

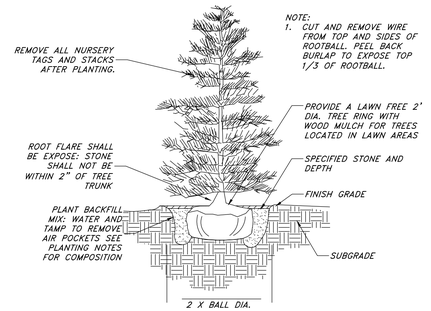
NOT TO SCALE



NOTE:
1. CUT AND REMOVE WIRE FROM TOP AND SIDES OF ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL.

2 DECIDUOUS TREE PLANTING

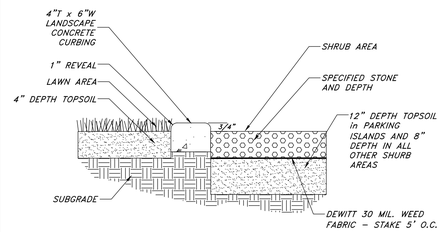
NOT TO SCALE



NOTE:
1. CUT AND REMOVE WIRE FROM TOP AND SIDES OF ROOTBALL. PEEL BACK BURLAP TO EXPOSE TOP 1/3 OF ROOTBALL.

3 EVERGREEEN TREE PLANTING

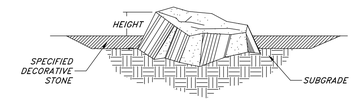
NOT TO SCALE



NOTE:
1. SMOOTH GRADE ENTIRE AREA PRIOR TO PLACEMENT OF CURBING AND SPECIFIED STONE.
2. CONTROL JOINTS SHALL BE PLACED AT 3' O.C.

4 LANDSCAPE CONCRETE CURBING

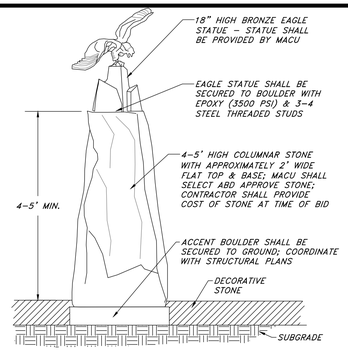
NOT TO SCALE



NOTE:
1. USE CARE TO MINIMIZE MARRING AND SCRATCHING
2. BURY 2" OF BOULDER HEIGHT INTO SOIL, KEEPING BEST VISUAL SIDE ABOVE GROUND.
3. BOULDERS SHALL BE WASHED AFTER INSTALLATION.

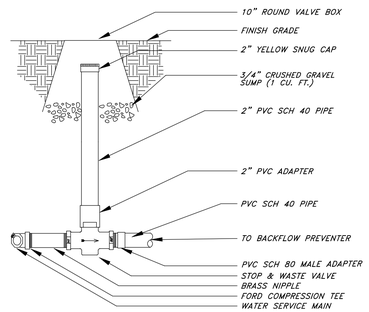
5 LANDSCAPE BOULDER

NOT TO SCALE



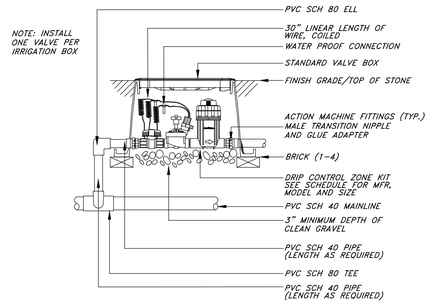
6 ACCENT BOULDER W/ EAGLE STATUE

NOT TO SCALE



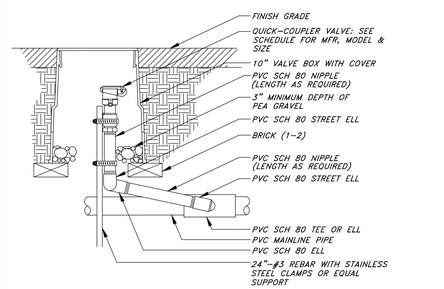
7 STOP & WASTE VALVE

NOT TO SCALE



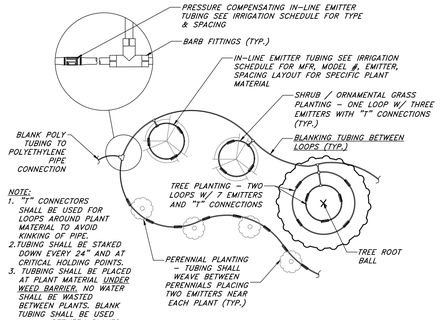
8 DRIP CONTROL VALVE

NOT TO SCALE



9 QUICK COUPLING VALVE

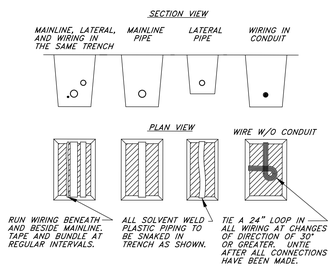
NOT TO SCALE



NOTE:
1. "T" CONNECTORS SHALL BE USED FOR LOOPS AROUND PLANT MATERIAL TO AVOID KINKING OF PIPE.
2. TUBING SHALL BE STAKED DOWN EVERY 24" AND AT CRITICAL HOLDING POINTS.
3. TUBBING SHALL BE PLACED AT PLANT MATERIAL UNDER WEED BARRIER. NO WATER SHALL BE WASTED BETWEEN PLANTS. BLANK TUBING SHALL BE USED BETWEEN PLANTS.

10 DRIP TUBING AT PLANT

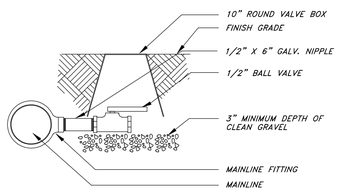
NOT TO SCALE



NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH. 40 PVC PIPE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS SEE IRRIGATION NOTES.

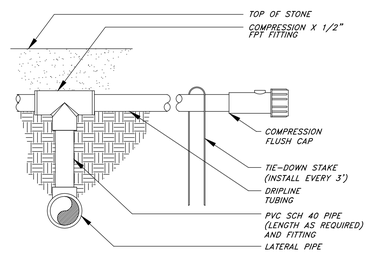
11 PIPE & WIRE TRENCHING

NOT TO SCALE



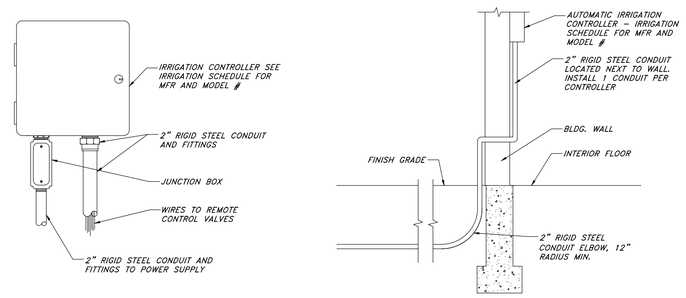
12 MANUAL DRAIN VALVE

NOT TO SCALE



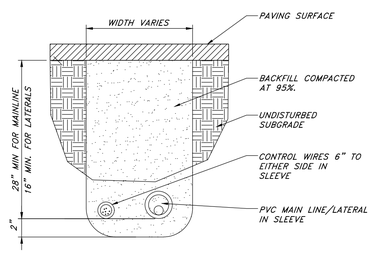
13 PVC TO POLY PIPE CONNECTION

NOT TO SCALE



14 IRR. CONTROLLER - INDOOR WALL MOUNT

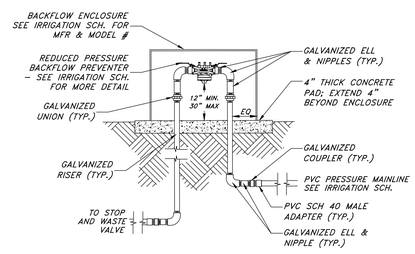
NOT TO SCALE



NOTE:
1. ALL IRRIGATION SLEEVES TO BE SCH. 40 PVC PIPE.
2. ALL SLEEVES SHALL BE TWICE THE NOMINAL SIZE OF THE PIPE WITHIN.
3. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
4. SLEEVE TO BE RUN UNDER PAVEMENT AND EXTEND A MIN. OF 18" PAST EDGE OF PAVEMENT. END OF SLEEVE TO BE CAPPED AND MARKED.

15 PIPE SLEEVING

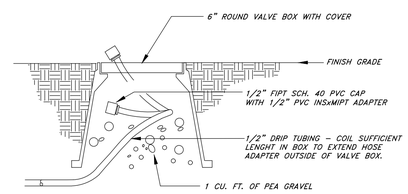
NOT TO SCALE



NOTE:
1. DIAMETER OF FITTINGS, NIPPLES AND RISERS SHALL BE EQUAL DIAMETER OF SPECIFIED BACK-FLOW PREVENTER UNLESS NOTED OTHERWISE.
2. ENCLOSURE SHALL BE BOLTED DOWN ON EACH CORNER.

16 BACKFLOW PREVENTION DEVICE

NOT TO SCALE



17 COMPRESSION FLUSH CAP

NOT TO SCALE

Know what's below.
Call before you dig.

REV	DATE	DESCRIPTION

Designed by: LC
Drafted by: NE
Client Name: MAFCU
22-109 IR

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - AWAengineering.net

Landscape & Irrigation Details

MACU - Vineyard

633 East 450 North
Vineyard City, UT

State of Utah
Jared R. Manscill
No. 7740426-5301
Licensed Landscape Architect

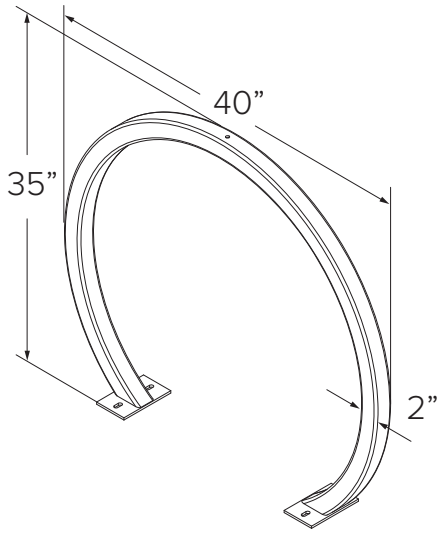
17 Jan, 2023

SHEET NO.
L3.1

W:\22-109 MACU Vineyard\dwgs\22-109 IR.dwg, 5/16/2023 2:54:35 PM, 1:1

Arc Rack™

Submittal Sheet



CAPACITY	2 Bikes
MATERIALS	2” x 2” x 11g square tube

FINISHES

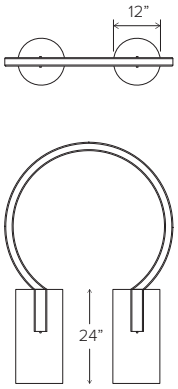
☐ **Galvanized**
An after fabrication hot dipped galvanized finish is our standard option.

☒ **Powder Coat**
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TGIC polyester powder coat

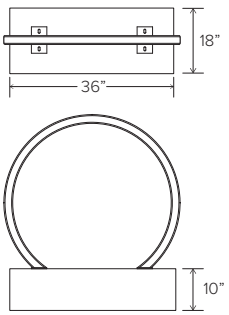
COLOR: BLACK

☐ **Stainless**
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.

IN-GROUND MOUNT



SURFACE MOUNT



(or standard 4” sidewalk slab)

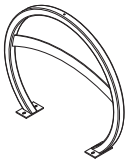
MOUNT OPTIONS

☐ **Surface**
Foot Mount has two 2.5” x 6” x .25” feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.

☒ **In-Ground**
In-ground mount is embedded into concrete base. Specify in-ground mount for this option

OPTIONAL LEAN BAR

☐ **Add Lean Bar**



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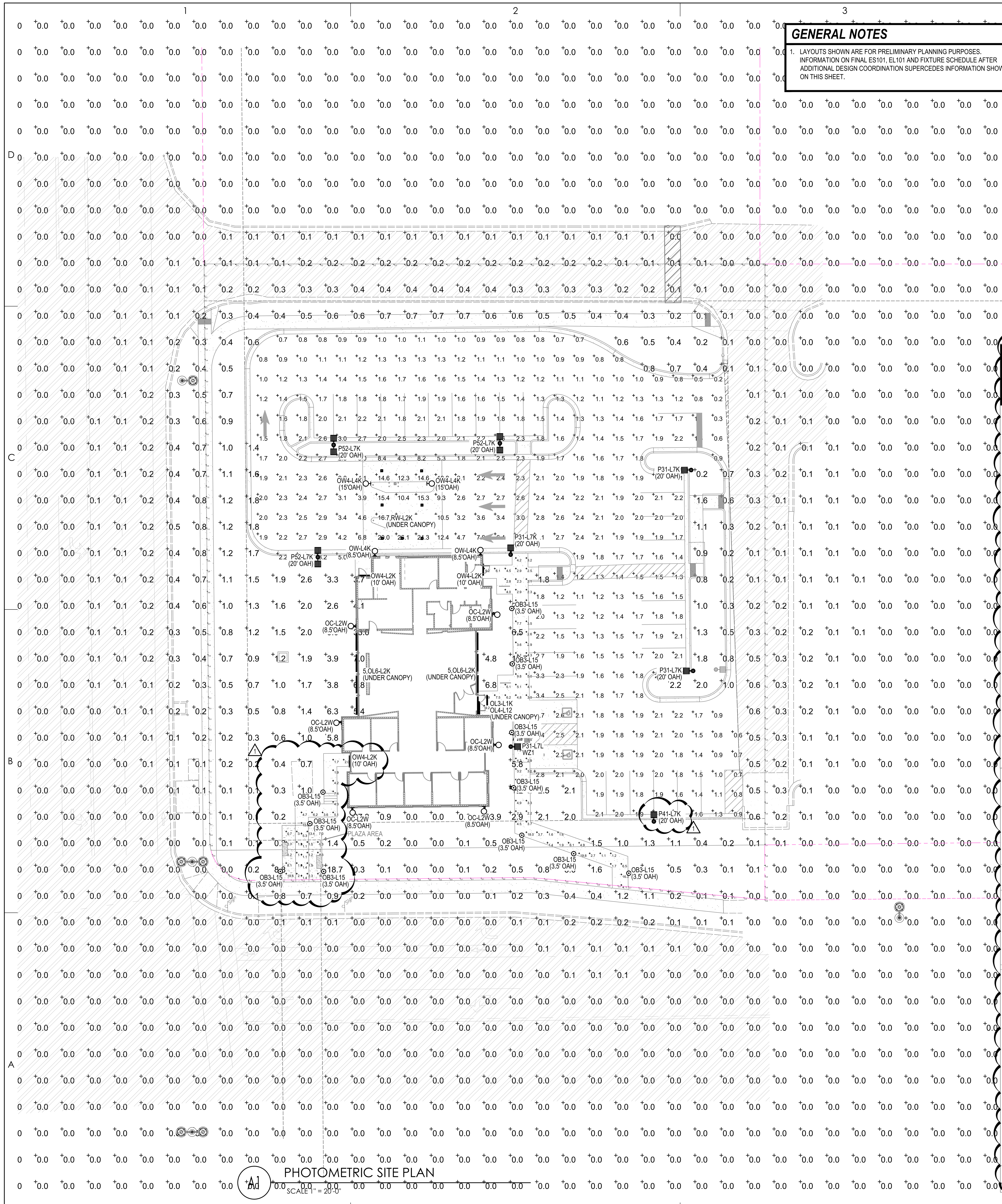


GENERAL NOTES

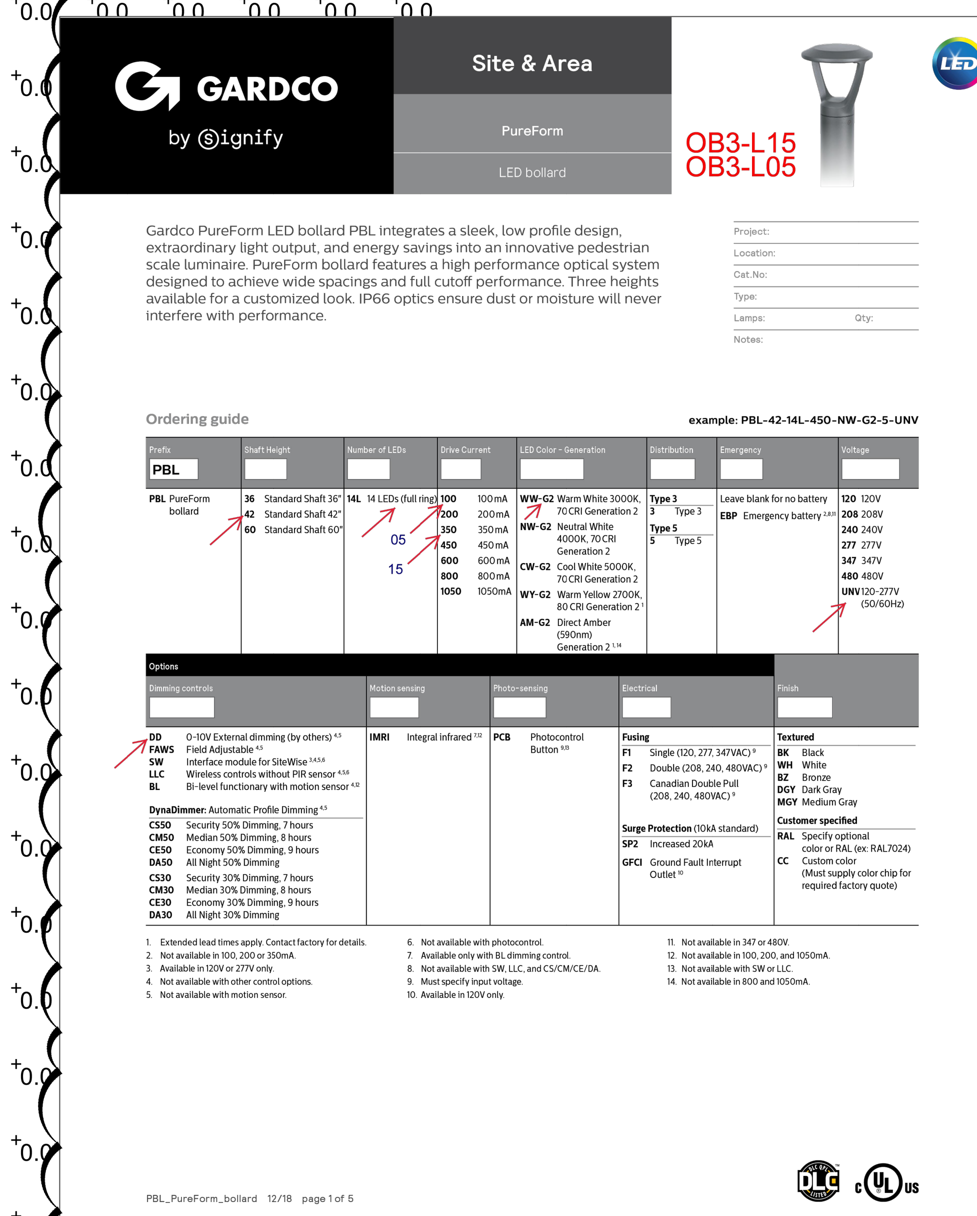
1. LAYOUTS SHOWN ARE FOR PRELIMINARY PLANNING PURPOSES. INFORMATION ON FINAL ES101, EL101 AND FIXTURE SCHEDULE AFTER ADDITIONAL DESIGN COORDINATION SUPERCEDES INFORMATION SHOWN ON THIS SHEET.

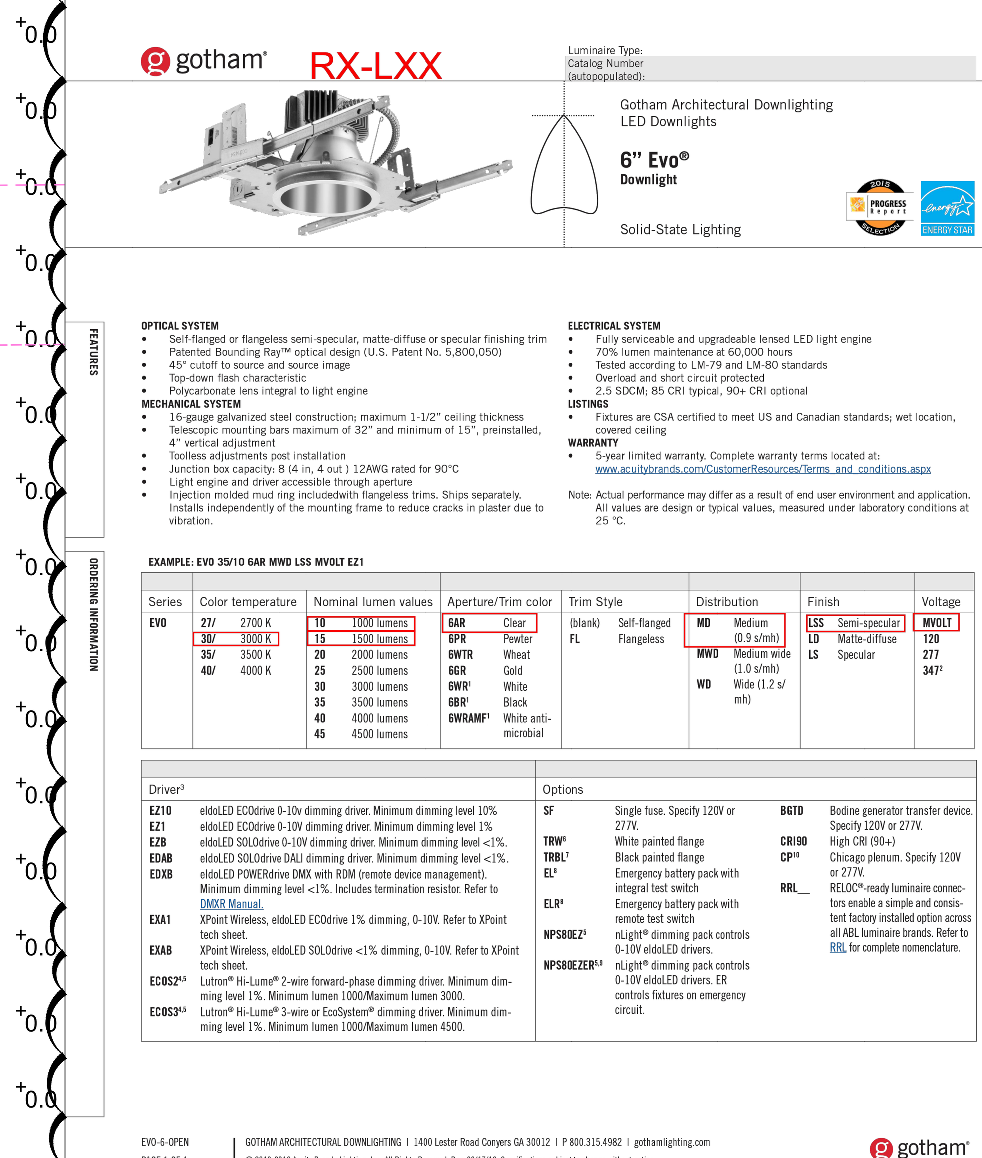
Schedule

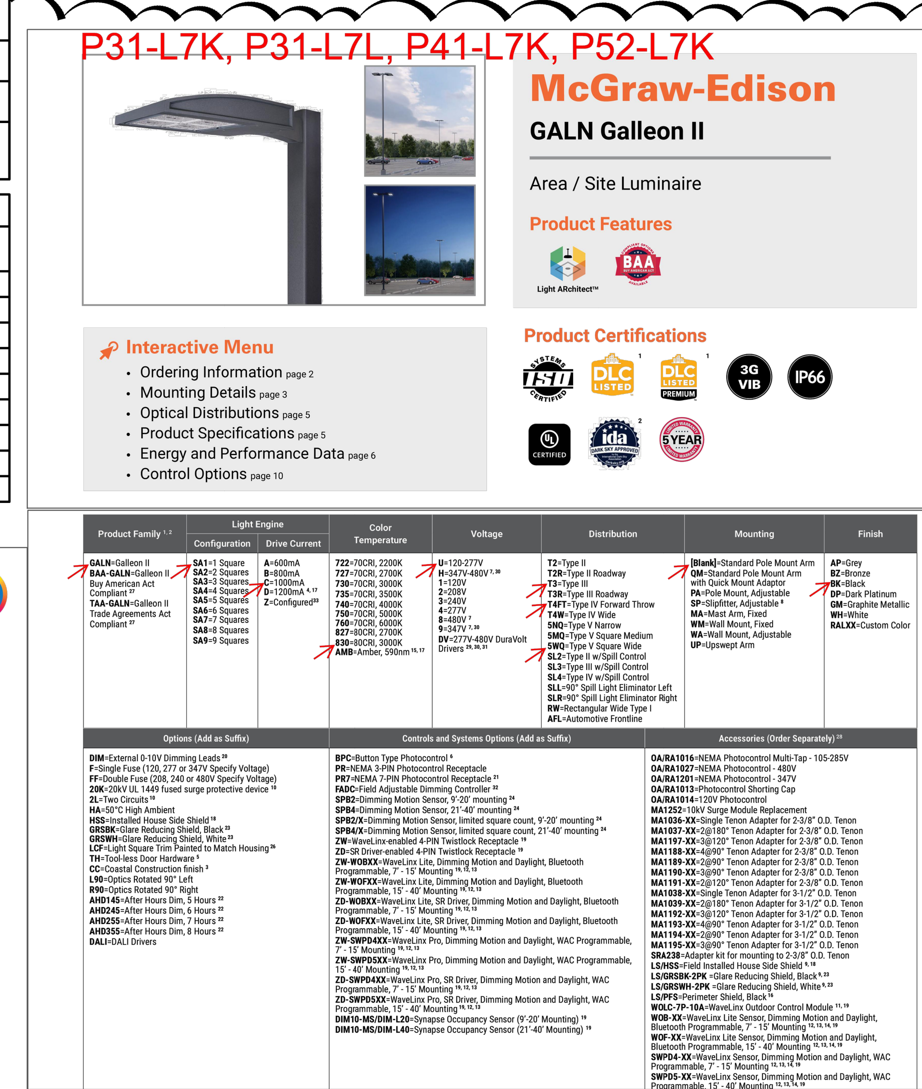
Symbol	Label	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	OB3-L15	LED	1	1539	0.9	20.2
	OC-L2W	LED	1	2251	0.9	28.7
	OL3-L1K	LED	144	7	0.9	14.1
	OL4-L12	LED	144	9	0.9	18.8
	OL6-L2K	LED	144	7	0.9	28.2
	OW-L4K	LED	1	3894	0.9	41
	P31-L7K	LED	16	350	0.9	57
	P52-L7K		16	370	0.9	114
	RW-L2K	LED	1	2095	0.9	23.2

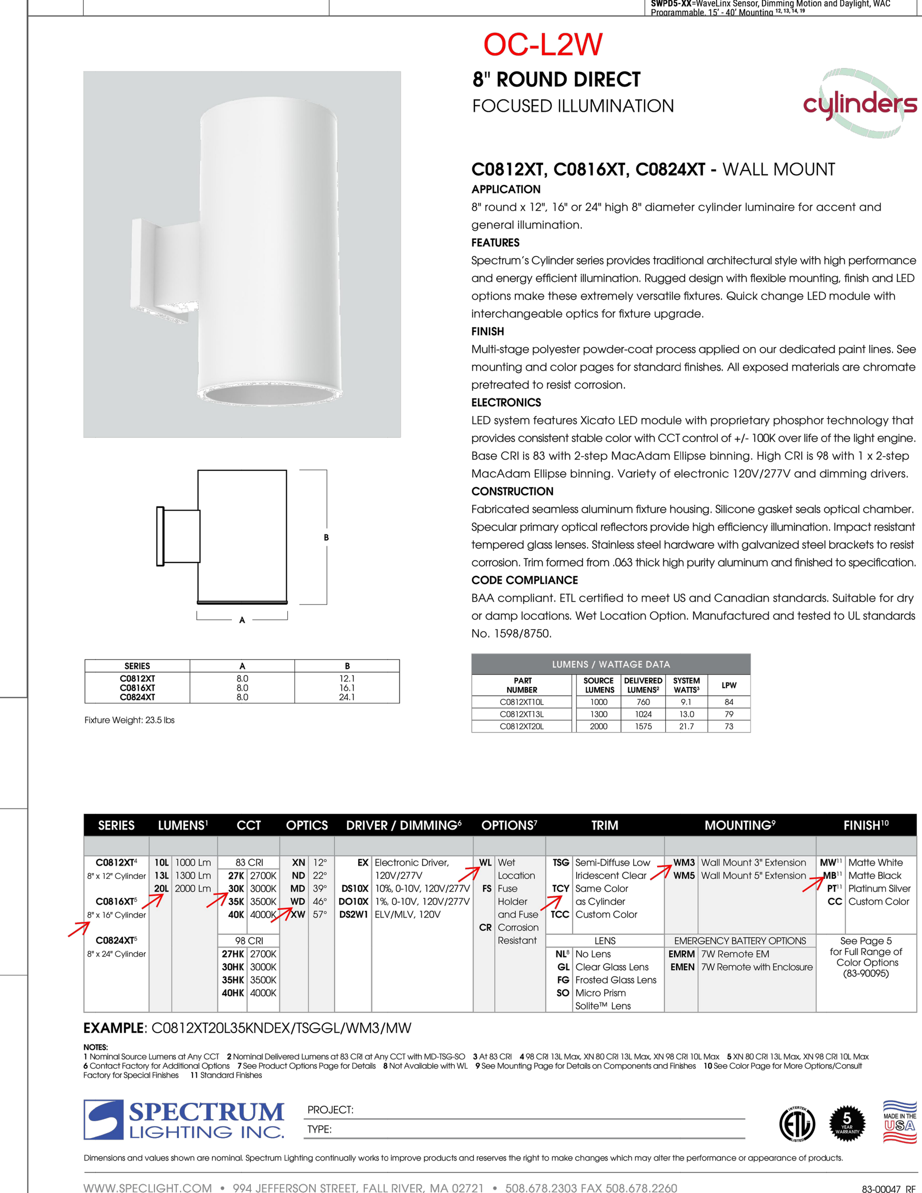
Statistics

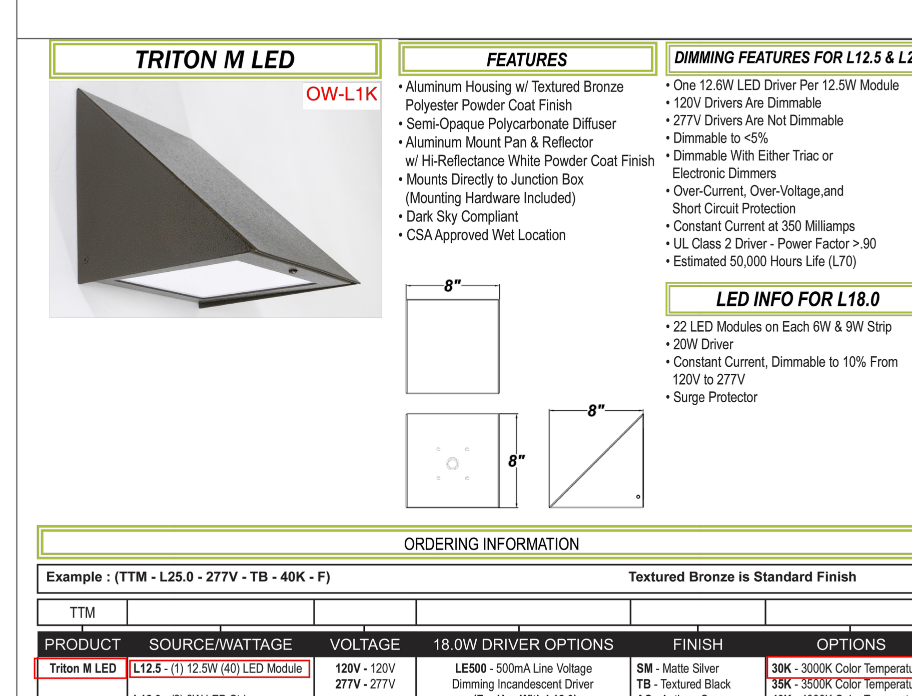
Description	Symbol	Avg	Max	Min	Avg/Min
General Area	+	0.1 fc	27.3 fc	0.0 fc	N/A
Parking	+	1.6 fc	3.7 fc	0.2 fc	8.0:1
Property Line--East (Commercial)	+	0.2 fc	0.4 fc	0.0 fc	N/A
Property Line--North (Road-440 North)	+	0.2 fc	0.3 fc	0.0 fc	N/A
Property Line--South (Road-400 North)	+	1.2 fc	12.8 fc	0.0 fc	N/A
Property Line--West (Mill Road)	+	0.5 fc	1.0 fc	0.0 fc	N/A
Sidewalk	+	6.2 fc	23.2 fc	1.1 fc	5.6:1
Sidewalk--Sitting Area	+	4.9 fc	19.8 fc	0.7 fc	7.0:1
Sidewalk--West	+	4.1 fc	13.8 fc	1.1 fc	3.7:1











SAA
SANDERS ASSOCIATES ARCHITECTS
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Ogden, Utah 84401
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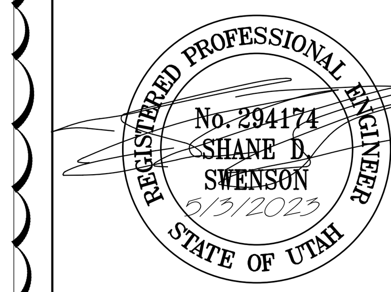
www.sandersarch.com



Consultant

SINE SOURCE ENGINEERING
95 W Golf Course Road
Suite 102
Logan, Ut 84321
office: (435) 787-1445
fax: 1-877-207-3199
www.sinesource.net

Project Name

MOUNTAIN AMERICA CREDIT UNION

VINEYARD BRANCH

VINEYARD, UT

Issued

No.	Date	Description

Revision 1

No.	Date	Description
1	5.3.2023	CITY COMMENTS

SAA Project No. 2021-48

Drawing Title

PHOTOMETRIC SITE PLAN

Sheet Number

ES102

TIME: 15 OCT 2013 - 12:25PM DONALD J. PATTON - T:\JOBS\2022054 MACU - THE YARD\01 DRAWINGS\05 ELECTRICAL\SINE SOURCE PROJECT\SHEETS\ES102P PHOTOMETRIC SITE PLAN.DWG
LAST SAVED: 03 May 23

May 24, 2023

RE: MOUNTAIN AMERICA CREDIT UNION THE YARD BRANCH
SITE PLAN REVIEW 1ST REVIEW COMMENTS – SAA RESPONSE

The following is Sanders Associates Architects response on the Vineyard Site Plan 1st Review Comments, for this project. We have made document modifications within this response submittal. Please review and let us know if there are any outstanding issues to resolve.

Site Planning and Building Design

1. *Provide Subdivision & Project Features such as a public gathering space (at least 225 SF recommended), entry features, public art pieces, streetscape designs, pedestrian and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and useable parks and open spaces.*
   SAA/AWA Response: A public gathering space has been added on the south side of the building. Concrete benches will be placed in the gathering space.
2. *Detention basins cannot be used towards the open space calculation.*
   AWA Response: Detention area has been removed from the Landscaping calculations.
3. *Building must have an orientation to the street to encourage a pedestrian relationship. Currently, the front of the building faces east towards the rear. You must have a usable public entry on the 400 N side or Mill Road side of the building. Bringing the building closer to the street, while maintaining the required 20' setback off 400 N, can further enhance that pedestrian relationship.*
   SAA/AWA Response: An entrance has been added to the Mill Road side of the building. The public gathering space has been added on the sidewalk to this entrance to encourage a pedestrian relationship. The building can not be moved closer to Mill Road due to a large piece of electrical equipment that is existing on the site.
4. *Provide a differentiated, safe access route for pedestrians across the northern parking lot. These pedestrians will be interfacing with moving vehicles at the drive-thru tellers regularly.*
   AWA Response: Striping and crosswalk area has been added
5. *Regarding site lighting: Light poles cannot exceed 20 FT in height; All lighting must be shielded and down-lit.*
   SSE Response: Light poles are 20 FT in height. All site lighting will be shielded and down-lit. Refer to ES102.
6. *All signage shall be reviewed through a separate building permit.*
   SAA Response: Signage was provided as requested in Planning and Zoning Pre-App Meeting. Noted and we will have the signage company get their building permit as we are closer to receiving the construction building permit.
7. *Are there any easements on the site (i.e., public utility easements, drainage easements, etc.)?ll signage shall be reviewed through a separate building permit.*
   AWA Response: Easements for this Site are shown on the Site Plan.

Parking and Loading Requirements:

8. *All standard parking stalls must meet our dimension regulations. Currently there are many parking stalls that do not meet the standard.*
   AWA Response: Parking stalls do meet City standards. City Code allows for 2' of overhang on Sidewalk and Landscaping.
9. *Parking lots visible from the public right of way must be screened by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3) feet high.*
   AWA Response: An evergreen shrub hedge was added in two locations to assist in screen parking lots. Shrub hedge shall be a minimum of 3' in height at maturity.
10. *For the purposes of design consistency throughout the development, provide stamped concrete at the crosswalk on 440 N. Consider a pedestrian connection from 440 N to the landscaped island on the easternmost part of the site. The ordinance requires that pedestrian access be enhance to the extent possible.*

AWA Response: The concrete across the shared driveway is already stamped concrete. MACU has considered and would prefer not to make a direct pedestrian connection to 440. The connection to 440 is being made through the neighboring property.

11. *Align ADA ramps to lead directly into the crosswalk, not into the middle of the street or intersection.*
    AWA Response: The ramp was originally designed to match what was constructed at the intersection of Mill Road and 400. Ramp has been redirected to go across 440.
12. *Where do you intend to locate a stand-alone monument sign? Label on the site plan.*
    AWA Response: Shown and labeled.
13. *All bike racks must be the inverted-U design. The inverted-U design meets all our bicycle rack requirements.*
    SAA Response: Mountain America Credit Union standard bike rack cut sheet submitted for approval.

Landscaping:

14. *Provide an irrigation plan indicating the layout and details of the irrigation system including the type and location of all materials utilized.*
    AWA Response: See sheet L2.1 for irrigation layout, notes and schedules. See sheet L3.1 for irrigation details.
15. *Provide a landscape maintenance schedule, including at a minimum:*
    - The approved plant list including plant size, irrigation emitter allocation and specific plant maintenance notes.
    - A maintenance schedule describing seasonal maintenance requirements per material such as, but not limited, to fertilization, pruning and irrigation adjustments.
    AWA Response: See sheet L1.1 for plant schedule with approved plants and their mature size. Also sheet L1.1 and L2.1 for seasonal landscape and irrigation maintenance requirements.
16. *What is the steepness of the detention basin? Detention areas shall maintain slopes no steeper than a 4:1 ratio when adjacent to the ROW.*
    AWA Response: The detention pond shall have a maximum slope of 4:1 in slope. See sheet L1.1 with slope areas indicating slopes in pond.
17. *For every 20 feet of street frontage, provide one (1) street tree and ten (10) shrubs.*
    - *Required along Mill Rd:*
      - *Trees: 12 (only 7 have been provided)* **– 5 trees added for a total of 12 trees.**
      - *Shrubs: TBD* **– 120 shrubs provided.**
    - *Required along 440 N*
      - *Trees: 11 (9 have been provided)* **– 2 trees added for a total of 11 trees.**
      - *Shrubs: TBD* **– 110 shrubs provided.**
    - *Required along 400 N*
      - *Trees: 11 (8 have been provided)* **– 3 trees added for a total of 12 trees.**
      - *Shrubs: TBD* **– 110 shrubs provided.**

    AWA Response: Trees and shrubs added as required. See above for more detail.

Thank You,

Shane Sanders, AIA
Sanders Associates Architects