



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Wednesday July 19, 2023, 6:00 p.m.**

PUBLIC NOTICE is hereby given that the Vineyard City Planning Commission will hold a regularly scheduled meeting at City Hall, 125 South Main Street, Vineyard, Utah. You can also view the meeting on our [live stream channel](#).

REGULAR SESSION

CALL TO ORDER

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

2. OPEN SESSION - Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.

3. MEETING MINUTES

3.1 June 21, 2023

4. BUSINESS ITEMS

4.1 Site Plan - Central Utah Water Conservancy District (CUWCD) Well house #7

CUWCD is requesting site plan approval for a new well pump house located at approximately 400 E 400 N in the Public Facility (PF) zone. A well pump house is an approved use in the PF zone. The Planning Commission will take appropriate action.

4.2 Conditional Use Permit and Site Plan - Central Utah Water Conservancy District (CUWCD) Well house #16

CUWCD is requesting site plan approval for a new well pump house located at approximately 700 E 1300 N in the Regional Commercial (RC) zone. A well pump house is a conditional use in the RC zone. The Planning Commission will take appropriate action.

4.3 Site Plan - Central Utah Water Conservancy District (CUWCD) Well house #17

CUWCD is requesting site plan approval for a new well pump house located at approximately 800 E 350 N in the Geneva Road Mixed Use (GRMU) zone. A well pump house is a conditional use in the GRMU zone, which was obtained on February 17, 2021. The Planning Commission will take appropriate action.

4.4 Public Hearing - Zoning Text Amendment – 15.12.060 – Dimensional Standards Table

Bird Homes, LLC has applied for a zoning text amendment to increase the maximum building height for properties located within the Regional Mixed Use (RMU) Zone. The current code allows for a maximum height of 60 feet, the change would increase maximum height to 70 feet in the RMU. The Planning Commission will forward a recommendation to the City Council.

4.5 Public Hearing - Zoning Text Amendment – 15.38.030 Parking Requirements

X-Development has applied for a zoning text amendment to modify Section 15.38.030 Parking Requirements. The proposed change would modify the visitor parking requirement for Hotels or Motels. The Planning Commission will forward a recommendation to the City Council.

5. WORK SESSION

5.1 General Plan Amendment to Element 10 Technology Goal 2 regarding the protection of personal privacy in technology advancements.

The Planning Commission will discuss a General Plan Amendment to address privacy concerns. No action will be taken.

6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

7. ADJOURNMENT

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Rachel Stevens, Planner, at least 24 hours prior to the meeting by calling (801) 226-1929 or email at rachels@vineyardutah.org.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices and City Hall, delivered electronically to city staff and each member of the Planning Commission.

AGENDA NOTICING COMPLETED ON: July 17, 2023

NOTICED BY: /s/ Rachel Stevens

Rachel Stevens, Planner



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Wednesday June 21, 2023, 6:00 p.m.**

Attendance:

Planning commissioners: Bryce Brady, Craig Bown, Graden Oster, and Anthony Jenkins,

Those Excused: Tay Gundmundson, Steve Anderson and Chris Bramwell

Staff present: Patrick James, Staff Engineer; Naseem Ghandour, Public Works Director; Anthony Jenkins, Cache Hancey, and Rachel Stevens, Planners; Morgan Brim, Community Development Director

REGULAR SESSION

CALL TO ORDER

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

 Chair Brady Called the session to order. Graden Ostler offered an invocation and led the Pledge of Allegiance.

- 2.  OPEN SESSION** - Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.

3. MEETING MINUTES

3.1 June 7, 2023

MOTION: Craig Bown made a motion to approve the June 7, 2023 meeting minutes. Anthony Jenkins seconded the motion. Those voting aye: Bryce Brady, Craig Bown, Graden Oster, and Anthony Jenkins.

4. BUSINESS ITEMS

4.1 Site Plan - Mountain America Credit Union

Planner Cache Hancey presented the site plan application. Mountain America Credit Union is requesting site plan approval for a new credit unions to be built at 653 E 450 N (Parcel ID: 56:042:0009). The lot is in located in the Yard Subdivision and zoned Regional Mixed Use (RMU) district. Credit Unions are a permitted use in the RMU district. The proposed structure is approximately 4500 square feet.

Staff recommended approval with the following conditions: pay any outstanding fees, be subject to all state and local laws, meet all ADA requirements, the sidewalk must be within a public right of way, and a utility easement must be provided across the northern property line. property.

 Craig Bown asked a question regarding ADA requirements.

There was a question on what type of rock will be used in the drainage basin. That has not been determined yet.

 Anthony Jenkins asked if the sidewalks around the property will be completed with this project. The sidewalks will be completed. Anthony Jenkins also asked if there will be any intersection developments. Cache Hancey answered that staff is working with X-Development to create a lighted intersection and that it is not a part of this site plan application.

 Patrick James recommended adding a condition. There was no recommendation made.

 MOTION. Craig Bown made a motion to approve the site plan with the conditions listed by staff. Anthony Jenkins seconded the motion. Those voting aye: Bryce Brady, Craig Bown, Graden Oster, and Anthony Jenkins.

5. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

 Cache Hancey reported that Huntsman Institute will be building second headquarters here in Vineyard.

 There was a question about the name of vineyard downtown. It will be referred to as "Utah city".

 Anthony Jenkins asked for an update on the trail underneath the overpass to the frontrunner station. Naseem Ghandour answered that the project manager has been focused on 1600 North instead of near Tucker Row to meet project deadlines.

The next scheduled meeting will be July 19. 

6. ADJOURNMENT

Bryce Brady Adjourned the meeting at 6:19 pm.

Certified correct on: June 19, 2023

NOTICED BY: /s/ Rachel Stevens
Rachel Stevens, Planner

Community Development

Date: Wednesday, July 19, 2023
From: Anthony Fletcher, Planner
To: Planning Commission
Item: Central Utah Water Conservation District Pump House Project Well #7, 16 & 17.
Permit: **City Inspect – Development Module**
 PLAN23-009
 PLAN23-011
 PLAN23-012

Address: Well #7 – Approx. 400 E 400 N, Vineyard, Utah, 84059
 Well #16 – Approx. 700 E 1300 N, Vineyard, Utah, 84059
 Well #17 – Approx. 800 E 350 N, Vineyard, Utah, 84059

Applicant: Shaun Hilton, CUWCD.
Owner: Central Utah Water Conservation District (CUWCD)



ANALYSIS

The applicant, Shaun Hilton, Central Utah Water Conservation District (CUWCD), is requesting approval of three (3) site plans for High Head Well Pump Houses which will be located as follows:

	Location	Site Area
Well #7	Approx. 400 E 400N Vineyard, UT,	0.58 Acres
Well #16	Approx. 700 E 1300 N Vineyard, UT	0.54 Acres
Well #17	Approx. 800 E 350 N Vineyard, UT	0.36 Acres

Vineyard City currently has eight (8) high head wells (i.e., Wells #8 – #15) owned and operated by CUWCD.

The development of high head well pump houses in a city generally enhances the water pressure, expands water distribution, increases water supply resilience, and contributes to the overall efficiency and reliability of the water system that will be beneficial to current and future residents, businesses, and emergency response efforts. As Vineyard City develops and continues to see growth in its population and densities, the building of these well houses, in addition to the existing, will better position the city in preparation for the projected growth.

The site locations of wells #7, 16 and 17 are zoned Public Facility (PF), Regional Commercial (RC) and Geneva Road Mixed Use (GMRU) respectively. The PF zoning district is intended to provide areas for public facilities and to recognize the public and institutional nature of parcels of land within the city. The RC district is to provide areas for the location of various types of commercial uses and activities needed to serve the residents of the city, and surrounding areas. The Geneva Road Mixed Use district is intended to encourage a mixture of commercial, office and residential uses along the Geneva Road corridor.

The Vineyard Zoning Code (VZC) classifies Well#7 as an outrightly permitted use in this zoning district. Wells # 16 and 17 are classified as Conditional Use, implying that the proposed land use could be allowed if the proposed project is properly integrated into the new district in such that the uses are designed, arranged, or conducted in a particular manner. A Conditional Use permit for Well #17 site was approved on February 17, 2021.

STAFF RECOMMENDATION

Staff recommends approval of the site plan, provided the following conditions are met.

CONDITIONS

1. The applicant shall meet all building design requirements. As of July 1, 2023, all building permit applications would need to comply with the New 2021 International Building Code (IBC).
2. The applicant shall include yield signs at and close to Well #7 site – A reflector type sign on the facility gate and on the trail close to the gates is recommended to alert trail users to yield when the well house gates are open or being used.
3. The applicant shall observe the city's 'Nuisances General' ordinance outlined in the Municipal Code, Section 8.08.101(C)(2)(p).

4. No signage is approved through this permit. All individual buildings, exterior walls, and monument signage shall be reviewed through a separate permit.
5. The applicant shall apply for a Conditional Use permit while in the process of securing a building permit. A building permit shall not be issued until a conditional use permit has been obtained for Well #16 site.
6. The applicant is subject to all federal, state, and local laws.

PROPOSED MOTION

“I move to approve the site plan as requested by Shaun Hilton (Central Utah Water Conservatory District) with the proposed conditions.”

ATTACHMENTS

Scope of Work

Site Plan

Exterior Elevations

Landscape Plan

Photometric Plan

Architectural Schedules

Well #7 Civil Area Plan and Coordinates (Sheet C – 1) – This shows the intension of the CUWCD to rebuild the trail pavement proposed to be used as the main access to Well #7.

Well #7 Analysis			
Zoning		Public Facility (PF)	
Use		Utility, Minor Public Facility (Permitted)	
Lot Size		25,127sq.ft.	
Building Square Footage		1,074sq.ft.	
Maximum Building Height		Allowed: NA Actual: 21'4"	
Minimum Front Yard		Required: NA Actual: NA	
Minimum Rear Yard		Required: NA Actual: NA	
Minimum Side Yard for Interior Lots		Required: NA Actual: NA	
Minimum Side Yard for Corner Lots		Required: NA Actual: NA	
Maximum Building Lot Coverage		Required: NA Actual: NA	
Landscaping		Minimum Required: 20% Actual: In Compliance	
Parking Stalls		In Compliance	
ADA Parking Stalls		NA	
VZC 15.36 Site Planning and Building Design Requirements			
Category	Standard	Staff Comments	Compliance
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and <i>useable</i> parks and open spaces.		☐ Yes ☐ No ☒ N/A
15.36.030.1.a Building Design	The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is	The architecture of the proposed buildings features concrete, atlas brick, aluminum, Stucco,	☒ Yes ☐ No

	that all man-made structures blend harmoniously with the natural environment.	galvanized steel, and asphalt Shingles are consistent with the surrounding community and appropriate for a Public Facility zone.	☐ N/A
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.	In compliance. Building features four-sided architecture (consistent level of detail and finish on all sides).	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.	In compliance. The proposed buildings feature recessed and projected elements, balanced vertical and horizontal elements, overhangs, variations in materiality, etc.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is	In Compliance	☒ Yes ☐ No ☐ N/A

	minimized when the roof is very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)		
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.v Architectural details	Surface details, ornaments, and other building elements that enrich the character of a building are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged: - Stonework - Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures.	The architecture of the building features light fixtures, both smooth and scratched finish atlas bricks, stucco, monotone cast Aluminum panel sign and other elements that enrich the character of the building and provide distinction.	☒ Yes ☐ No ☐ N/A
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features,	Not applicable	☐ Yes ☐ No ☒ N/A

	materials, and colors of the existing building		
15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.	All mechanical equipment is concealed behind the building on the site. In addition, the site is enclosed by a 6 FT perimeter Chain Link Fence with a 24' Wide PVC coated chain link double swing gate that restricts public access.	☒ Yes ☐ No ☐ N/A
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.	In Compliance	☒ Yes ☐ No ☐ N/A

15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.5.d Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	Not applicable to this project as this is a public facility that is enclosed by a 6 FT perimeter chain link fence.	☐ Yes ☐ No ☒ N/A
15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.	In compliance. Please see 'Architectural Details' and 'Building Design'.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the	In Compliance. The applicant has proposed a range of earth colors not	☒ Yes ☐ No ☐ N/A

	natural setting. All exterior buildings colors shall be subdued earth tones and muted colors that blend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.	currently specified on the plan. The colors for the smooth and scratched finish atlas bricks and stucco exterior finishes are yet to be determined. The applicant has explained that the colors are going to be very similar to the already built well houses in Vineyard.	
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable	Not applicable.	☐ Yes ☐ No ☒ N/A

15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and provide open space and to protect views . The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.9.a.ii.	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing or planned to be located on adjacent properties.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.10 Site Access	The location and number of access points to the site, the interior circulation pattern , and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience , and should be harmonious with proposed and neighboring buildings.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.	In Compliance	☒ Yes ☐ No ☐ N/A

15.36.030.12 Views	Due to the community quality and character created by the surrounding scenic beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake	In Compliance. The building height does not obstruct the any of the significant views.	☒ Yes ☐ No ☐ N/A
15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.	In Compliance. Site will be predominantly Xeriscaped with Rock and no plant. The Development Review committee discussed with applicant and It was agreed that the irrigation and landscaping requirements for all three wells will be waived in substitution for a nice-looking CMU fence and rod iron gates for Well houses #16 and #17.	☒ Yes ☐ No ☐ N/A
15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.	NA. The land uses adjacent to this site are not conflicting.	☐ Yes ☐ No ☒ N/A
15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.	NA. There are no areas of naturally occurring open space on this site.	☐ Yes ☐ No ☒ N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas	In Compliance	☒ Yes ☐ No ☐ N/A

	where appropriate. Drought tolerant “xeriscape” landscaping is encouraged. Landscaping improvements may also include berms, contouring, rocks, and boulders.		
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that	In Compliance. Due to the location and current surrounding conditions, the project will be maintaining the existing chain link fence type. A new 24’ wide PVC Coated chain link gate will be installed and used as a main access point to the well house.	☒ Yes ☐ No ☐ N/A

	are compatible with the residence.		
15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.	In compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be “down lighting” so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17. a.	Warming lighting colors are encouraged. Blue-white colors or fluorescent and mercury vapor lamps are prohibited.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits. All parking area lighting shall be integrated with	In Compliance.	☒ Yes ☐ No ☐ N/A

	landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.		
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.	In Compliance. All signage shall be reviewed through a separate permit.	☒ Yes ☐ No ☐ N/A
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein	In compliance.	☒ Yes ☐ No ☐ N/A
17.36.030.c	All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.	In compliance.	☒ Yes ☐ No ☐ N/A
VZC Chapter 15.38 Parking and Loading Requirements			
Category	Standard		
15.38.030.1.e Parking Stall Dimensions	Type	Width	Length
	Standard	9 ft	20 ft
	Parallel	8 ft	24 ft
	The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face		
	In Compliance		
			☒ Yes ☐ No ☐ N/A

	to the opposite edge of the walkway).				
15.38.030.1.f. Parking Aisle Dimensions	Angle	1way Aisle	2way Aisle	Not applicable	☐ Yes ☐ No ☒ N/A
	90 deg.	24 ft	24 ft		
	60 deg.	18 ft	22 ft		
	45 deg.	18 ft	20 ft		
	30 deg.	18 ft	20 ft		
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.h. Within Structures	The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete			In compliance. Parking Area shall be paved with 4" thick asphalt with 8"	☒ Yes ☐ No ☐ N/A

	or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.	of road base as indicated on the plan.	
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination there-of at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.	Not applicable.	☐ Yes ☐ No ☒ N/A

15.38.030.1.o.i. Parking Area Landscaping	5% of the gross parking surface area shall be of disperse interior landscaping, designed so as to reduce the “heat island” effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs: 1) 5’ by 5’ tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces. 2) Min. 5’ wide landscape medians with trees planted 40 feet apart 3) Min. 5’ wide landscape islands and peninsulas with at least 1 tree 4) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets, so automobiles are not visible below the average headlight	Not applicable. The entire site shall be fenced with chain link fence and gate to restrict access to only authorized persons.	☐ Yes ☐ No ☒ N/A

	height. Screen methods may include landscaped berms, low walls, and hedges		
15.38.030.1.o.iii.	Access drives, internal circulation drives, parking area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.v.	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.	NA	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide	Not Applicable	☐ Yes ☐ No

	pedestrians with a sense of security.		☒ N/A
15.38.030.1.o.viii.	All sites shall meet the requirements of the Americans with Disabilities Act ("ADA")	In Compliance	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.	Not applicable. The main site access will be a shared access with pedestrians in the future when the trail is extended.	☐ Yes ☐ No ☒ N/A
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the	Not applicable	☐ Yes ☐ No ☒ N/A

	lowest branch to the adjacent grade elevation.		
15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.	In compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.	In compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		
15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		
15.38030.1.s.iv.	All canopies shall include a fascia		
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		
15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Medical Offices and Clinics: 1 space per 200 SF of floor area.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of	Not applicable	☐ Yes ☐ No ☒ N/A

	the requirements for the various uses computed separately.		
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed-use development may reduce the amount of required parking by 10% if the project is a mixed-use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.f. Joint Use Parking		Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.2.g. Offsite Parking		Not applicable	☐ Yes ☐ No ☒ N/A
15.38.040 Off-Street Loading Requirements		Not applicable	☐ Yes ☐ No ☒ N/A

VZC Chapter 15.40 Landscaping			
Category	Standard	Staff Comments	Compliance
15.40.080.1.a. Landscape Improvements and Guarantees	All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.		☐ Yes ☐ No ☒ N/A

15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual		☐ Yes ☐ No ☒ N/A
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.		☐ Yes ☐ No ☒ N/A
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.g. Irrigation Standards		Not applicable. Irrigation requirement for this project was waived in with an agreed substitution of	☐ Yes ☐ No ☒ N/A

		having CMU fencing for Wells #16 & 17.	
15.40.080.1.h. Separate Connection			☐ Yes ☐ No ☒ N/A
15.40.080.1.i. Soil Preparation			☐ Yes ☐ No ☒ N/A
15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.l. Detention Basins		Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area.	In compliance.	☒ Yes ☐ No ☐ N/A

	For the purposes of this section, landscape areas shall also include plazas.		
15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.d.	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.3.a. Landscaped Buffers	A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be	Not applicable.	☐ Yes ☐ No ☒ N/A

	used to satisfy the landscape area requirements of this Section.		
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15-foot interval of the property boundary being screened.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.5. Building Foundations	For each elevation visible from a public or private street, a minimum of 5-foot foundation planting area shall be provided.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required	Not applicable	☐ Yes ☐ No ☒ N/A

	street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.		
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.	Not applicable	☐ Yes ☐ No ☒ N/A

Well #16 Analysis			
Zoning		Regional Commercial District (RC)	
Use		Utility, Minor Public Facility (Conditional Use)	
Lot Size		23,422sq.ft.	
Building Square Footage		1,730sq.ft.	
Maximum Building Height		Allowed: 60’2” Actual: 21’4”	
Minimum Front Yard		Required: 20’ Actual: 51’7”	
Minimum Rear Yard		Required: 25’ Actual: 39’	
Minimum Side Yard for Interior Lots		Required: 20’ Actual: NA	
Minimum Side Yard for Corner Lots		Required: 25’ Actual: 30’8” & 64’11”	
Maximum Building Lot Coverage		Required: NA Actual: NA	
Landscaping		Minimum Required: 20% Actual: In Compliance	
Parking Stalls		In Compliance	
ADA Parking Stalls		NA	
VZC 15.36 Site Planning and Building Design Requirements			
Category	Standard	Staff Comments	Compliance
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and <i>useable</i> parks and open spaces.		☐ Yes ☐ No ☒ N/A
15.36.030.1.a Building Design	The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures	The architecture of the proposed buildings features concrete, atlas brick, aluminum, Stucco, galvanized steel, and asphalt	☒ Yes ☐ No ☐ N/A

	blend harmoniously with the natural environment.	Shingles are consistent with the surrounding community and appropriate for a Public Facility zone.	
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.	In compliance. Building features four-sided architecture (consistent level of detail and finish on all sides).	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.	In compliance. The proposed buildings feature recessed and projected elements, balanced vertical and horizontal elements, overhangs, variations in materiality, etc.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is	In Compliance	☒ Yes ☐ No ☐ N/A

	very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)		
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.v Architectural details	Surface details, ornaments, and other building elements that enrich the character of a building are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged: - Stonework - Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures.	The architecture of the building features light fixtures, both smooth and scratched finish atlas bricks, stucco, monotone cast Aluminum panel sign and other elements that enrich the character of the building and provide distinction.	☒ Yes ☐ No ☐ N/A
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building	Not applicable	☐ Yes ☐ No ☒ N/A

15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.	All mechanical equipment is concealed behind the building on the site. In addition, the site is enclosed by a 8 FT high precast concrete Fence with a 22' Wide Ornamental Iron gate that restricts public access.	☒ Yes ☐ No ☐ N/A
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or	In Compliance	☒ Yes ☐ No

	planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.		☐ N/A
15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.5.d Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	Not applicable to this project as this is a public facility that is enclosed by a 8 FT high precast concrete Fence with a 22' Wide Ornamental Iron gate that restricts public access.	☐ Yes ☐ No ☒ N/A
15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.	In compliance. Please see 'Architectural Details' and 'Building Design'.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and	In Compliance. The applicant has proposed a range of earth colors not currently specified on the plan. The colors for the smooth and scratched finish	☒ Yes ☐ No ☐ N/A

	muted colors that bend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.	atlas bricks and stucco exterior finishes are yet to be determined. The applicant has explained that the colors are going to be very similar to the already built well houses in Vineyard.	
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and provide open space and	In Compliance.	☒ Yes ☐ No

	to protect views . The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.		☐ N/A
15.36.030.9.a.ii.	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing or planned to be located on adjacent properties.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.10 Site Access	The location and number of access points to the site, the interior circulation pattern , and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience , and should be harmonious with proposed and neighboring buildings.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.12 Views	Due to the community quality and character created by the surrounding scenic	In Compliance. The building height does not obstruct the any of the	☒ Yes ☐ No

	beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake	significant views. The building height is over 30' below the maximum required height.	☐ N/A
15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.	In Compliance. Site will be predominantly Xeriscaped with Rock and no plants. The Development Review committee discussed with applicant and It was agreed that the irrigation and landscaping requirements for all three wells will be waived in substitution for a nice-looking CMU fence and ornamental rod iron gates for Well houses #16 and #17.	☒ Yes ☐ No ☐ N/A
15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.	NA. The land uses adjacent to this site are not conflicting.	☐ Yes ☐ No ☒ N/A
15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.	NA. There are no areas of naturally occurring open space on this site.	☐ Yes ☐ No ☒ N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant "xeriscape"	In Compliance	☒ Yes ☐ No ☐ N/A

	landscaping is encouraged. Landscaping improvements may also include berms, contouring, rocks, and boulders.		
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that are compatible with the residence.	In Compliance. Due to the location and current surrounding conditions, an 8ft high precast concrete Fence with a 22' Wide Ornamental Iron gate shall be installed.	☒ Yes ☐ No ☐ N/A

15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.	In compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be “down lighting” so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17. a.	Warming lighting colors are encouraged. Blue-white colors or fluorescent and mercury vapor lamps are prohibited.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits. All parking area lighting shall be integrated with landscape features. The height of pole-mounted	In Compliance.	☒ Yes ☐ No ☐ N/A

	fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.				
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.	In Compliance. All signage shall be reviewed through a separate permit.	☒ Yes ☐ No ☐ N/A		
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein	In compliance.	☒ Yes ☐ No ☐ N/A		
17.36.030.c	All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.	In compliance.	☒ Yes ☐ No ☐ N/A		
VZC Chapter 15.38 Parking and Loading Requirements					
Category	Standard			Staff Comments	Compliance
15.38.030.1.e Parking Stall Dimensions	Type	Width	Length	In compliance	☒ Yes ☐ No ☐ N/A
	Standard	9 ft	20 ft		
	Parallel	8 ft	24 ft		
	The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).				

15.38.030.1.f. Parking Aisle Dimensions	Angle	1way Aisle	2way Aisle	Not applicable	☐ Yes ☐ No ☒ N/A
	90 deg.	24 ft	24 ft		
	60 deg.	18 ft	22 ft		
	45 deg.	18 ft	20 ft		
	30 deg.	18 ft	20 ft		
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.h. Within Structures	The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered			In compliance. Parking Area shall be paved with 4" thick asphalt with 8" of road base as indicated on the plan.	☒ Yes ☐ No ☐ N/A

	with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.		
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination there-of at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.i. Parking Area Landscaping	5% of the gross parking surface area shall be of disperse interior landscaping,	Not applicable	☐ Yes ☐ No ☒ N/A

	designed so as to reduce the “heat island” effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs: 5) 5’ by 5’ tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces. 6) Min. 5’ wide landscape medians with trees planted 40 feet apart 7) Min. 5’ wide landscape islands and peninsulas with at least 1 tree 8) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.		
15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets, so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges	Not applicable. The entire site shall be fenced with 8 FT high precast concrete with a 22’ wide Ornamental Iron gate that would restrict public access and only allow access to authorized persons.	☐ Yes ☐ No ☒ N/A

15.38.030.1.o.iii.	Access drives, internal circulation drives, parking area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.v.	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.	Not Applicable	☐ Yes ☐ No ☒ N/A

15.38.030.1.o.viii.	All sites shall meet the requirements of the Americans with Disabilities Act ("ADA")	In Compliance	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation.	Not applicable	☐ Yes ☐ No ☒ N/A

15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.	In compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.	In compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		
15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		
15.38030.1.s.iv.	All canopies shall include a fascia		
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		
15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Medical Offices and Clinics: 1 space per 200 SF of floor area.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the	Not applicable	☐ Yes ☐ No ☒ N/A

	various uses computed separately.		
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed-use development may reduce the amount of required parking by 10% if the project is a mixed-use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.f. Joint Use Parking		Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.2.g. Offsite Parking		Not applicable	☐ Yes ☐ No ☒ N/A
15.38.040 Off-Street Loading Requirements		Not applicable	☐ Yes ☐ No ☒ N/A

VZC Chapter 15.40 Landscaping			
Category	Standard	Staff Comments	Compliance
15.40.080.1.a. Landscape Improvements and Guarantees	All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.		☐ Yes ☐ No ☒ N/A

15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual		☐ Yes ☐ No ☒ N/A
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.		☐ Yes ☐ No ☒ N/A
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.g. Irrigation Standards		Not applicable. Irrigation requirements for this project was waived in with an agreed substitution of	☐ Yes ☐ No ☒ N/A

		having CMU fencing for Wells #16 & 17.	
15.40.080.1.h. Separate Connection			☐ Yes ☐ No ☒ N/A
15.40.080.1.i. Soil Preparation			☐ Yes ☐ No ☒ N/A
15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.l. Detention Basins		Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area.	In compliance.	☒ Yes ☐ No ☐ N/A

	For the purposes of this section, landscape areas shall also include plazas.		
15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.d.	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.3.a. Landscaped Buffers	A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be	Not applicable.	☐ Yes ☐ No ☒ N/A

	used to satisfy the landscape area requirements of this Section.		
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15-foot interval of the property boundary being screened.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.5. Building Foundations	For each elevation visible from a public or private street, a minimum of 5-foot foundation planting area shall be provided.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required	Not applicable	☐ Yes ☐ No ☒ N/A

	street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.		
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.	Not applicable	☐ Yes ☐ No ☒ N/A

Well #17 Analysis			
Zoning		Geneva Road Mixed Use (GRMU)	
Use		Utility, Minor Public Facility (Conditional Use)	
Lot Size		15,630sq.ft.	
Building Square Footage		1,073sq.ft.	
Maximum Building Height		Allowed: 60’2” Actual: 21’4”	
Minimum Front Yard		Required: 20’ Actual: 51’7”	
Minimum Rear Yard		Required: 25’ Actual: 39’	
Minimum Side Yard for Interior Lots		Required: 20’ Actual: NA	
Minimum Side Yard for Corner Lots		Required: 25’ Actual: 30’8” & 64’11”	
Maximum Building Lot Coverage		Required: NA Actual: NA	
Landscaping		Minimum Required: 20% Actual: In Compliance	
Parking Stalls		In Compliance	
ADA Parking Stalls		NA	
VZC 15.36 Site Planning and Building Design Requirements			
Category	Standard	Staff Comments	Compliance
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and <i>useable</i> parks and open spaces.		☐ Yes ☐ No ☒ N/A
15.36.030.1.a Building Design	The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures	The architecture of the proposed buildings features concrete, atlas brick, aluminum, Stucco, galvanized steel, and asphalt	☒ Yes ☐ No ☐ N/A

	blend harmoniously with the natural environment.	Shingles are consistent with the surrounding community and appropriate for a Public Facility zone.	
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.	In compliance. Building features four-sided architecture (consistent level of detail and finish on all sides).	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.	In compliance. The proposed buildings feature recessed and projected elements, balanced vertical and horizontal elements, overhangs, variations in materiality, etc.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is	In Compliance	☒ Yes ☐ No ☐ N/A

	very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)		
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.v Architectural details	Surface details, ornaments, and other building elements that enrich the character of a building are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged: - Stonework - Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures.	The architecture of the building features light fixtures, both smooth and scratched finish atlas bricks, stucco, monotone cast Aluminum panel sign and other elements that enrich the character of the building and provide distinction.	☒ Yes ☐ No ☐ N/A
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building	Not applicable	☐ Yes ☐ No ☒ N/A

15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.	All mechanical equipment is concealed behind the building on the site. In addition, the site is enclosed by a 8 FT high precast concrete Fence with a 22' Wide Ornamental Iron gate that restricts public access.	☒ Yes ☐ No ☐ N/A
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or	In Compliance	☒ Yes ☐ No

	planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.		☐ N/A
15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.5.d Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	Not applicable to this project as this is a public facility that is enclosed by a 8 FT high precast concrete Fence with a 22' Wide Ornamental Iron gate that restricts public access.	☐ Yes ☐ No ☒ N/A
15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.	In compliance. Please see 'Architectural Details' and 'Building Design'.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and	In Compliance. The applicant has proposed a range of earth colors not currently specified on the plan. The colors for the smooth and scratched finish	☒ Yes ☐ No ☐ N/A

	muted colors that bend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.	atlas bricks and stucco exterior finishes are yet to be determined. The applicant has explained that the colors are going to be very similar to the already built well houses in Vineyard.	
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and provide open space and	In Compliance.	☒ Yes ☐ No

	to protect views . The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.		☐ N/A
15.36.030.9.a.ii.	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing or planned to be located on adjacent properties.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.10 Site Access	The location and number of access points to the site, the interior circulation pattern , and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience , and should be harmonious with proposed and neighboring buildings.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.12 Views	Due to the community quality and character created by the surrounding scenic	In Compliance. The building height does not obstruct the any of the	☒ Yes ☐ No

	beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake	significant views. The building height is over 30' below the maximum required height.	☐ N/A
15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.	In Compliance. Site will be predominantly Xeriscaped with Rock and no plants. The Development Review committee discussed with applicant and It was agreed that the irrigation and landscaping requirements for all three wells will be waived in substitution for a nice-looking CMU fence and ornamental rod iron gates for Well houses #16 and #17.	☒ Yes ☐ No ☐ N/A
15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.	NA. The land uses adjacent to this site are not conflicting.	☐ Yes ☐ No ☒ N/A
15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.	NA. There are no areas of naturally occurring open space on this site.	☐ Yes ☐ No ☒ N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant "xeriscape"	In Compliance	☒ Yes ☐ No ☐ N/A

	landscaping is encouraged. Landscaping improvements may also include berms, contouring, rocks, and boulders.		
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that are compatible with the residence.	In Compliance. Due to the location and current surrounding conditions, an 8ft high precast concrete Fence with a 22' Wide Ornamental Iron gate shall be installed.	☒ Yes ☐ No ☐ N/A

15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.	In compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be “down lighting” so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17. a.	Warming lighting colors are encouraged. Blue-white colors or fluorescent and mercury vapor lamps are prohibited.	In Compliance	☒ Yes ☐ No ☐ N/A
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits. All parking area lighting shall be integrated with landscape features. The height of pole-mounted	In Compliance.	☒ Yes ☐ No ☐ N/A

	fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.				
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.	In Compliance. All signage shall be reviewed through a separate permit.	☒ Yes ☐ No ☐ N/A		
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein	In compliance.	☒ Yes ☐ No ☐ N/A		
17.36.030.c	All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.	In compliance.	☒ Yes ☐ No ☐ N/A		
VZC Chapter 15.38 Parking and Loading Requirements					
Category	Standard			Staff Comments	Compliance
15.38.030.1.e Parking Stall Dimensions	Type	Width	Length	In compliance	☒ Yes ☐ No ☐ N/A
	Standard	9 ft	20 ft		
	Parallel	8 ft	24 ft		
	The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).				

15.38.030.1.f. Parking Aisle Dimensions	Angle	1way Aisle	2way Aisle	Not applicable	☐ Yes ☐ No ☒ N/A
	90 deg.	24 ft	24 ft		
	60 deg.	18 ft	22 ft		
	45 deg.	18 ft	20 ft		
	30 deg.	18 ft	20 ft		
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.h. Within Structures	The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.			Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered			In compliance. Parking Area shall be paved with 4" thick asphalt with 8" of road base as indicated on the plan.	☒ Yes ☐ No ☐ N/A

	with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.		
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination there-of at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.i. Parking Area Landscaping	5% of the gross parking surface area shall be of disperse interior landscaping,	Not applicable	☐ Yes ☐ No ☒ N/A

	designed so as to reduce the “heat island” effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs: 9) 5’ by 5’ tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces. 10) Min. 5’ wide landscape medians with trees planted 40 feet apart 11) Min. 5’ wide landscape islands and peninsulas with at least 1 tree 12) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.		
15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets, so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges	Not applicable. The entire site shall be fenced with 8 FT high precast concrete with a 22’ wide Ornamental Iron gate that would restrict public access and only allow access to authorized persons.	☐ Yes ☐ No ☒ N/A

15.38.030.1.o.iii.	Access drives, internal circulation drives, parking area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.v.	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.	NA	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.	Not Applicable	☐ Yes ☐ No ☒ N/A

15.38.030.1.o.viii.	All sites shall meet the requirements of the Americans with Disabilities Act ("ADA")	In Compliance	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.	In Compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation.	Not applicable	☐ Yes ☐ No ☒ N/A

15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.	In compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.	In compliance.	☒ Yes ☐ No ☐ N/A
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		
15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		
15.38030.1.s.iv.	All canopies shall include a fascia		
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		
15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Medical Offices and Clinics: 1 space per 200 SF of floor area.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the	Not applicable	☐ Yes ☐ No ☒ N/A

	various uses computed separately.		
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed-use development may reduce the amount of required parking by 10% if the project is a mixed-use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.	Not applicable	☐ Yes ☐ No ☒ N/A
15.38.030.2.f. Joint Use Parking		Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.2.g. Offsite Parking		Not applicable	☐ Yes ☐ No ☒ N/A
15.38.040 Off-Street Loading Requirements		Not applicable	☐ Yes ☐ No ☒ N/A

VZC Chapter 15.40 Landscaping			
Category	Standard	Staff Comments	Compliance
15.40.080.1.a. Landscape Improvements and Guarantees	All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.		☐ Yes ☐ No ☒ N/A

15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual		☐ Yes ☐ No ☒ N/A
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.		☐ Yes ☐ No ☒ N/A
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.g. Irrigation Standards		Not applicable. Irrigation requirements for this project was waived in with an agreed substitution of	☐ Yes ☐ No ☒ N/A

		having CMU fencing for Wells #16 & 17.	
15.40.080.1.h. Separate Connection			☐ Yes ☐ No ☒ N/A
15.40.080.1.i. Soil Preparation			☐ Yes ☐ No ☒ N/A
15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.	In compliance.	☒ Yes ☐ No ☐ N/A
15.40.080.1.l. Detention Basins		Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area.	In compliance.	☒ Yes ☐ No ☐ N/A

	For the purposes of this section, landscape areas shall also include plazas.		
15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.d.	The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.3.a. Landscaped Buffers	A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be	Not applicable.	☐ Yes ☐ No ☒ N/A

	used to satisfy the landscape area requirements of this Section.		
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15-foot interval of the property boundary being screened.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.5. Building Foundations	For each elevation visible from a public or private street, a minimum of 5-foot foundation planting area shall be provided.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required	Not applicable	☐ Yes ☐ No ☒ N/A

	street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.		
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.	Not applicable	☐ Yes ☐ No ☒ N/A

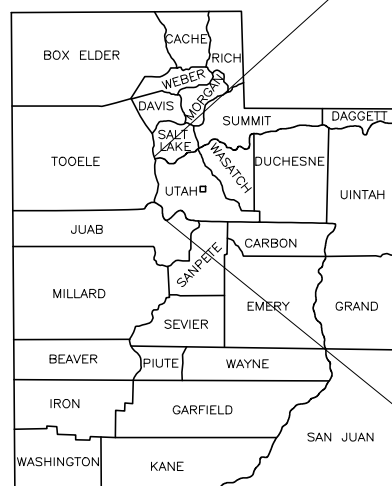


CENTRAL UTAH WATER CONSERVANCY DISTRICT

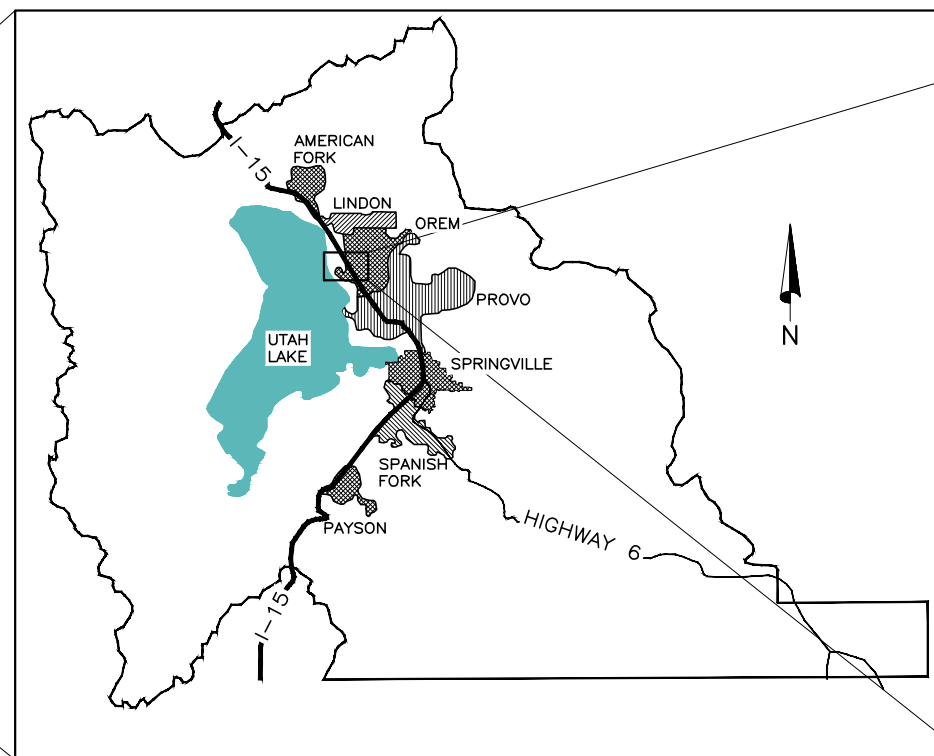
CWP HIGH HEAD WELL PUMP HOUSE PROJECTS

WELLS #7, #16 & #17

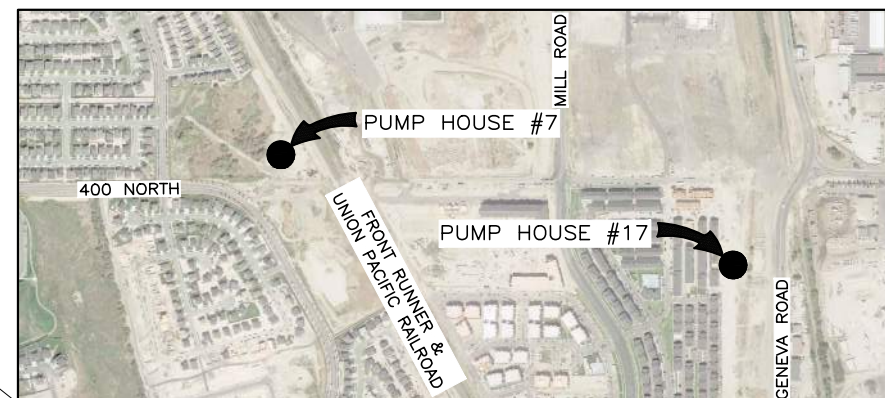
ISSUED FOR BIDDING - MAY 2023



STATE OF UTAH



UTAH COUNTY



PROJECT LOCATIONS



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STE. 200
SOUTH JORDAN, UTAH 84095
(801) 566-5599

HANSEN, ALLEN & LUCE DESIGN TEAM

MARVIN E. ALLEN, P.E. — PRINCIPAL-IN-CHARGE
MICHAEL M. CHAMBERS, P.E., PMP — PROJECT MANAGER, PROJECT ENGINEER
ROBERT C. CONDER, S.E. — STRUCTURAL ENGINEER
(CONDER ENGINEERING, LLC)

KEITH B. HEGERHORST, P.E. — ELECTRICAL
(HPE, INC. ELECTRICAL ENGINEERS)

TAYLOR GROBERG, P.E. — HVAC
(BLUEFIELD ENGINEERING)

ERIC LYMAN — LANDSCAPE ARCHITECT
(E.A. LYMAN LANDSCAPE ARCHITECT)

JAY R. MCQUIVEY — GEOTECHNICAL
(AGEC, INC.)

ERIK S. LLEWELLYN, P.E. — CATHODIC PROTECTION
(INFINITY CORROSION GROUP, INC.)

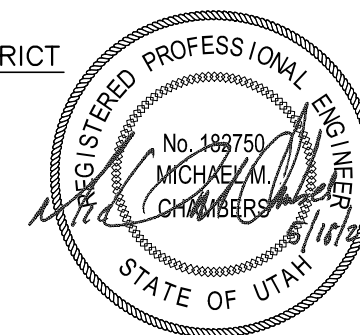
PROJECT ADDRESS

WELL #	ADDRESS
7	APPROX 400 E 400 N VINEYARD, UT
16	APPROX 700 E 1300 N VINEYARD, UT
17	APPROX 800 E 350 N VINEYARD, UT

CENTRAL UTAH WATER CONSERVANCY DISTRICT

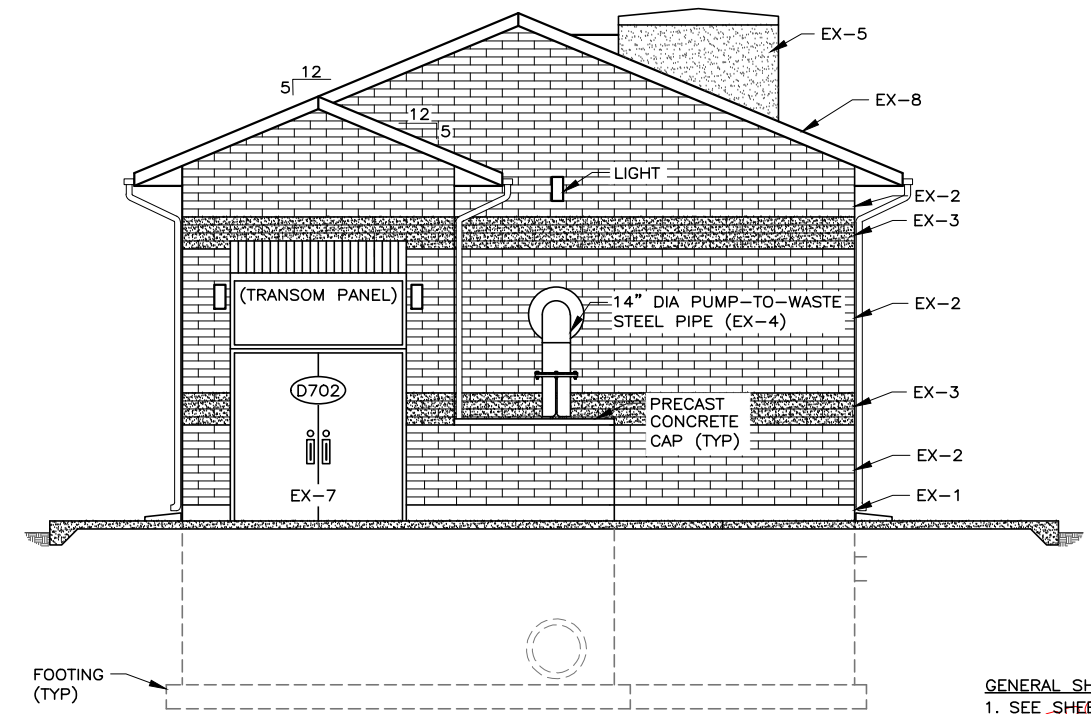
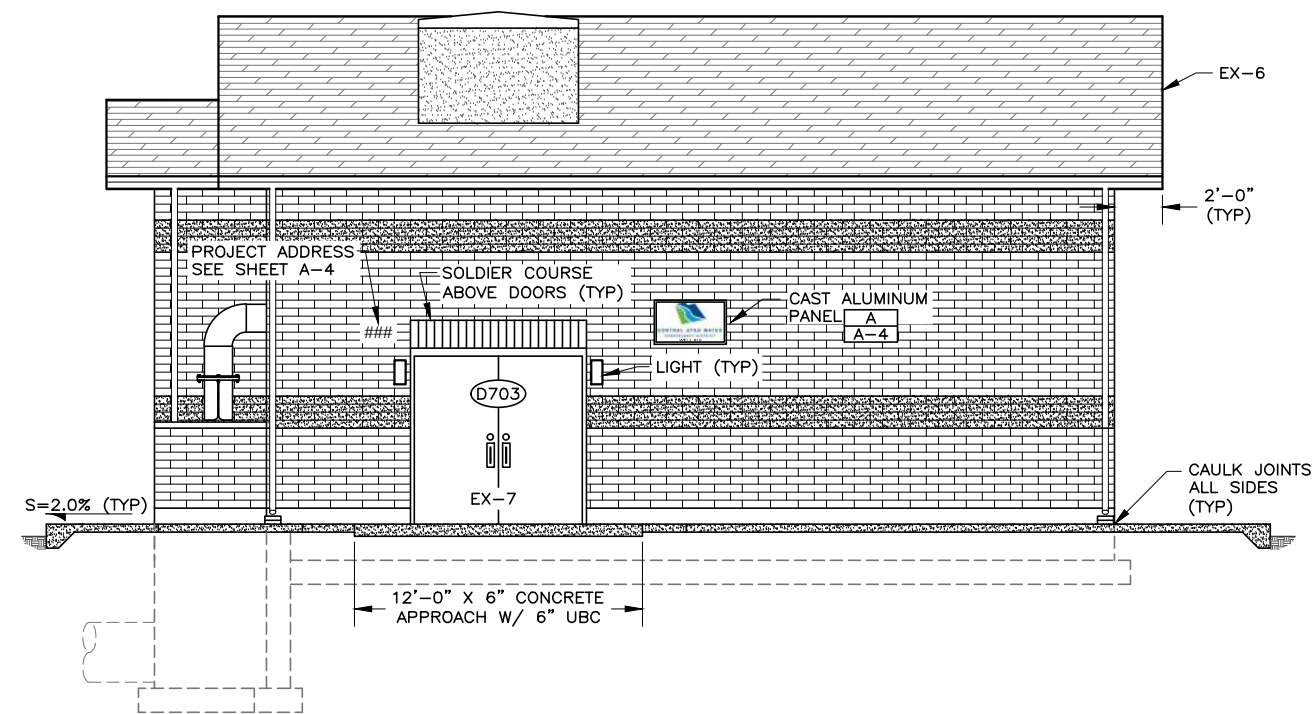
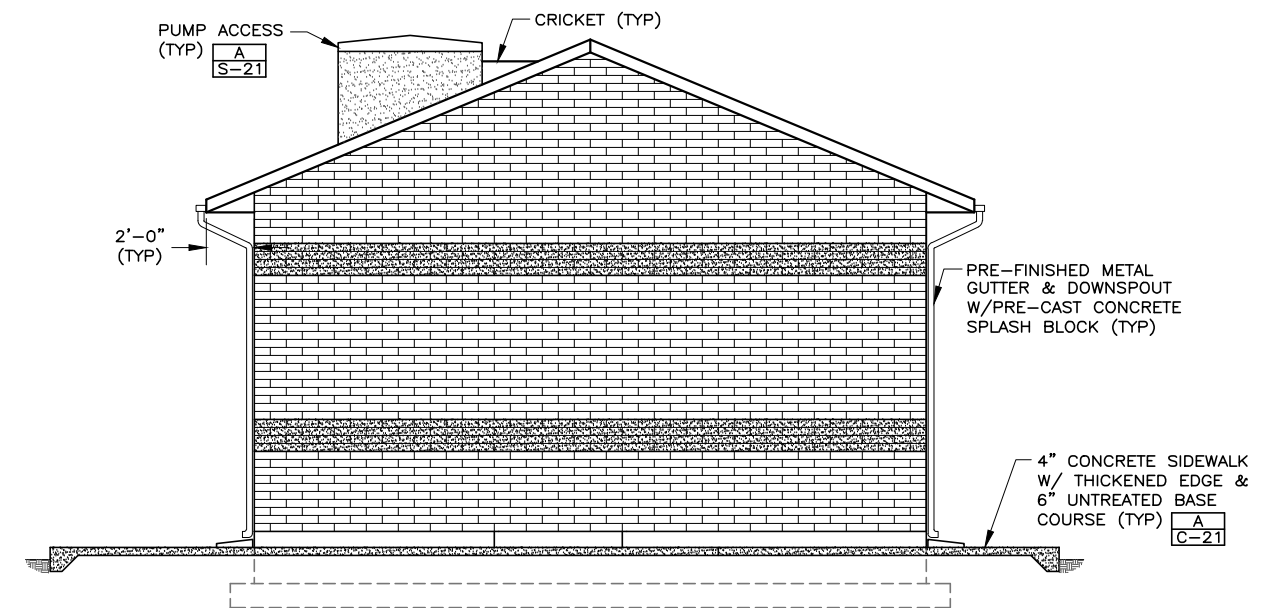
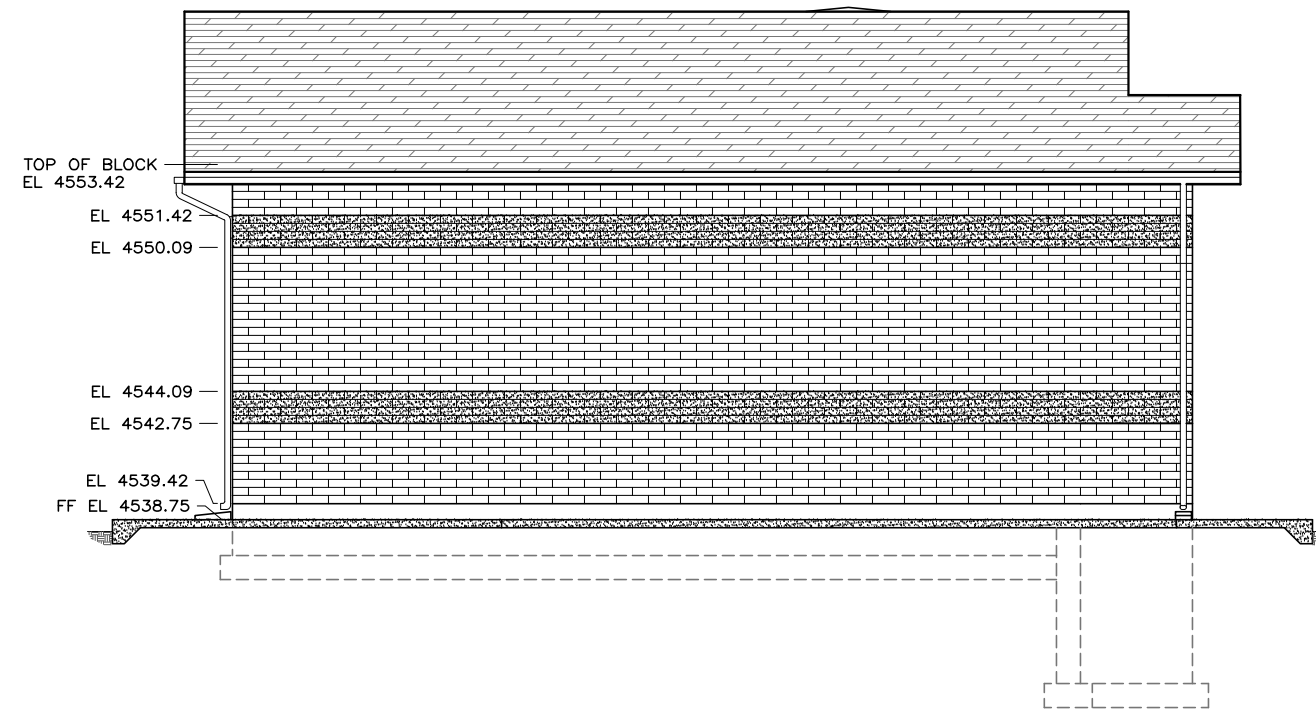
SHAUN HILTON, P.E.
PROJECT MANAGER

MIKE WHIMPEY, P.E.
CHIEF ENGINEER



**NOTICE INVITING PROPOSALS FOR
PREQUALIFICATION OF CONTRACTORS
CUWCD CWP WELLHOUSES #7, #16, & #17 PROJECT**

DESCRIPTION OF WORK: The Central Utah Water Conservancy District ("District") is requesting interested general contractors to submit qualifications to be prequalified to construct the CUWCD CWP Wellhouses #7, #16, & #17 Project ("Project"). The Project will consist of the construction of two drinking water well pump houses, consisting of masonry pump houses with asphalt shingle roofs, furnishing and installing 1,250 HP vertical turbine pumps, piping, valving, chlorination equipment, HVAC, surge tank, vaults, electrical, backup power generator, paving, site work, and other associated items. Installation will occur on three separate District owned properties located throughout Vineyard, Utah County, Utah.

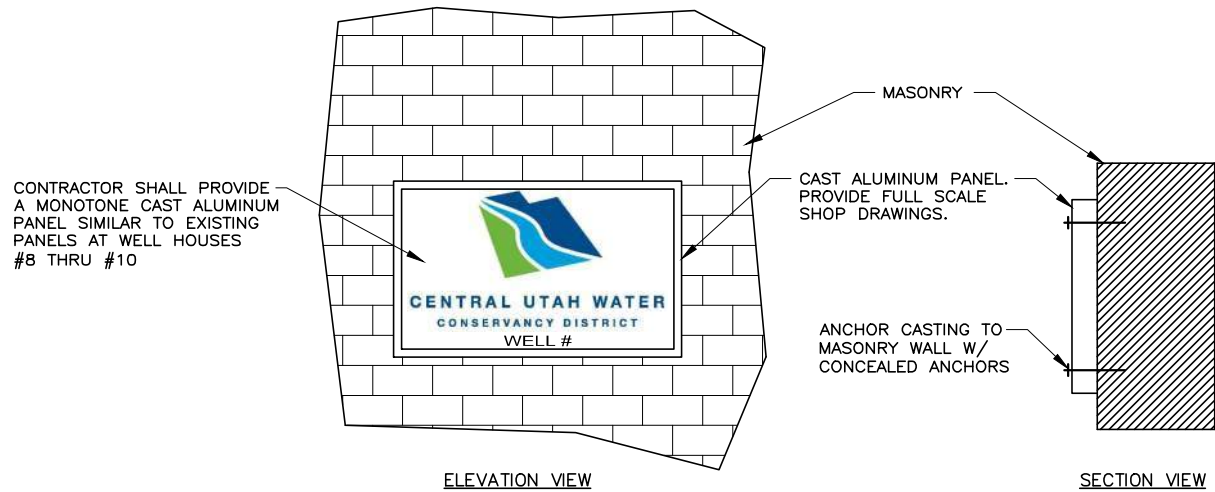


GENERAL SHEET NOTES:

1. SEE SHEET A-4 FOR FINISH SCHEDULES.
2. ELECTRICAL PANELS, LIGHTNING RODS & HVAC EQUIPMENT NOT SHOWN.

FILE NAME: PROJECTS\207 - CUWCD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-4 ARCHITECTURAL SCHEDULES LDWG
FILE DATE: 5.17.2023 15:34:43 (CAH)

7/04



PRE-CAST ALUMINUM DETAIL	A	A	A
	A-1	A-2	A-3

NTS



PROJECT ADDRESS SCHEDULE

WELL #	ADDRESS NUMBER
7	TBD
16	TBD
17	351

* ADDRESS LETTERS TO BE 6" HIGH, 1/4" THICK
POLISHED 304 SS HELVETICA BOLD.

EXTERIOR COLOR SCHEDULE WELL #7

MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	GALV STEEL	-	-	-	FOR EXPOSED GALV STEEL PIPE
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #7

DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D701	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL (AS REQUIRED)
D702	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL (AS REQUIRED) AND SECURITY CARD ACCESS
D703	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	

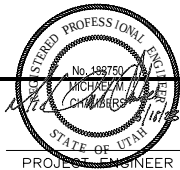
* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #7

LOCATION	MATERIAL	COLOR	REMARKS
FLOOR	CONCRETE	GRAY - EPOXY NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS	GYPSUM, PLYWOOD & ALUCOBOND	WHITE - OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

GENERAL SHEET NOTES:

- SEE TECHNICAL SPECIFICATION SECTION 08 71 00 FOR HARDWARE & SECURITY REQUIREMENTS.
- SEE TECHNICAL SPECIFICATION SECTION 09 90 00 FOR PAINTING AND FINISHES AND SECTION 03 30 00 FOR CONCRETE FINISHES.
- DRYWALL - SMOOTH FINISH LEVEL 5.
- EXTEND FLOOR COATING UP EXPOSED CONCRETE STEM WALL.
- SEE DETAIL C ON SHEET A-7 FOR DOOR TYPE DETAILS.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLES OF BLOCK, SHINGLES, STUCCO, PAINT, RAIN GUTTERS AND DOWNSPOUTS FOR OWNER TO MAKE FINAL COLOR SELECTIONS.



DESIGNED MMC
DRAFTED CAH
CHECKED MEA
DATE MAY 2023

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NO.

DATE

DATE

REVISIONS

BY
APVD.

SCALE
AS
SHOWN



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
ARCHITECTURAL
ARCHITECTURAL SCHEDULES - I

SHEET
A-4
207.27.200

FILE NAME: PROJECTS\207 - CUMCO\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-5 ARCHITECTURAL SCHEDULES I.DWG
FILE DATE: 5.17.2023 15:35:20 (CAH)

EXTERIOR COLOR SCHEDULE WELL #16					
MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	MOT USED	—	—	—	
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #16								
DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D1601	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL
D1602	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1603	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	
D1604	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL & 2' X 2' X 3/8" POLYCARBONATE WINDOW
D1605	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1606	3'-0"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓐ _(HDW-2)	PROVIDE HEARING PROTECTION REQUIRED SIGN
D1607	12'-0"	12'-0"	1-3/4"	HOLLOW METAL	OWNER	METAL FABRICATED	Ⓒ	OVERHEAD COILING DOOR (INSULATED) W/ MOTOR OPERATOR
W-1	2'-0"	2'-0"	3/8"	MTL	—	MTL	—	POLYCARBONATE GLAZING

* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #16			
LOCATION	MATERIAL	COLOR	REMARKS
FLOOR (SEE NOTE 7)	CONCRETE	GRAY – NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS (SEE NOTE 7)	GYPSUM, PLYWOOD & ALUCOBOND	WHITE – OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

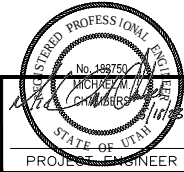
EXTERIOR COLOR SCHEDULE WELL #17					
MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	GALV STEEL	—	—	—	FOR EXPOSED GALV STEEL PIPE
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #17								
DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D1701	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL
D1702	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1703	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	

* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #17			
LOCATION	MATERIAL	COLOR	REMARKS
FLOOR	CONCRETE	GRAY – NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS	GYPSUM, PLYWOOD & ALUCOBOND	WHITE – OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

- GENERAL SHEET NOTES:
- SEE TECHNICAL SPECIFICATION SECTION 08 71 00 FOR HARDWARE & SECURITY REQUIREMENTS.
 - SEE TECHNICAL SPECIFICATION SECTION 09 90 00 FOR PAINTING AND FINISHES AND SECTION 03 30 00 FOR CONCRETE FINISHES.
 - DRYWALL – SMOOTH FINISH LEVEL 5.
 - EXTEND FLOOR COATING UP EXPOSED CONCRETE STEM WALL.
 - SEE DETAIL C ON SHEET A-7 FOR DOOR TYPE DETAILS.
 - CONTRACTOR SHALL PROVIDE COLOR SAMPLES OF BLOCK, SHINGLES, STUCCO, PAINT, RAIN GUTTERS AND DOWNSPOUTS FOR OWNER TO MAKE FINAL COLOR SELECTIONS.
 - CONCRETE FLOORS AND WALLS IN THE CHLORINATION ROOM SHALL BE COATED PER SYSTEM #23.



DESIGNED	MMC
DRAFTED	BKC
CHECKED	MEA
DATE	MAY 2023

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NO.

DATE

DATE

REVISIONS

BY

APVD.

SCALE

AS SHOWN

CENTRAL UTAH WATER CONSERVANCY DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
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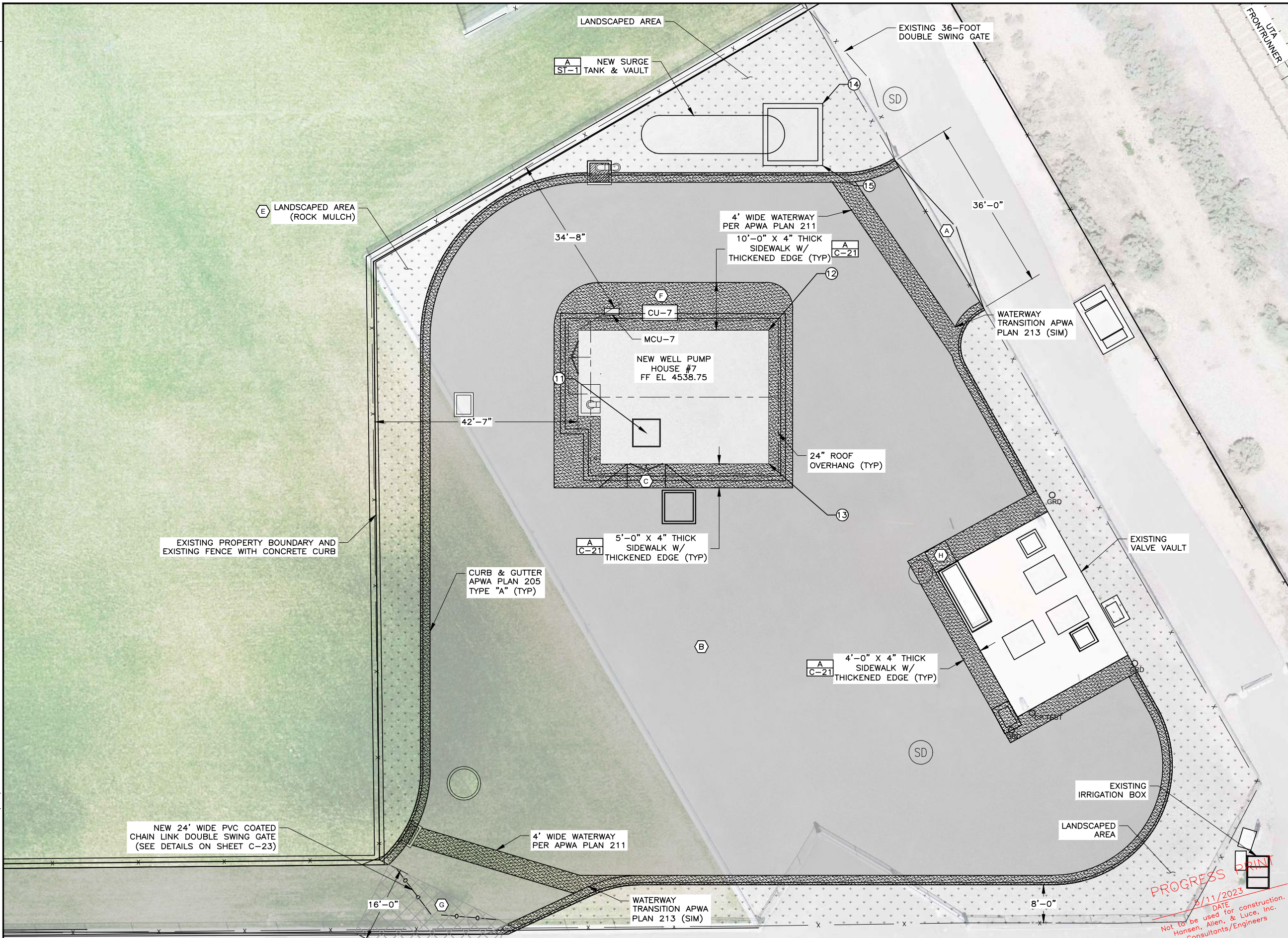
ARCHITECTURAL SCHEDULES – II

SHEET A-5

207.27.200

FILE NAME: PROJECTS\207 - CUWCD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\C-2 WELL 7 SITE PLAN.DWG
FILE DATE: 5/11/2023 17:22:15 (JRB)

7/04



GENERAL NOTES:

1. SEE SHEET C-1 FOR COORDINATES.
2. BORINGS B-1 AND B-2 FROM GEOTECHNICAL INVESTIGATION OF SITE INDICATE APPROXIMATELY 4 FEET OF EXISTING FILL OVERLAYING NATURAL SOILS.
3. EXISTING FILL MATERIALS BENEATH ALL PAVEMENT, EXTERIOR CONCRETE FLATWORK, AND CURB AND GUTTER AREAS SHALL BE COMPLETELY REMOVED TO A DEPTH OF 3 FEET AND REPLACED WITH FILL MATERIAL AS DEFINED IN SECTION 31 23 23.
4. ALL EXISTING FILL MATERIALS BENEATH PUMP HOUSE STRUCTURE SHALL BE COMPLETELY REMOVED AND REPLACED WITH FILL MATERIAL AS DEFINED IN SECTION 31 23 23.

KEY NOTES:

- (A) REMOVE EXISTING 36'-FOOT DOUBLE SWING GATE AND RELOCATE AS SHOWN. INSTALL NEW POSTS PER TABLE ON SHEET C-23.
- (B) PARKING AREA TO BE 4" THICK ASPHALT WITH 8" ROAD BASE AS SHOWN. PRIOR TO PLACING FILL, SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 31 23 13 - SUBGRADE PREPARATION. REQUIRED FILL SHALL BE IN ACCORDANCE WITH SECTION 31 23 23 FILL AND BACKFILL OF THE TECHNICAL SPECIFICATIONS.
- (C) INSTALL 6" CONCRETE APPROACH TO BUILDING (APWA PLAN 221) W/ #4 BARS @ 24" OC EW.
- (D) SEE ELECTRICAL SHEETS FOR ELECTRICAL CONNECTION POINTS. REROUTE ELECTRICAL CONDUITS AND EQUIPMENT AS REQUIRED TO INSTALL ELECTRICAL COMPONENTS.
- (E) SEE DRAWING L1.1 FOR LANDSCAPING.
- (F) SEE HVAC SHEETS FOR HVAC EQUIPMENT AND PLACEMENT.
- (G) AREA 16'-0" IN FRONT OF GATE TO BE PAINTED. PLACE "NO PARKING" SIGN ON EACH GATE.
- (H) DEMOLISH EXISTING CONCRETE PAD AND DISPOSE OF MATERIAL OFF-SITE AT AN APPROVED RECYCLING FACILITY.

Know what's below. **811**
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



PROJECT ENGINEER

DESIGNED MMC
DRAFTED JRB
CHECKED MEA
DATE MAY 2023

NO. 3
2
1

DATE

DATE

REVISIONS

BY

APVD.

SCALE

AS SHOWN



CENTRAL UTAH WATER
CONSERVANCY DISTRICT

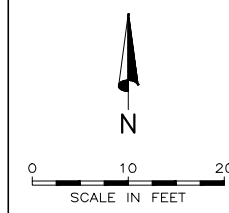
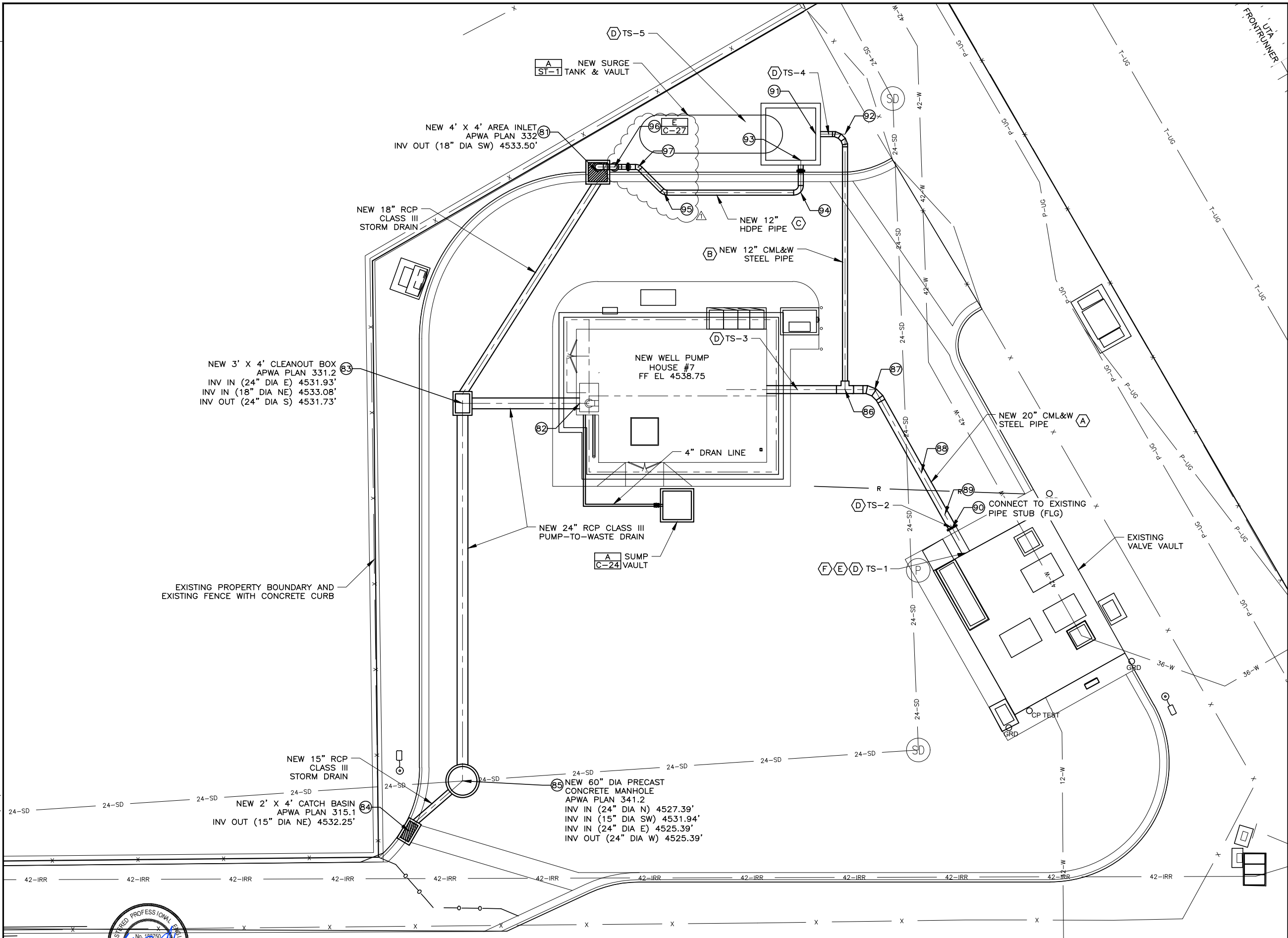
PUMP HOUSE PROJECT WELLS #7, #16 & #17
CIVIL
WELL #7 SITE PLAN

SHEET
C-2

207.27.200

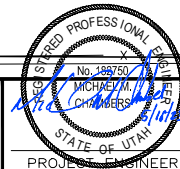
FILE NAME: PROJECTS\207 - CUMSD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\C-4 WELL 7 YARD PIPE PLAN_R1.DWG
FILE DATE: 6/22/2023 12:24:23 (JRB)

7/04



- GENERAL NOTES:
- SEE SHEET C-1 FOR COORDINATES.
 - PROVIDE JOINT RESTRAINTS ON ALL PRESSURE PIPES, VALVES, AND FITTINGS (SEE SPECIFICATIONS FOR TYPES ALLOWED)
- KEY NOTES:
- A** NEW 20-INCH CML&W WITH CEMENT OVERCOAT STEEL PIPE SHALL BE 3/8" MIN WALL THICKNESS.
 - B** NEW 12-INCH CML&W WITH CEMENT OVERCOAT STEEL PIPE SHALL BE 3/8" MIN WALL THICKNESS.
 - C** NEW 12-INCH HDPE PIPE SHALL BE DR9.
 - D** CATHODIC PROTECTION (SEE TEST SCHEDULE ON SHEET CP-1)
 - E** MAINTAIN ELECTRICAL ISOLATION BETWEEN NEW STEEL PIPING AND STEEL VAULT REINFORCEMENT.
 - F** CONTRACTOR TO CONFIRM EFFECTIVENESS OF INSULATOR ON 20-INCH CONNECTION INSIDE EXISTING VALVE VAULT.

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UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



DESIGNED	MMC	3	
DRAFTED	JRB	2	
CHECKED	MEA	1	06/01/23
DATE	MAY 2023	NO.	DATE

ADDENDUM NO. 1

REVISIONS

JRB	MMC
BY	APVD.

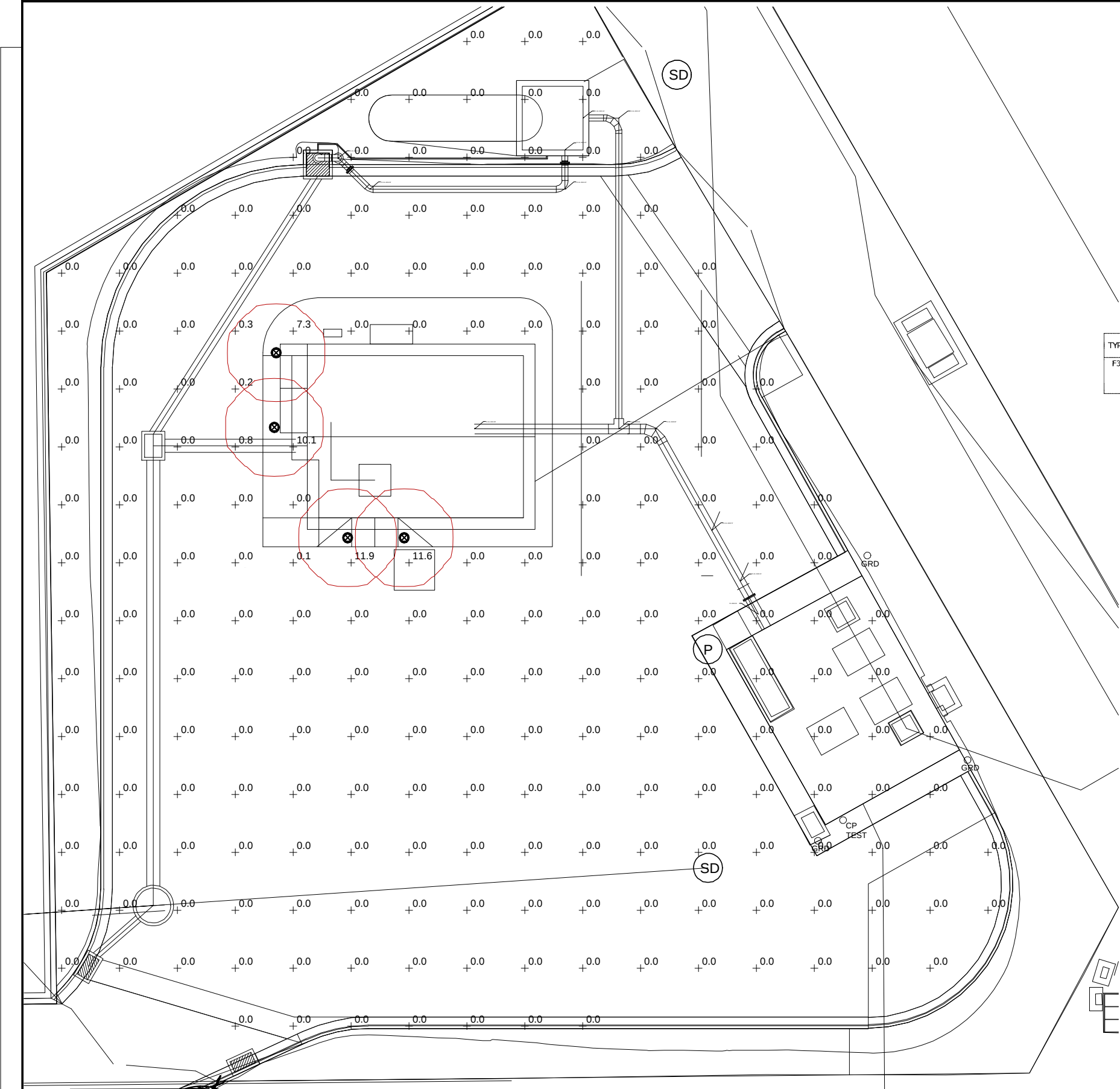
SCALE
AS SHOWN



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
CIVIL
WELL #7 YARD PIPE PLAN

SHEET
C-4
207.27.200



H.P.E. INC. ELECTRICAL ENGINEERS
POWER SYSTEMS, CONTROL & INSTRUMENTATION SYSTEMS (801) 642-2051
708 EAST 50 SOUTH AMERICAN FORK, UT 84003 FAX (801) 642-2154
HPE PROJECT 20.111 © 2023
FOR INFORMATION ABOUT THIS JOB, PLEASE CONTACT: KEITH HEGERHORST

GENERAL NOTES:

- 1. NOT USED.

SHEET KEYNOTES:

- 1. NOT USED.

FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER		FIX VA	LAMP	MOUNTING	NOTES:
		NAME	CATALOG NO.				
F3	LED WALL MOUNTED 6-INCH OPEN CYLINDER 22-DEG BEAM SPREAD, 120 VOLT, BRONZE FINISH	INFINIUM	SPC0609LEDLE-14W-41K-MD-E1-FS-5045-SCBA-WM-BZ	14	FURNISHED	WALL	ALL DOOR LIGHTS ARE F3 MOUNTED AT 10'

FILE NAME:
FILE DATE:
7/04



DESIGNED	KBH
DRAFTED	KBH
CHECKED	KBH
DATE	MAY 2023

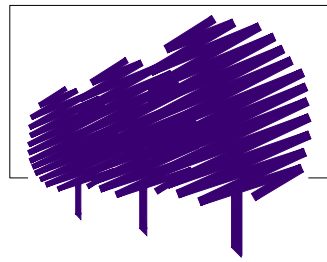
SCALE
NONE



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

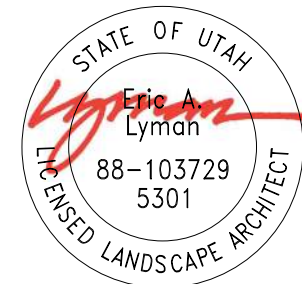
PUMP HOUSE PROJECT WELLS #7, #16 & #17
ELECTRICAL
WELL 7 SITE PHOTOMETRIC PLAN

SHEET
E6.5
207.27.200



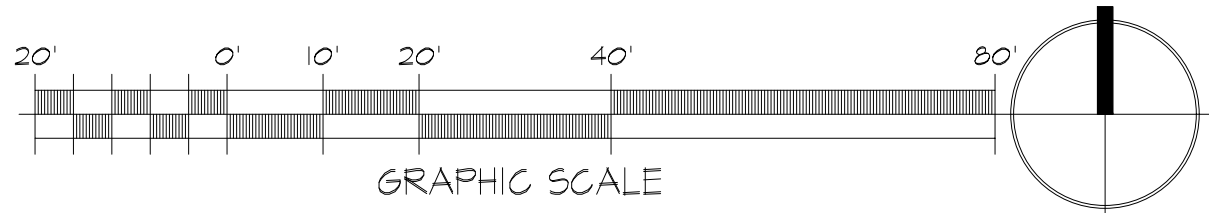
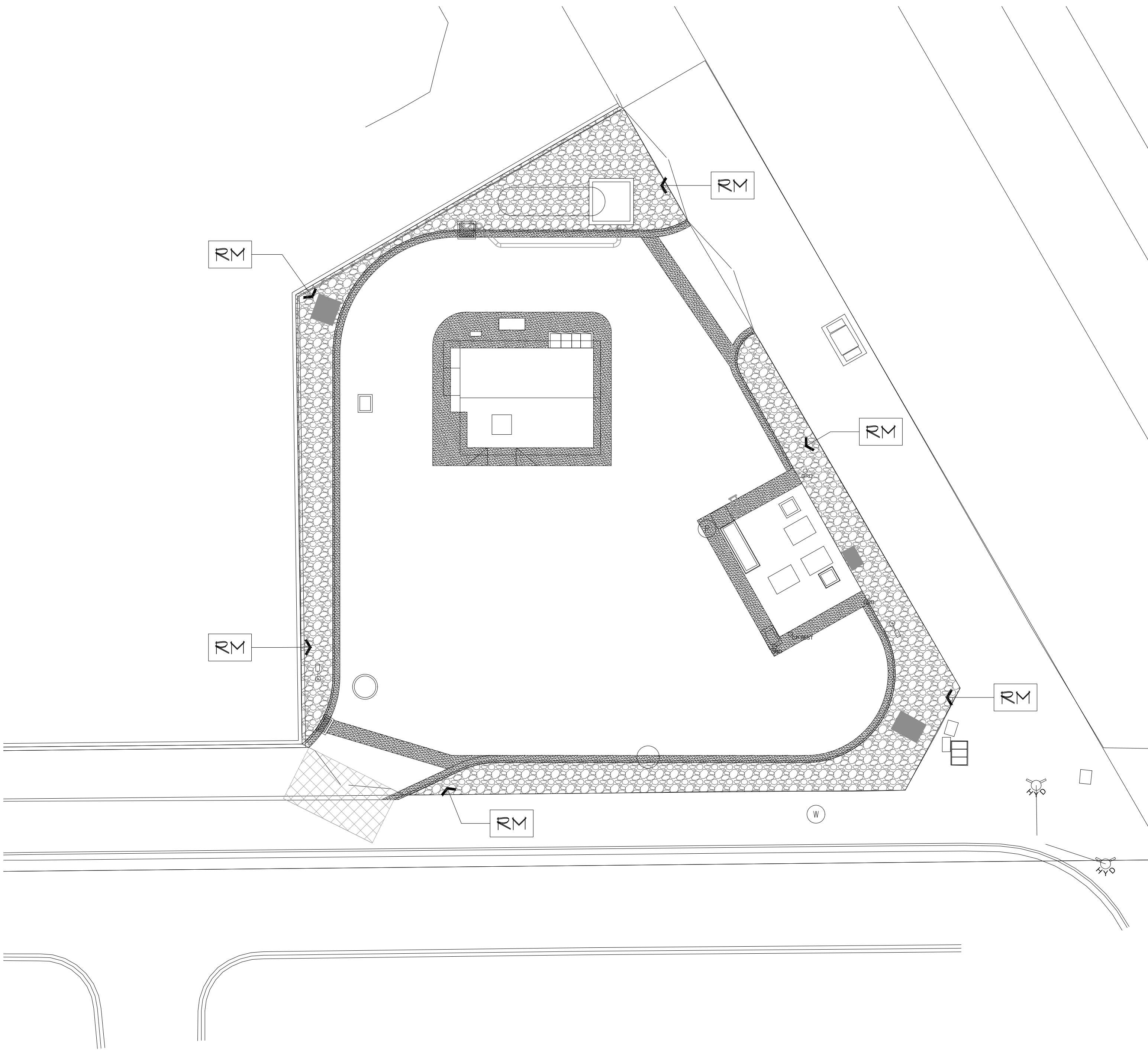
E. A. Lyman
Landscape Architecture
Land Planning
Urban Design

8188 South Highland Dr. - Suite D7
Sandy, Utah 84093
Telephone: 801.943.6564
E-mail: eric@ealyman.com



06/14/2023

MISC	
RM	Install 3" depth 2" washed Southtown Cobble (Utah Landscaping Rock). Install over DeWitt Pro-5 Weed Barrier.
NOTES:	1. See details and specifications for additional information.



FILE NAME:
FILE DATE:

7/04



PROJECT ENGINEER

DESIGNED EAL
DRAFTED
CHECKED EAL
DATE JULY 2023

NO.

DATE

REVISIONS

BY: APVD:

SCALE



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
WELL 7 – LANDSCAPE
LANDSCAPE PLAN

SHEET

L1.1

207.27.200

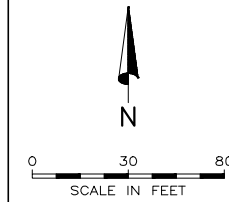
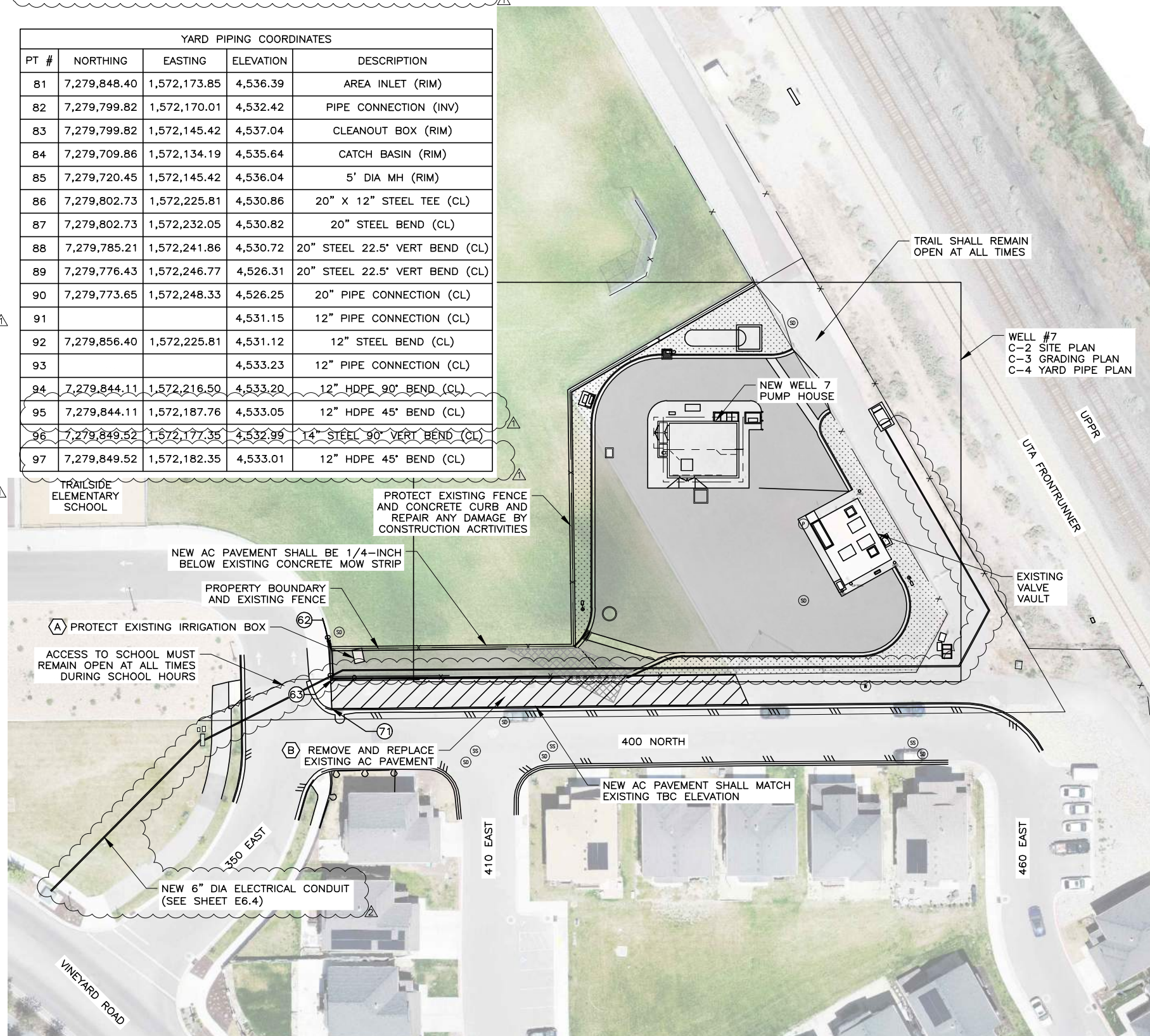
FILE NAME: PROJECTS\207 - CUMSD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\C-1 WELL 7 AREA PLAN.R1.DWG
FILE DATE: 6/2/2023 14:00:23 (JRB)

GRADING PLAN COORDINATES				
PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
21	7,279,782.40	1,572,164.35	4,538.12	EOA
22	7,279,782.40	1,572,174.01	4,538.32	EOA
23	7,279,782.40	1,572,209.35	4,538.32	EOA GB
24	7,279,782.40	1,572,214.35	4,538.22	EOA
25	7,279,787.40	1,572,214.35	4,538.32	EOA GB
26	7,279,815.40	1,572,220.29	4,538.19	EOA
27	7,279,819.90	1,572,220.29	4,538.17	EOA PC, R=5.5'
28	7,279,825.40	1,572,214.79	4,538.21	EOA PT
29	7,279,825.40	1,572,173.85	4,538.22	EOA PC, R=9.5'
30	7,279,815.90	1,572,164.35	4,538.31	EOA PT
31	7,279,815.40	1,572,164.35	4,538.32	EOA GB
32	7,279,797.40	1,572,164.35	4,538.32	EOA GB
33	7,279,782.43	1,572,164.37	4,538.46	TOC
34	7,279,782.43	1,572,174.01	4,538.65	TOC GB
35	7,279,782.43	1,572,209.35	4,538.65	TOC GB
36	7,279,782.43	1,572,214.32	4,538.55	TOC
37	7,279,787.40	1,572,214.32	4,538.65	TOC GB
38	7,279,815.40	1,572,220.27	4,538.19	TOC GB
39	7,279,819.90	1,572,220.27	4,538.17	TOC PC, R=5.5'
40	7,279,825.38	1,572,214.79	4,538.21	TOC PT
41	7,279,825.38	1,572,173.85	4,538.55	TOC PC, R=9.48'
42	7,279,815.90	1,572,164.38	4,538.64	TOC PT
43	7,279,815.40	1,572,164.38	4,538.65	TOC GB
44	7,279,797.40	1,572,164.37	4,538.65	TOC GB
45	7,279,777.40	1,572,164.35	4,538.02	GB
46	7,279,777.40	1,572,214.35	4,538.12	GB
47	7,279,782.40	1,572,219.35	4,538.12	GB
48	7,279,811.20	1,572,220.29	4,538.18	EOA
49	7,279,767.02	1,572,238.42	4,538.36	EOA
50	7,279,780.78	1,572,263.61	4,538.51	EOA
51	7,279,807.20	1,572,248.83	4,537.79	EOA PC, R=10'
52	7,279,820.66	1,572,252.41	4,537.15	EOA PT
53	7,279,821.35	1,572,253.57	4,537.08	EOA
54	7,279,849.65	1,572,236.59	4,536.94	EOA
55	7,279,849.54	1,572,236.40	4,536.95	EOA PC, R=22'
56	7,279,846.40	1,572,225.08	4,537.43	EOA PT
57	7,279,846.40	1,572,171.35	4,537.16	EOA PC, R=33'
58	7,279,813.40	1,572,138.35	4,537.42	EOA PT
59	7,279,777.40	1,572,138.35	4,537.60	EOA GB
60	7,279,723.27	1,572,138.34	4,535.98	EOA PC, R=27'
61	7,279,703.45	1,572,129.67	4,536.30	EOA PT
62	7,279,702.22	1,572,008.44	4,532.34	EOA
63	7,279,688.23	1,572,009.08	4,532.45	EOA
64	7,279,688.81	1,572,149.87	4,536.40	EOA
65	7,279,698.27	1,572,170.25	4,536.29	EOA PC, R=27'
66	7,279,701.22	1,572,182.57	4,536.40	EOA PT
67	7,279,701.22	1,572,268.91	4,537.27	EOA PC, R=23'
68	7,279,735.46	1,572,288.98	4,538.26	EOA PT
69	7,279,742.86	1,572,284.83	4,538.43	EOA
70	7,279,728.98	1,572,259.99	4,537.86	EOA
71	7,279,673.67	1,572,008.55	4,532.46	EOA
72	7,279,813.62	1,572,247.67	4,537.63	EOA GB

GRADING PLAN COORDINATES				
PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
73	7,279,811.20	1,572,214.35	4,538.32	EOA
74	7,279,825.40	1,572,209.35	4,538.21	EOA GB
75	7,279,811.23	1,572,214.33	4,538.65	TOC
76	7,279,811.23	1,572,220.27	4,538.18	TOC
77	7,279,825.38	1,572,209.35	4,538.21	TOC GB

YARD PIPING COORDINATES				
PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
81	7,279,848.40	1,572,173.85	4,536.39	AREA INLET (RIM)
82	7,279,799.82	1,572,170.01	4,532.42	PIPE CONNECTION (INV)
83	7,279,799.82	1,572,145.42	4,537.04	CLEANOUT BOX (RIM)
84	7,279,709.86	1,572,134.19	4,535.64	CATCH BASIN (RIM)
85	7,279,720.45	1,572,145.42	4,536.04	5' DIA MH (RIM)
86	7,279,802.73	1,572,225.81	4,530.86	20" X 12" STEEL TEE (CL)
87	7,279,802.73	1,572,232.05	4,530.82	20" STEEL BEND (CL)
88	7,279,785.21	1,572,241.86	4,530.72	20" STEEL 22.5' VERT BEND (CL)
89	7,279,776.43	1,572,246.77	4,526.31	20" STEEL 22.5' VERT BEND (CL)
90	7,279,773.65	1,572,248.33	4,526.25	20" PIPE CONNECTION (CL)
91			4,531.15	12" PIPE CONNECTION (CL)
92	7,279,856.40	1,572,225.81	4,531.12	12" STEEL BEND (CL)
93			4,533.23	12" PIPE CONNECTION (CL)
94	7,279,844.11	1,572,216.50	4,533.20	12" HDPE 90° BEND (CL)
95	7,279,844.11	1,572,187.76	4,533.05	12" HDPE 45° BEND (CL)
96	7,279,849.52	1,572,177.35	4,532.99	14" STEEL 90° VERT BEND (CL)
97	7,279,849.52	1,572,182.35	4,533.01	12" HDPE 45° BEND (CL)

STRUCTURE COORDINATES				
PT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
11	7,279,793.90	1,572,183.68		CENTER OF WELL
12	7,279,815.40	1,572,209.35	4,538.75	BLD NE CNR
13	7,279,787.41	1,572,209.35	4,538.75	BLD SE CNR
14	7,279,862.90	1,572,220.64	4,526.15	SURGE TANK NE CNR FF
15	7,279,849.90	1,572,220.64	4,526.15	SURGE TANK SE CNR FF



GENERAL NOTES:

1. SEE SHEETS C-2, C-3, AND C-4 FOR COORDINATE POINT LOCATIONS.

KEY NOTES:

- (A) NEW AC PAVEMENT SHALL BE NO MORE THAN 1/4-INCH BELOW THE TOP OF THE EXISTING IRRIGATION BOX.
- (B) NEW AC PAVEMENT SHALL SLOPE FROM EXISTING MOW STRIP TO EXISTING TBC.

Know what's below. **811**
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

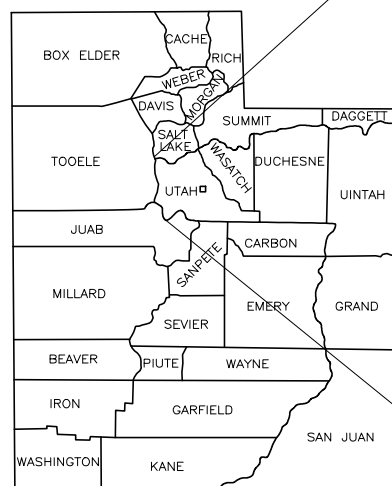


CENTRAL UTAH WATER CONSERVANCY DISTRICT

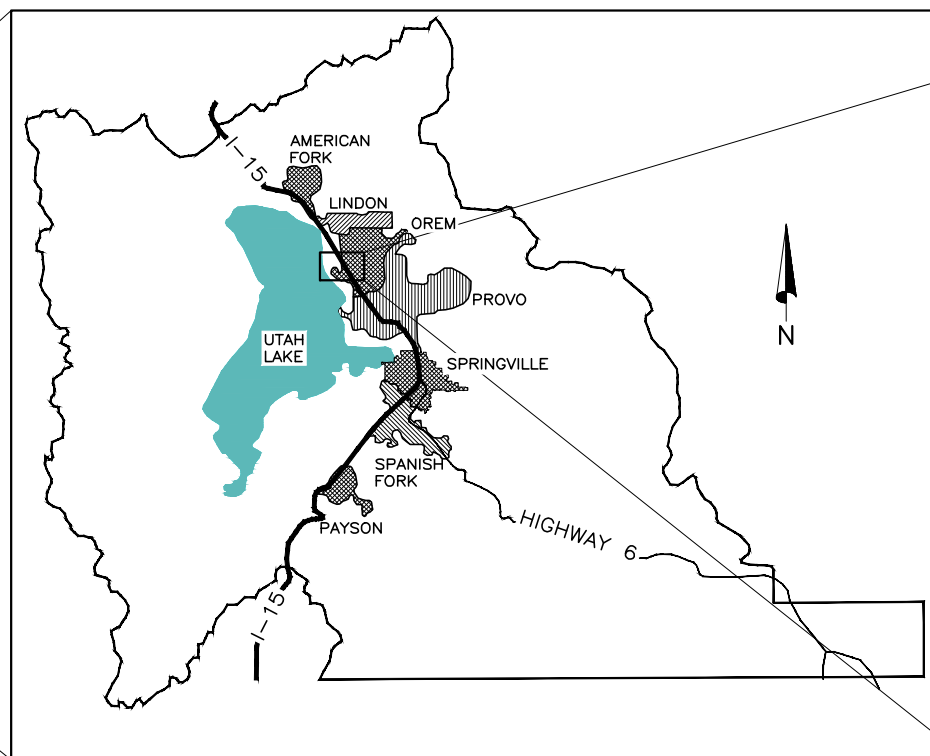
CWP HIGH HEAD WELL PUMP HOUSE PROJECTS

WELLS #7, #16 & #17

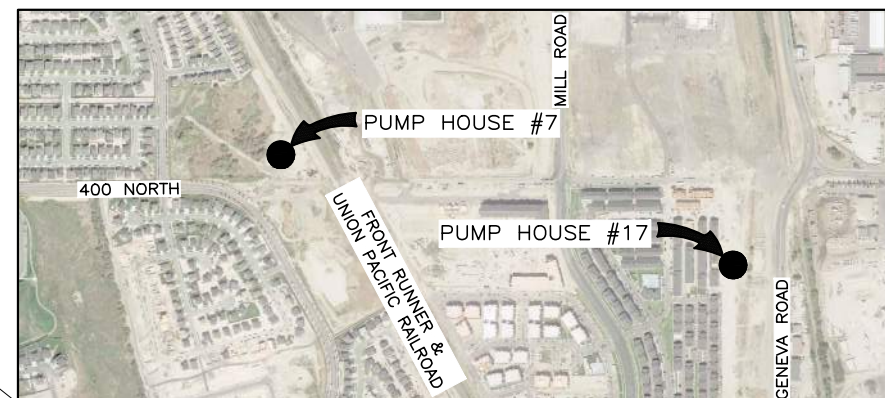
ISSUED FOR BIDDING - MAY 2023



STATE OF UTAH



UTAH COUNTY



PROJECT LOCATIONS



859 W. SOUTH JORDAN PKWY.
STE. 200
SOUTH JORDAN, UTAH 84095
(801) 566-5599

HANSEN, ALLEN & LUCE DESIGN TEAM

MARVIN E. ALLEN, P.E. — PRINCIPAL-IN-CHARGE
MICHAEL M. CHAMBERS, P.E., PMP — PROJECT MANAGER, PROJECT ENGINEER
ROBERT C. CONDER, S.E. — STRUCTURAL ENGINEER
(CONDER ENGINEERING, LLC)

KEITH B. HEGERHORST, P.E. — ELECTRICAL
(HPE, INC. ELECTRICAL ENGINEERS)

TAYLOR GROBERG, P.E. — HVAC
(BLUEFIELD ENGINEERING)

ERIC LYMAN — LANDSCAPE ARCHITECT
(E.A. LYMAN LANDSCAPE ARCHITECT)

JAY R. MCQUIVEY — GEOTECHNICAL
(AGEC, INC.)

ERIK S. LLEWELLYN, P.E. — CATHODIC PROTECTION
(INFINITY CORROSION GROUP, INC.)

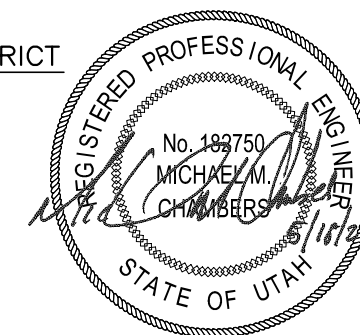
PROJECT ADDRESS

WELL #	ADDRESS
7	APPROX 400 E 400 N VINEYARD, UT
16	APPROX 700 E 1300 N VINEYARD, UT
17	APPROX 800 E 350 N VINEYARD, UT

CENTRAL UTAH WATER CONSERVANCY DISTRICT

SHAUN HILTON, P.E.
PROJECT MANAGER

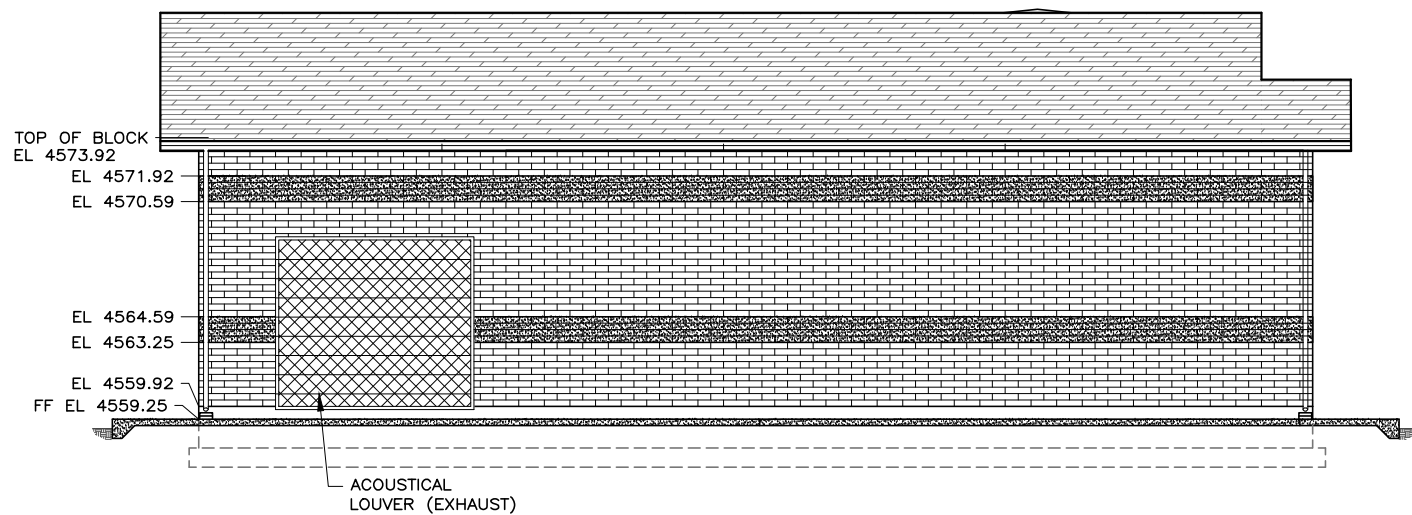
MIKE WHIMPEY, P.E.
CHIEF ENGINEER



**NOTICE INVITING PROPOSALS FOR
PREQUALIFICATION OF CONTRACTORS
CUWCD CWP WELLHOUSES #7, #16, & #17 PROJECT**

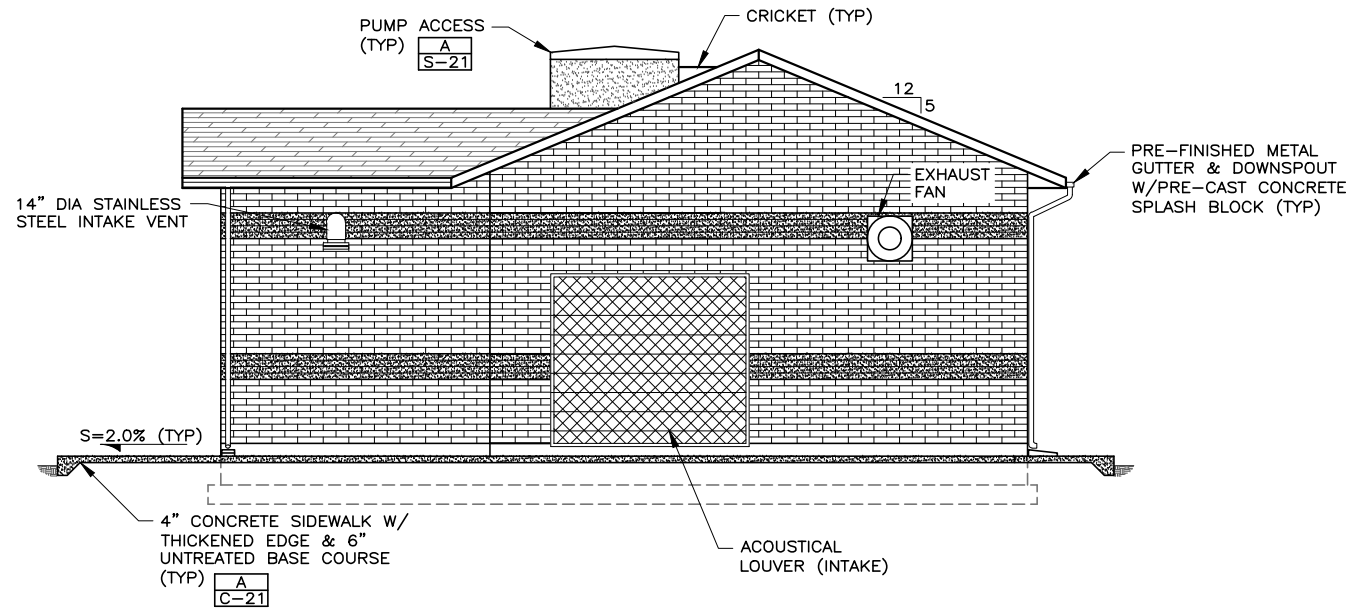
DESCRIPTION OF WORK: The Central Utah Water Conservancy District ("District") is requesting interested general contractors to submit qualifications to be prequalified to construct the CUWCD CWP Wellhouses #7, #16, & #17 Project ("Project"). The Project will consist of the construction of two drinking water well pump houses, consisting of masonry pump houses with asphalt shingle roofs, furnishing and installing 1,250 HP vertical turbine pumps, piping, valving, chlorination equipment, HVAC, surge tank, vaults, electrical, backup power generator, paving, site work, and other associated items. Installation will occur on three separate District owned properties located throughout Vineyard, Utah County, Utah.

FILE NAME: PROJECTS\207 - CUMCD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-2 ELEVATIONS WELL 16.DWG
FILE DATE: 5.9.2023 13:34:02 (CAH)



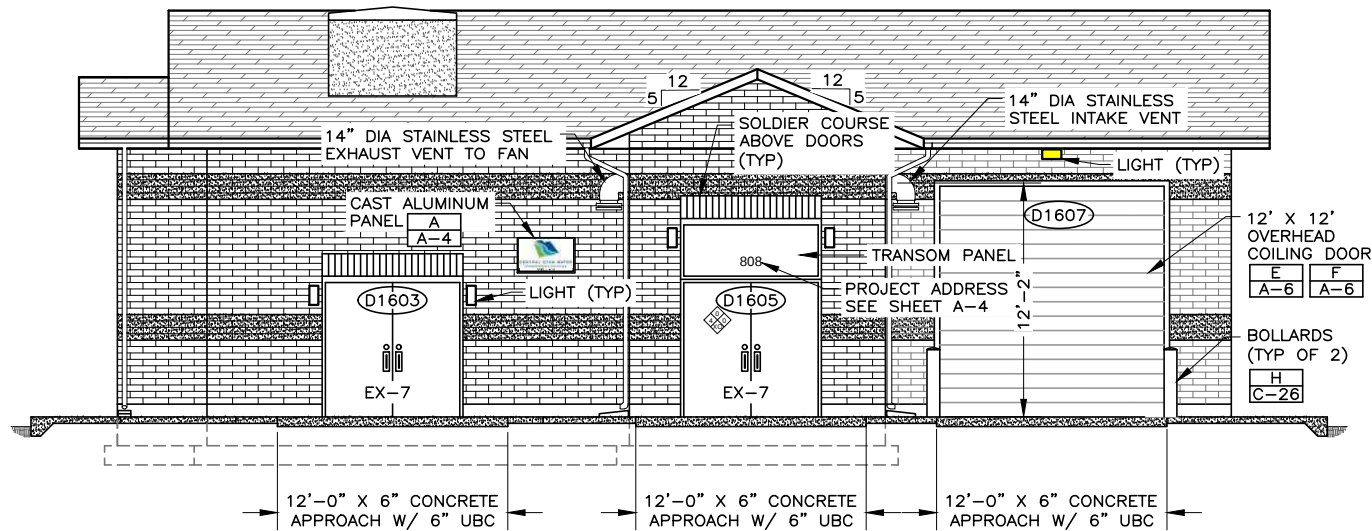
NORTHWEST ELEVATION

1
C-14



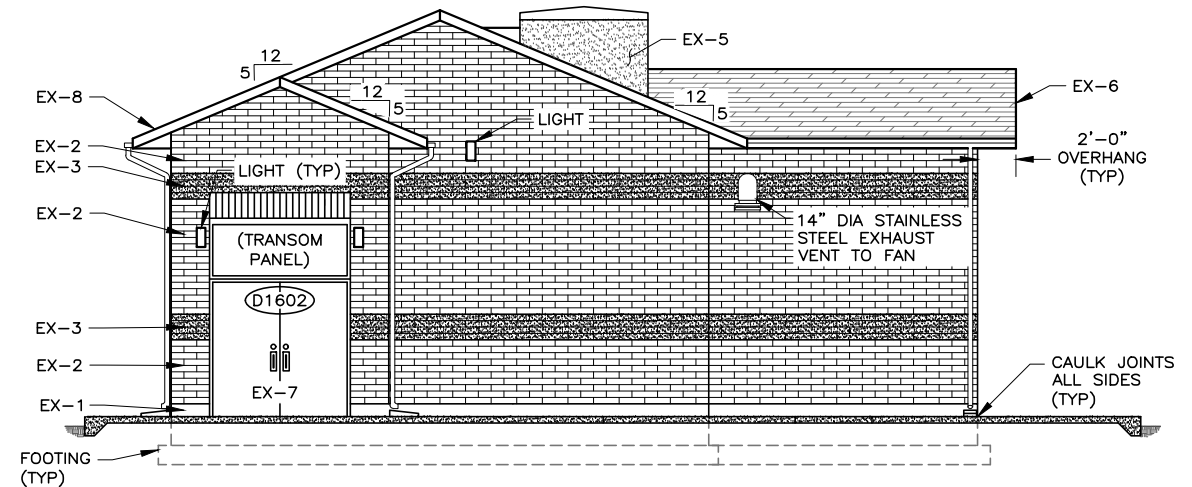
NORTHEAST ELEVATION

2
C-14



SOUTHEAST ELEVATION

3
C-14



SOUTHWEST ELEVATION

4
C-14

0 5 10
SCALE IN FEET

SHEET NOTES:
1. SEE SHEET A-5 FOR FINISH SCHEDULES.
2. ELECTRICAL PANELS, LIGHTING RODS & HVAC EQUIPMENT NOT SHOWN.
PROGRESS PRINT
Not to be used for construction.
Hansen, Allen, & Luce, Inc.
Consultants/Engineers



PROJECT ENGINEER

DESIGNED MMC
DRAFTED BKC CAH
CHECKED MEA
DATE MAY 2023

NO. DATE

REVISIONS

BY APVD.

SCALE
AS SHOWN



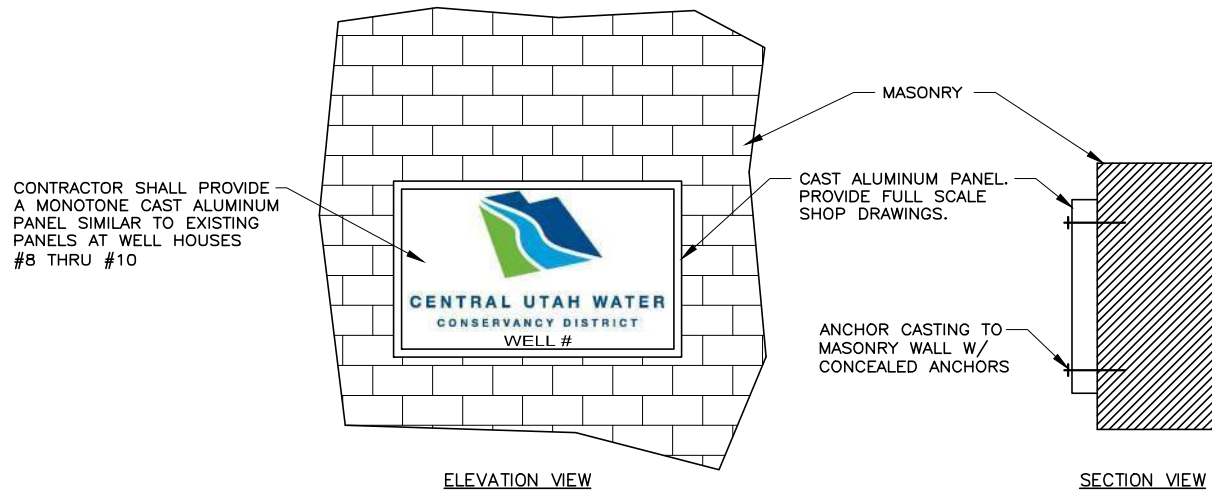
CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
ARCHITECTURAL
WELL #16 ELEVATIONS

SHEET
A-2
207.27.200

FILE NAME: PROJECTS\207 - CUWCD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-4 ARCHITECTURAL SCHEDULES LDWG
FILE DATE: 5.17.2023 15:34:43 (CAH)

7/04



PRE-CAST ALUMINUM DETAIL	A	A	A
	A-1	A-2	A-3

NTS



PROJECT ADDRESS SCHEDULE

WELL #	ADDRESS NUMBER
7	TBD
16	TBD
17	351

* ADDRESS LETTERS TO BE 6" HIGH, 1/4" THICK
POLISHED 304 SS HELVETICA BOLD.

EXTERIOR COLOR SCHEDULE WELL #7

MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	GALV STEEL	-	-	-	FOR EXPOSED GALV STEEL PIPE
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #7

DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D701	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL (AS REQUIRED)
D702	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL (AS REQUIRED) AND SECURITY CARD ACCESS
D703	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	

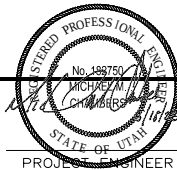
* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #7

LOCATION	MATERIAL	COLOR	REMARKS
FLOOR	CONCRETE	GRAY - EPOXY NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS	GYPSUM, PLYWOOD & ALUCOBOND	WHITE - OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

GENERAL SHEET NOTES:

- SEE TECHNICAL SPECIFICATION SECTION 08 71 00 FOR HARDWARE & SECURITY REQUIREMENTS.
- SEE TECHNICAL SPECIFICATION SECTION 09 90 00 FOR PAINTING AND FINISHES AND SECTION 03 30 00 FOR CONCRETE FINISHES.
- DRYWALL - SMOOTH FINISH LEVEL 5.
- EXTEND FLOOR COATING UP EXPOSED CONCRETE STEM WALL.
- SEE DETAIL C ON SHEET A-7 FOR DOOR TYPE DETAILS.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLES OF BLOCK, SHINGLES, STUCCO, PAINT, RAIN GUTTERS AND DOWNSPOUTS FOR OWNER TO MAKE FINAL COLOR SELECTIONS.



DESIGNED MMC
DRAFTED CAH
CHECKED MEA
DATE MAY 2023

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NO.

DATE

DATE

REVISIONS

BY
APVD.

SCALE
AS SHOWN



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
ARCHITECTURAL
ARCHITECTURAL SCHEDULES - I

SHEET
A-4
207.27.200

FILE NAME: PROJECTS\207 - CUMCO\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-5 ARCHITECTURAL SCHEDULES I.DWG
FILE DATE: 5.17.2023 15:35:20 (CAH)

EXTERIOR COLOR SCHEDULE WELL #16					
MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	MOT USED	—	—	—	
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #16								
DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D1601	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL
D1602	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1603	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	
D1604	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL & 2' X 2' X 3/8" POLYCARBONATE WINDOW
D1605	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1606	3'-0"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓐ [ⓐ] (HDW-2)	PROVIDE HEARING PROTECTION REQUIRED SIGN
D1607	12'-0"	12'-0"	1-3/4"	HOLLOW METAL	OWNER	METAL FABRICATED	Ⓒ [ⓒ]	OVERHEAD COILING DOOR (INSULATED) W/ MOTOR OPERATOR
W-1	2'-0"	2'-0"	3/8"	MTL	—	MTL	—	POLYCARBONATE GLAZING

* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #16			
LOCATION	MATERIAL	COLOR	REMARKS
FLOOR (SEE NOTE 7)	CONCRETE	GRAY – NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS (SEE NOTE 7)	GYPSUM, PLYWOOD & ALUCOBOND	WHITE – OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

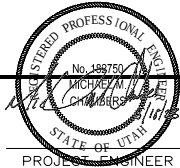
EXTERIOR COLOR SCHEDULE WELL #17					
MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	GALV STEEL	—	—	—	FOR EXPOSED GALV STEEL PIPE
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #17								
DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D1701	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL
D1702	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1703	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	

* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #17			
LOCATION	MATERIAL	COLOR	REMARKS
FLOOR	CONCRETE	GRAY – NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS	GYPSUM, PLYWOOD & ALUCOBOND	WHITE – OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

- GENERAL SHEET NOTES:
- SEE TECHNICAL SPECIFICATION SECTION 08 71 00 FOR HARDWARE & SECURITY REQUIREMENTS.
 - SEE TECHNICAL SPECIFICATION SECTION 09 90 00 FOR PAINTING AND FINISHES AND SECTION 03 30 00 FOR CONCRETE FINISHES.
 - DRYWALL – SMOOTH FINISH LEVEL 5.
 - EXTEND FLOOR COATING UP EXPOSED CONCRETE STEM WALL.
 - SEE DETAIL C ON SHEET A-7 FOR DOOR TYPE DETAILS.
 - CONTRACTOR SHALL PROVIDE COLOR SAMPLES OF BLOCK, SHINGLES, STUCCO, PAINT, RAIN GUTTERS AND DOWNSPOUTS FOR OWNER TO MAKE FINAL COLOR SELECTIONS.
 - CONCRETE FLOORS AND WALLS IN THE CHLORINATION ROOM SHALL BE COATED PER SYSTEM #23.



DESIGNED	MMC
DRAFTED	BKC
CHECKED	MEA
DATE	MAY 2023

3
2
1

NO.

DATE

DATE

REVISIONS

BY

APVD.

SCALE

AS SHOWN

CENTRAL UTAH WATER CONSERVANCY DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
--

ARCHITECTURAL SCHEDULES – II

SHEET A-5

207.27.200

FILE NAME: PROJECTS\207 - CUMSD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\C-6 WELL 16 SITE PLAN_R2.DWG
FILE DATE: 7.8.2023 09:59:43 (JRB)

7/04

TRANSFORMER
AUTOMATIC
TRANSFER SWITCH

PRIMARY METERING EQUIPMENT

8 FT HIGH PRECAST
CONCRETE FENCE AROUND
PROPERTY BOUNDARY

POLE MOUNTED CAMERA

LANDSCAPED AREA (D)

5'-6" X 4" SIDEWALK
W/ THICKENED EDGE
(TYP)

35'-6"

BOLLARD
(TYP OF 2)

MCU-16

21'-11"

24" OVERHANG
(TYP)

METER SOCKET

POLE MOUNTED CAMERA

CU-16 (E)

NEW WELL PUMP
HOUSE #16
FF EL 4559.25

9'-2"

BOLLARD
(TYP OF 5)

4000 GAL AST

NEW SURGE
TANK & VAULT

35'-5"

BOLLARD
(TYP OF 2)

NEW 22' WIDE
ORNAMENTAL
IRON GATE

CURB & GUTTER
APWA PLAN 205
TYPE "A" (TYP)

FUTURE C&G
(BY OTHERS)

TEMPORARY CONSTRUCTION
EASEMENT (SEE SHEET G-6)

TEMPORARY CONSTRUCTION
EASEMENT (SEE SHEET G-6)

EXISTING PROPERTY BOUNDARY

20

16

17

18'-9"

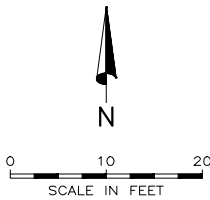
21

33'-3"

ACCESS EASEMENT

25'-2"

F



GENERAL NOTES:

1. SEE SHEET C-5 FOR COORDINATES.
2. EXISTING FILL MATERIAL BENEATH THE SITE IS REGULATED AND WILL BE REMOVED BY OTHERS. WORK IS ANTICIPATED TO BE COMPLETED BY THE END OF JULY 2023. NEW FILL MATERIAL TO BE PLACED AS DEFINED IN SECTION 31 23 23.

KEY NOTES:

- (A) PARKING AREA TO BE 4" THICK ASPHALT WITH 8" ROAD BASE AS SHOWN. PRIOR TO PLACING FILL, SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SECTION 31 23 13 - SUBGRADE PREPARATION. REQUIRED FILL SHALL BE IN ACCORDANCE WITH SECTION 31 23 23 FILL AND BACKFILL OF THE TECHNICAL SPECIFICATIONS.
- (B) INSTALL 6" CONCRETE APPROACH TO BUILDING (APWA PLAN 221) W/ #4 BARS @ 24" OC EW.
- (C) SEE ELECTRICAL SHEETS FOR ELECTRICAL CONNECTION POINTS. REROUTE ELECTRICAL CONDUITS AND EQUIPMENT AS REQUIRED TO INSTALL ELECTRICAL COMPONENTS.
- (D) SEE DRAWING L1.2 FOR LANDSCAPING.
- (E) SEE HVAC SHEETS FOR HVAC EQUIPMENT AND PLACEMENT.
- (F) AREA 18'-9" IN FRONT OF GATE TO BE PAINTED. PLACE "NO PARKING" SIGN ON EACH GATE.

Know what's below. **811**
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



HANSEN
ALLAN &
LUCE
ENGINEERS

DESIGNED	MMC	3	
DRAFTED	JRB	2	07/06/23
CHECKED	MEA	1	06/01/23
DATE	MAY 2023	NO.	DATE

CHANGE ORDER NO. 1
ADDENDUM NO. 1

REVISIONS

JRB MMC
JRB MMC

SCALE
AS SHOWN



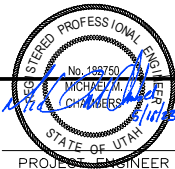
CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
CIVIL
WELL #16 SITE PLAN

SHEET
C-6
207.27.200

FILE NAME: PROJECTS\207 - CUMSD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\C-8 WELL 16 YARD PLAN_R1.DWG
FILE DATE: 6/22/2023 09:59:54 (JRB)

7/04



DESIGNED	MMC	3
DRAFTED	JRB	2
CHECKED	MEA	1
DATE	MAY 2023	NO.

NO.	06/01/23	DATE
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ADDENDUM NO. 1

REVISIONS

JRB	MMC
BY	APVD.

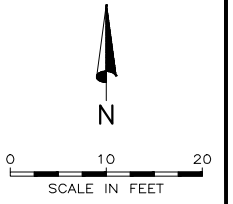
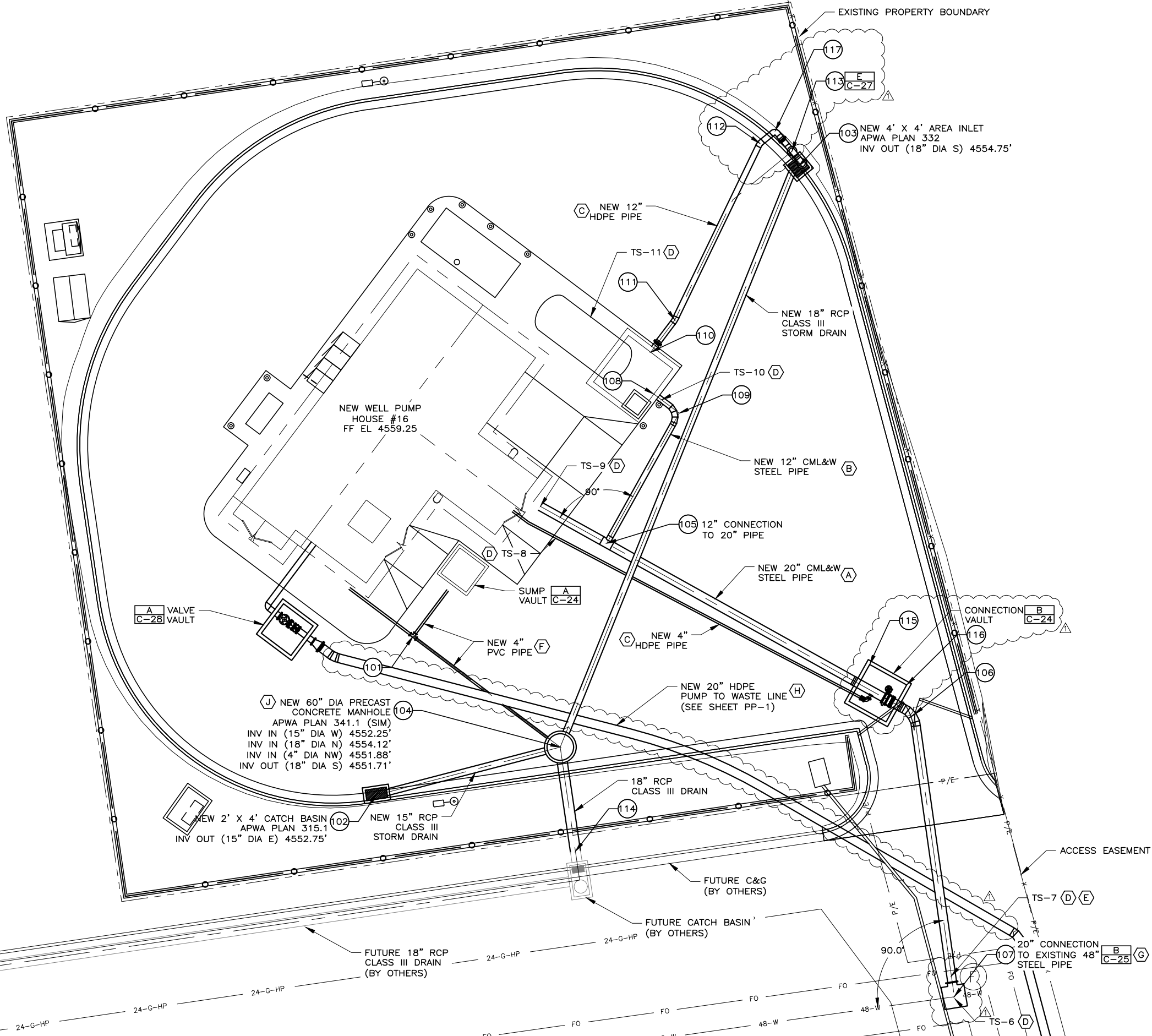
SCALE
AS SHOWN



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
CIVIL
WELL #16 YARD PIPE PLAN

SHEET
C-8
207.27.200



GENERAL NOTES:

- SEE SHEET C-5 FOR COORDINATES.
- PROVIDE JOINT RESTRAINTS ON ALL PRESSURE PIPES, VALVES, AND FITTINGS (SEE SPECIFICATIONS FOR TYPES ALLOWED).
- MAINTAIN ELECTRICAL ISOLATION BETWEEN NEW STEEL PIPING AND STEEL VAULT REINFORCEMENT.

KEY NOTES:

- (A) NEW 20-INCH CML&W WITH CEMENT OVERCOAT STEEL PIPE SHALL BE 3/8" MIN WALL THICKNESS.
- (B) NEW 12-INCH CML&W WITH CEMENT OVERCOAT STEEL PIPE SHALL BE 3/8" MIN WALL THICKNESS.
- (C) NEW 4-INCH HDPE PIPE SHALL BE DR9.
- (D) CATHODIC PROTECTION (SEE TEST SCHEDULE ON SHEET CP-1)
- (E) ADD INSULATING FLANGE KIT BETWEEN NEW AND EXISTING PIPE.
- (F) NEW 4-INCH PVC PIPE SHALL BE C-900 DR25.
- (G) COORDINATE W/ CUWCD ON 48" PIPE SHUTDOWN.
- (H) NEW 20-INCH HDPE PIPE SHALL BE DR15.5.
- (J) SOLID WALL MANHOLE SECTIONS TO EL 4551.00 AND PERFORATED MANHOLE SECTIONS TO EL 4546.0





H.P.E. INC. ELECTRICAL ENGINEERS
POWER SYSTEMS, CONTROL & INSTRUMENTATION SYSTEMS (801) 642-2051
HEGERHORST POWER ENGINEERING INCORPORATED 708 EAST 50 SOUTH AMERICAN FORK, UT 84003 FAX (801) 642-2154
HPE PROJECT 20.111 © 2023
FOR INFORMATION ABOUT THIS JOB, PLEASE CONTACT: KEITH HEGERHORST

GENERAL NOTES:

1. NOT USED.

SHEET KEYNOTES:

1. NOT USED.

FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER		FIX VA	LAMP	MOUNTING	NOTES:
		NAME	CATALOG NO.				
F3	LED WALL MOUNTED 6-INCH OPEN CYLINDER 22-DEG BEAM SPREAD, 120 VOLT, BRONZE FINISH	INFINIUM	SPC0609LEDLE-14W-41K-MD-E1-F5-5045-SCBA-WM-BZ	14	FURNISHED	WALL	ALL DOOR LIGHTS ARE F3 MOUNTED AT 10'



FILE NAME:
FILE DATE:
7/04



**HANSEN
ALLEN
& LOCE**
ENGINEERS

PROJECT ENGINEER

DESIGNED KBH
DRAFTED KBH
CHECKED KBH
DATE MAY 2023

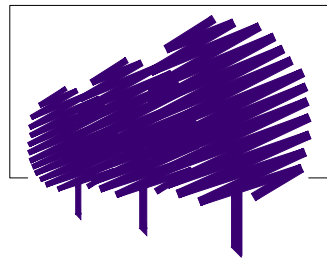
SCALE
NONE



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

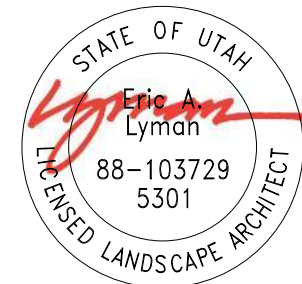
PUMP HOUSE PROJECT WELLS #7, #16 & #17
ELECTRICAL
WELL 16 SITE PHOTOMETRIC PLAN

SHEET
E7.5
207.27.200



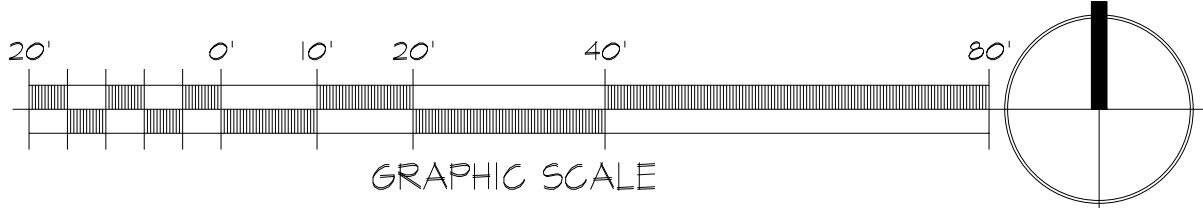
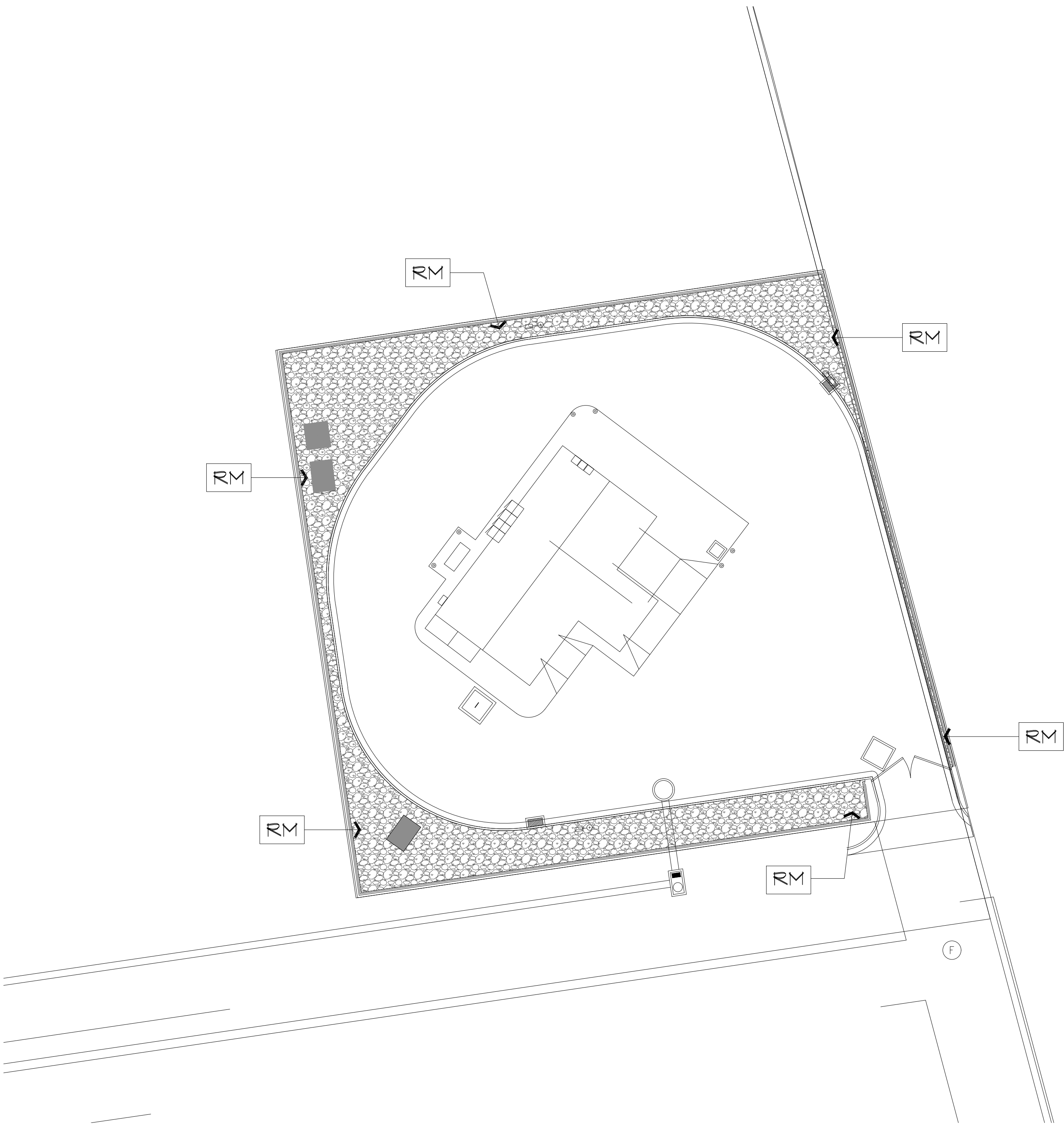
E. A. Lyman
Landscape Architecture
Land Planning
Urban Design

8188 South Highland Dr. - Suite D7
Sandy, Utah 84093
Telephone: 801.943.6564
E-mail: eric@ealyman.com



06/14/2023

MISC	
RM	Install 3" depth 2" washed Southtown Cobble (Utah Landscaping Rock). Install over DeWitt Pro-5 Weed Barrier.
NOTES:	1. See details and specifications for additional information.



FILE NAME:
FILE DATE:

7/04



PROJECT ENGINEER

DESIGNED EAL
DRAFTED
CHECKED EAL
DATE JULY 2023

NO.

DATE

REVISIONS

BY

APVD.

SCALE



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
WELL 16 - LANDSCAPE
LANDSCAPE PLAN

SHEET

L1.2

207.27.200

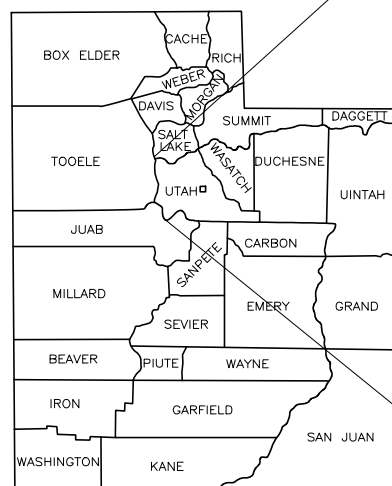


CENTRAL UTAH WATER CONSERVANCY DISTRICT

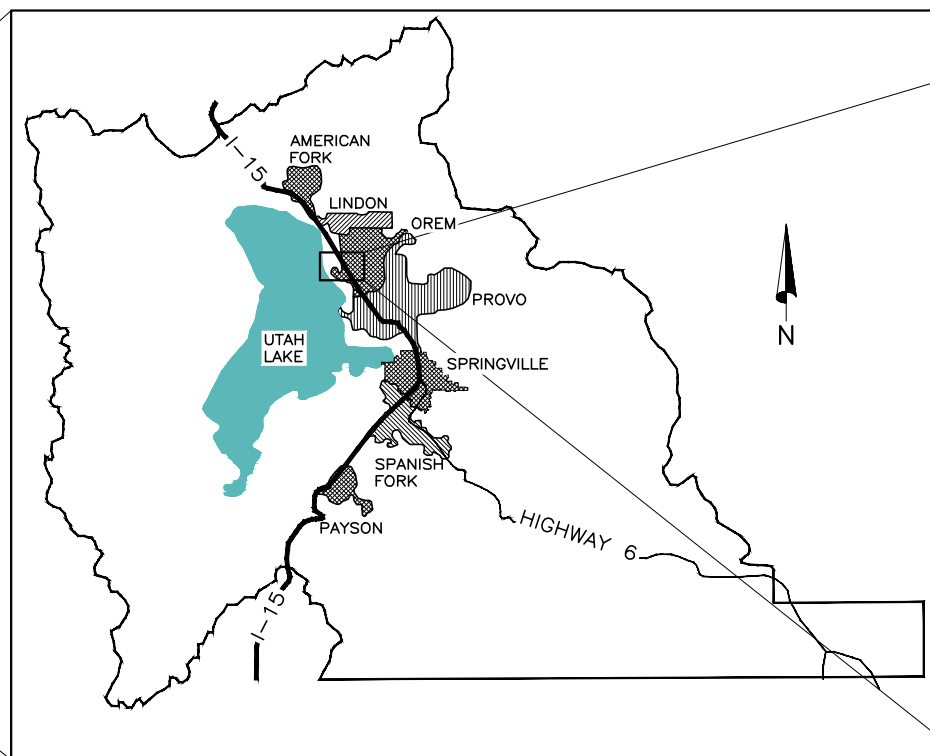
CWP HIGH HEAD WELL PUMP HOUSE PROJECTS

WELLS #7, #16 & #17

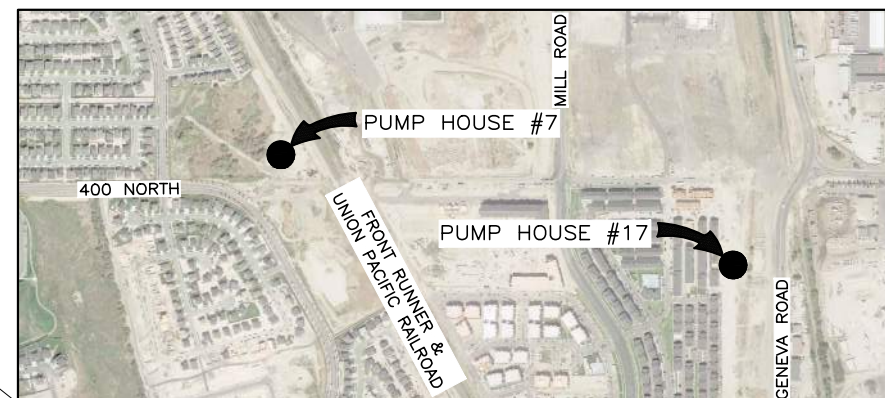
ISSUED FOR BIDDING - MAY 2023



STATE OF UTAH



UTAH COUNTY



PROJECT LOCATIONS

HANSEN, ALLEN & LUCE DESIGN TEAM

MARVIN E. ALLEN, P.E. — PRINCIPAL-IN-CHARGE
MICHAEL M. CHAMBERS, P.E., PMP — PROJECT MANAGER, PROJECT ENGINEER
ROBERT C. CONDER, S.E. — STRUCTURAL ENGINEER
(CONDER ENGINEERING, LLC)

KEITH B. HEGERHORST, P.E. — ELECTRICAL
(HPE, INC. ELECTRICAL ENGINEERS)

TAYLOR GROBERG, P.E. — HVAC
(BLUEFIELD ENGINEERING)

ERIC LYMAN — LANDSCAPE ARCHITECT
(E.A. LYMAN LANDSCAPE ARCHITECT)

JAY R. MCQUIVEY — GEOTECHNICAL
(AGEC, INC.)

ERIK S. LLEWELLYN, P.E. — CATHODIC PROTECTION
(INFINITY CORROSION GROUP, INC.)

PROJECT ADDRESS

WELL #	ADDRESS
7	APPROX 400 E 400 N VINEYARD, UT
16	APPROX 700 E 1300 N VINEYARD, UT
17	APPROX 800 E 350 N VINEYARD, UT

CENTRAL UTAH WATER CONSERVANCY DISTRICT

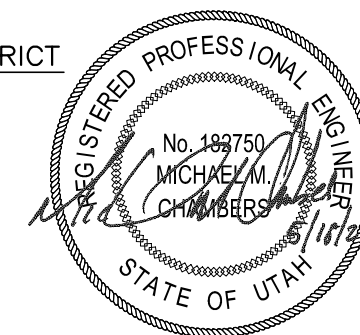
SHAUN HILTON, P.E.
PROJECT MANAGER

MIKE WHIMPEY, P.E.
CHIEF ENGINEER



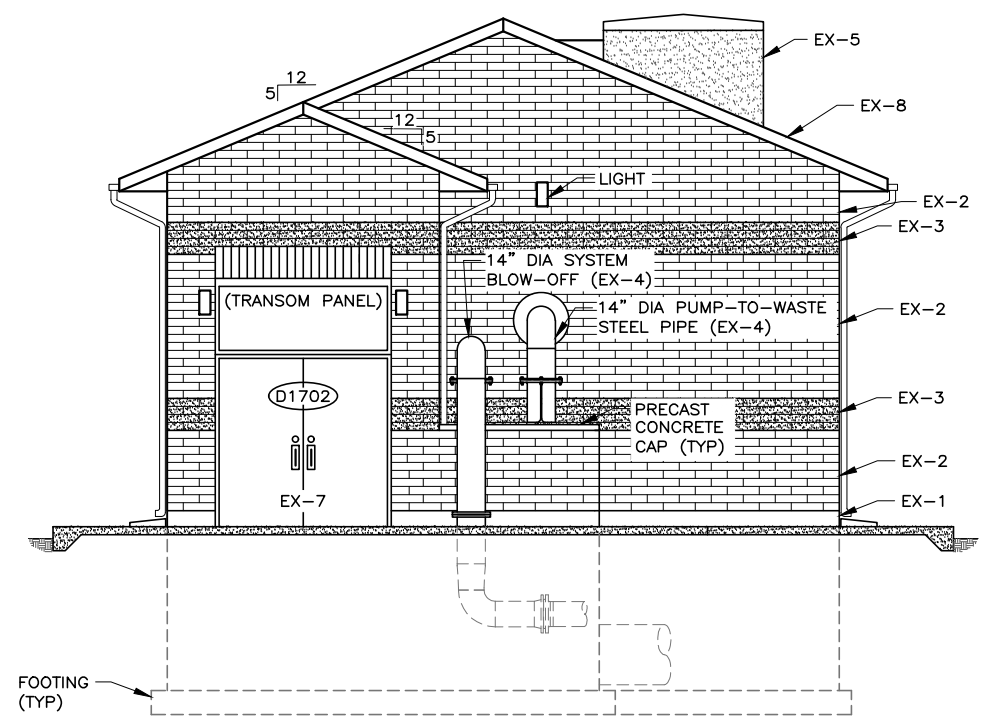
**HANSEN
ALLEN
& LUCE**
ENGINEERS

859 W. SOUTH JORDAN PKWY.
STE. 200
SOUTH JORDAN, UTAH 84095
(801) 566-5599

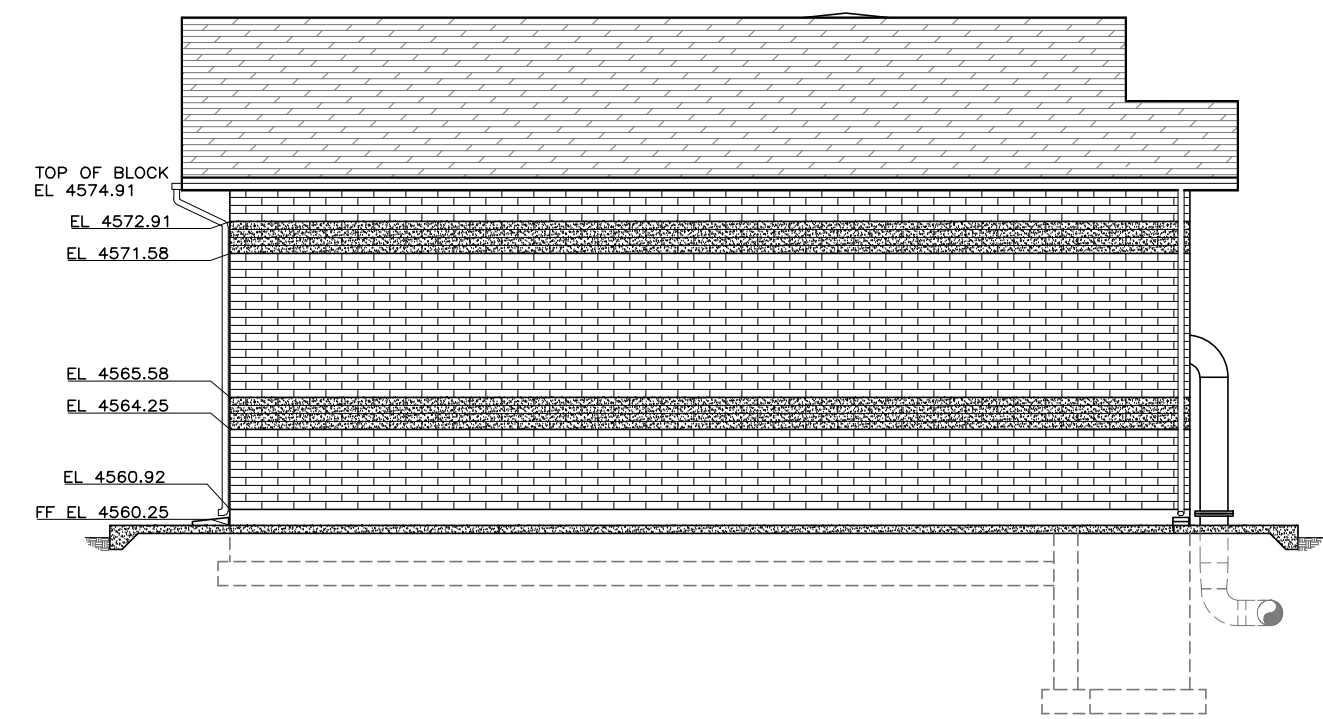


**NOTICE INVITING PROPOSALS FOR
PREQUALIFICATION OF CONTRACTORS
CUWCD CWP WELLHOUSES #7, #16, & #17 PROJECT**

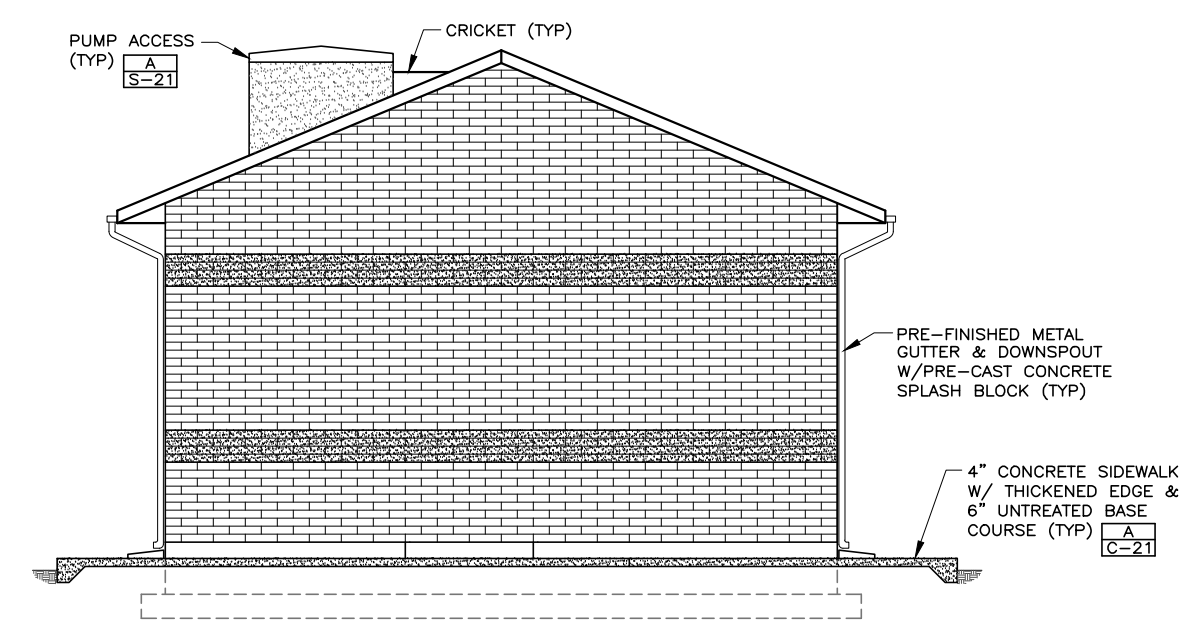
DESCRIPTION OF WORK: The Central Utah Water Conservancy District ("District") is requesting interested general contractors to submit qualifications to be prequalified to construct the CUWCD CWP Wellhouses #7, #16, & #17 Project ("Project"). The Project will consist of the construction of two drinking water well pump houses, consisting of masonry pump houses with asphalt shingle roofs, furnishing and installing 1,250 HP vertical turbine pumps, piping, valving, chlorination equipment, HVAC, surge tank, vaults, electrical, backup power generator, paving, site work, and other associated items. Installation will occur on three separate District owned properties located throughout Vineyard, Utah County, Utah.



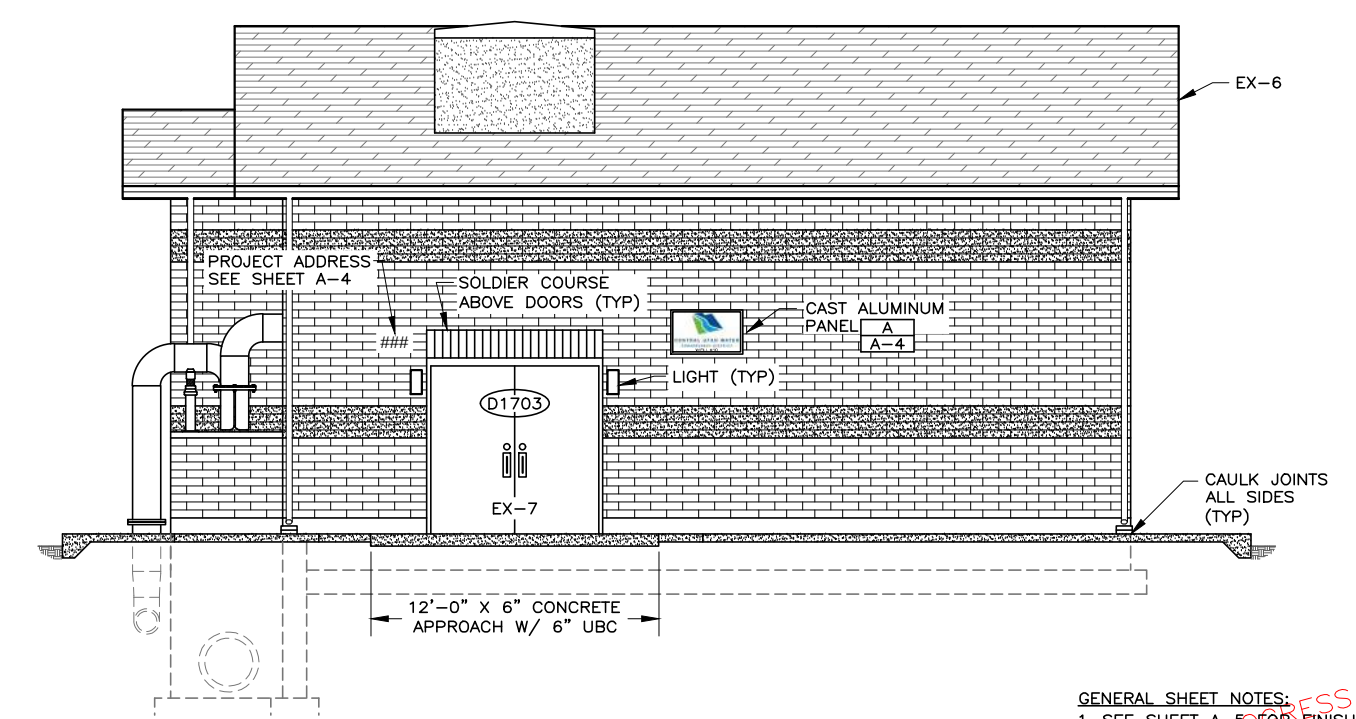
NORTH ELEVATION 1
C-15



EAST ELEVATION 4
C-15



SOUTH ELEVATION 3
C-15



WEST ELEVATION 2
C-15

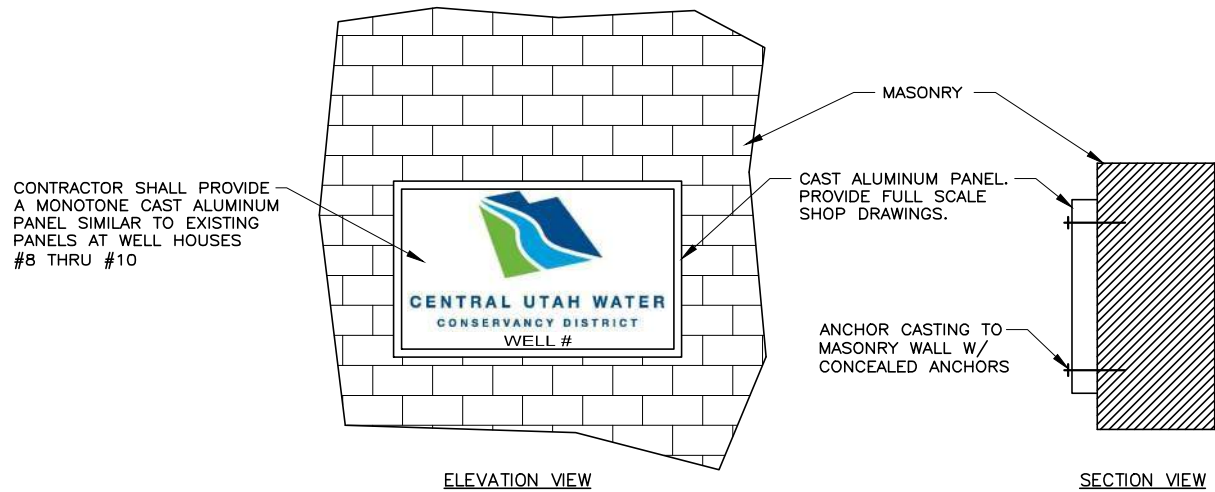
GENERAL SHEET NOTES:
1. SEE SHEET A-5 FOR FINISH SCHEDULES.
2. ELECTRICAL PANELS, LIGHTING RODS & HVAC EQUIPMENT NOT SHOWN.
5.9.2023
Not to be used for construction.
Hansen, Allen & Luce, Inc.
Consultants/Engineers

FILE NAME: PROJECTS\207 - CUMCD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-3 ELEVATIONS WELL 17.DWG
FILE DATE: 5.9.2023 13:36:55 (CAH)
7/04

HANSEN ALLEN & LUCE ENGINEERS	PROJECT ENGINEER	DESIGNED MMC DRAFTED CAH CHECKED MEA DATE MAY 2023	3 2 1	NO. DATE	REVISIONS	BY APVD.	SCALE AS SHOWN		CENTRAL UTAH WATER CONSERVANCY DISTRICT	PUMP HOUSE PROJECT WELLS #7, #16 & #17 ARCHITECTURAL WELL #17 ELEVATIONS	SHEET A-3 207.27.200
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FILE NAME: PROJECTS\207 - CUWCD\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-4 ARCHITECTURAL SCHEDULES LDWG
FILE DATE: 5.17.2023 15:34:43 (CAH)

7/04



PRE-CAST ALUMINUM DETAIL	A	A	A
	A-1	A-2	A-3

NTS



PROJECT ADDRESS SCHEDULE	
WELL #	ADDRESS NUMBER
7	TBD
16	TBD
17	351

* ADDRESS LETTERS TO BE 6" HIGH, 1/4" THICK
POLISHED 304 SS HELVETICA BOLD.

EXTERIOR COLOR SCHEDULE WELL #7

MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	GALV STEEL	-	-	-	FOR EXPOSED GALV STEEL PIPE
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #7

DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D701	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL (AS REQUIRED)
D702	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	DOOR WITH TRANSOM PANEL (AS REQUIRED) AND SECURITY CARD ACCESS
D703	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ _(HDW-1)	

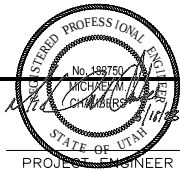
* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #7

LOCATION	MATERIAL	COLOR	REMARKS
FLOOR	CONCRETE	GRAY - EPOXY NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS	GYPSUM, PLYWOOD & ALUCOBOND	WHITE - OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

GENERAL SHEET NOTES:

- SEE TECHNICAL SPECIFICATION SECTION 08 71 00 FOR HARDWARE & SECURITY REQUIREMENTS.
- SEE TECHNICAL SPECIFICATION SECTION 09 90 00 FOR PAINTING AND FINISHES AND SECTION 03 30 00 FOR CONCRETE FINISHES.
- DRYWALL - SMOOTH FINISH LEVEL 5.
- EXTEND FLOOR COATING UP EXPOSED CONCRETE STEM WALL.
- SEE DETAIL C ON SHEET A-7 FOR DOOR TYPE DETAILS.
- CONTRACTOR SHALL PROVIDE COLOR SAMPLES OF BLOCK, SHINGLES, STUCCO, PAINT, RAIN GUTTERS AND DOWNSPOUTS FOR OWNER TO MAKE FINAL COLOR SELECTIONS.



DESIGNED MMC
DRAFTED CAH
CHECKED MEA
DATE MAY 2023

3
2
1
NO.

DATE

DATE

REVISIONS

BY APVD.

SCALE
AS
SHOWN



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
ARCHITECTURAL
ARCHITECTURAL SCHEDULES - I

SHEET
A-4
207.27.200

FILE NAME: PROJECTS\207 - CUMCO\27.200 - WELL HOUSE 7 & 16 & 17\CAD\A-5 ARCHITECTURAL SCHEDULES I.DWG
FILE DATE: 5.17.2023 15:35:20 (CAH)

EXTERIOR COLOR SCHEDULE WELL #16					
MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	MOT USED	—	—	—	
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #16								
DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D1601	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL
D1602	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1603	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	
D1604	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL & 2' X 2' X 3/8" POLYCARBONATE WINDOW
D1605	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1606	3'-0"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓐ [ⓐ] (HDW-2)	PROVIDE HEARING PROTECTION REQUIRED SIGN
D1607	12'-0"	12'-0"	1-3/4"	HOLLOW METAL	OWNER	METAL FABRICATED	Ⓒ [ⓒ]	OVERHEAD COILING DOOR (INSULATED) W/ MOTOR OPERATOR
W-1	2'-0"	2'-0"	3/8"	MTL	—	MTL	—	POLYCARBONATE GLAZING

* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #16			
LOCATION	MATERIAL	COLOR	REMARKS
FLOOR (SEE NOTE 7)	CONCRETE	GRAY – NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS (SEE NOTE 7)	GYPSUM, PLYWOOD & ALUCOBOND	WHITE – OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

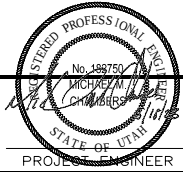
EXTERIOR COLOR SCHEDULE WELL #17					
MARK	MATERIAL	MANUFACTURER	FINISH	COLOR	REMARKS
EX-1	CONCRETE	GEN CONTR	STONE RUB	NATURAL	
EX-2	ATLAS BRICK	INTERSTATE	SMOOTH	OWNER	8"W X 4"H X 16"L
EX-3	ATLAS BRICK	INTERSTATE	SCRATCH	OWNER	8"W X 4"H X 16"L
EX-4	GALV STEEL	—	—	—	FOR EXPOSED GALV STEEL PIPE
EX-5	STUCCO	DRYVIT	SANDBLAST	OWNER	
EX-6	ASPH SHINGLES	GAF	TIMBER LINE	OWNER	ARCHITECTURAL SERIES
EX-7	EXT PAINT	SHERWIN WILLIAMS	SEMI-GLOSS	OWNER	DOORS AND FRAMES
EX-8	ALUMINUM	HICKMAN	PRE-FINISHED	OWNER	FASCIA/SOFFIT ALCOA ALUMAX (OR APPROVED EQUAL)

DOOR / WINDOW SCHEDULE WELL #17								
DOOR NUMBER	DOOR / WINDOW SIZE			DOOR MATERIAL	COLOR	FRAME MATERIAL	DOOR TYPE (SEE NOTE 5) HARDWARE SET	REMARKS
	WIDTH	HEIGHT	THICK					
D1701	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL
D1702	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	DOOR WITH TRANSOM PANEL AND SECURITY CARD ACCESS
D1703	3'-6"	7'-0"	1-3/4"	HOLLOW METAL	OWNER	HOLLOW METAL (INSULATED)	Ⓑ [ⓑ] (HDW-1)	

* CONTRACTOR TO MATCH DOOR FRAME HEIGHT TO BLOCK LAYOUT

INTERIOR PAINTING SCHEDULE WELL #17			
LOCATION	MATERIAL	COLOR	REMARKS
FLOOR	CONCRETE	GRAY – NONSKID	SYSTEM #21 (SEE NOTE 4)
WALLS	GYPSUM, PLYWOOD & ALUCOBOND	WHITE – OWNER SELECT	ALUCOBOND PANEL HEIGHT TO BE 8'-0" (SEE NOTE 3 FOR DRYWALL) GYPSUM SYSTEM #115, WOOD SYSTEM #102
CEILING	GYPSUM	WHITE	GYPSUM SYSTEM #115 (SEE NOTE 3)
PIPING	METAL	WASSER WISCONSIN BLUE	EXPOSED PIPE, VALVES & FITTINGS TO BE PAINTED LINING SYSTEM #1, COATING SYSTEM #6
PUMP DISCHARGE HEAD	METAL	WASSER WISCONSIN BLUE	ALL EXPOSED SURFACES TO BE PAINTED SYSTEM #6

- GENERAL SHEET NOTES:
- SEE TECHNICAL SPECIFICATION SECTION 08 71 00 FOR HARDWARE & SECURITY REQUIREMENTS.
 - SEE TECHNICAL SPECIFICATION SECTION 09 90 00 FOR PAINTING AND FINISHES AND SECTION 03 30 00 FOR CONCRETE FINISHES.
 - DRYWALL – SMOOTH FINISH LEVEL 5.
 - EXTEND FLOOR COATING UP EXPOSED CONCRETE STEM WALL.
 - SEE DETAIL C ON SHEET A-7 FOR DOOR TYPE DETAILS.
 - CONTRACTOR SHALL PROVIDE COLOR SAMPLES OF BLOCK, SHINGLES, STUCCO, PAINT, RAIN GUTTERS AND DOWNSPOUTS FOR OWNER TO MAKE FINAL COLOR SELECTIONS.
 - CONCRETE FLOORS AND WALLS IN THE CHLORINATION ROOM SHALL BE COATED PER SYSTEM #23.



DESIGNED	MMC
DRAFTED	BKC
CHECKED	MEA
DATE	MAY 2023

3
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1

NO.

DATE

DATE

REVISIONS

BY

APVD.

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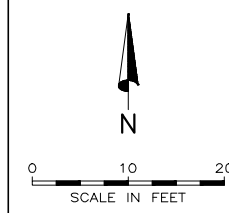
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SHOWN



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
ARCHITECTURAL
ARCHITECTURAL SCHEDULES – II

SHEET
A-5
207.27.200



1. SEE SHEET C-9 FOR COORDINATES.
2. PROVIDE JOINT RESTRAINTS ON ALL PRESSURE PIPES, VALVES, AND FITTINGS (SEE SPECIFICATIONS FOR TYPES ALLOWED).
3. MAINTAIN ELECTRICAL ISOLATION BETWEEN NEW STEEL PIPING AND STEEL VAULT REINFORCEMENT.
4. WORK BY OTHERS IS ANTICIPATED TO BE COMPLETED FROM MARCH 2024 THROUGH AUGUST 2024. CONTRACTOR SHALL COORDINATE WITH UTILITY CONTRACTOR TO ALLOW ACCESS AND ADEQUATE CLEARANCE FOR INSTALLATION OF THESE UTILITIES.

- A** NEW 20-INCH CML&W WITH CEMENT OVERCOAT STEEL PIPE SHALL BE 3/8" MIN WALL THICKNESS.
- B** NEW 12-INCH CML&W WITH CEMENT OVERCOAT STEEL PIPE SHALL BE 3/8" MIN WALL THICKNESS.
- C** NEW 12-INCH HDPE PIPE SHALL BE DR9.
- D** CATHODIC PROTECTION (SEE TEST SCHEDULE ON SHEET CP-1)
- E** CONNECT TO THE 20-INCH PIPE INSTALLED BY OTHERS WITH A BUTT-STRAP. FIELD CUT PIPE AS NEEDED TO MAKE CONNECTION.



7/04
FILE NAME:
FILE DATE:



PROJECT ENGINEER

DESIGNED	KBH
DRAFTED	KBH
CHECKED	KBH
DATE	MAY 2023

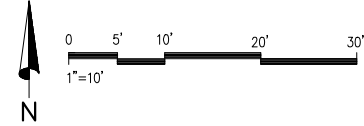
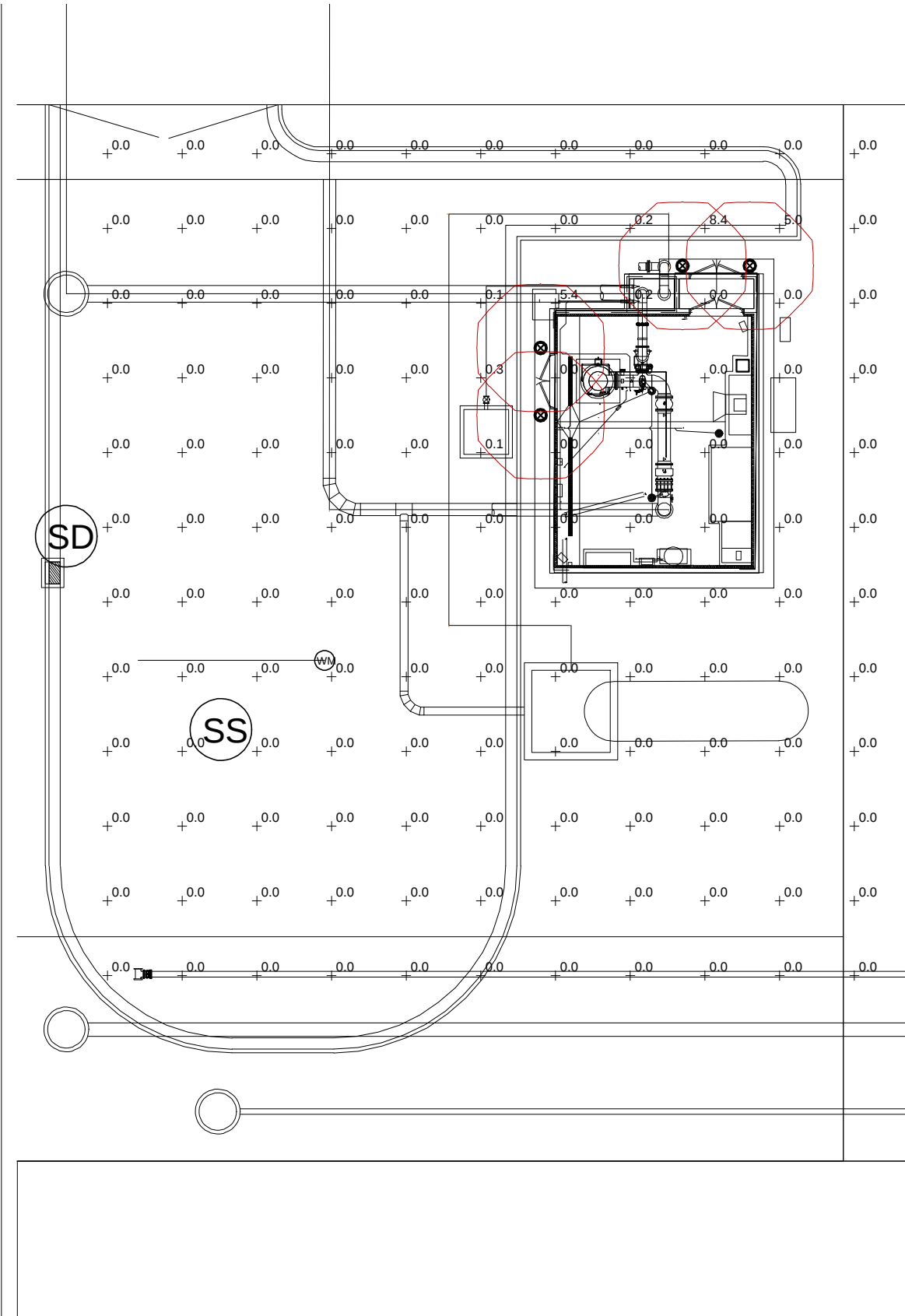
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CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
ELECTRICAL
WELL 17 SITE PHOTOMETRIC PLAN

SHEET
E8.5
207.27.200



H.P.E. INC. ELECTRICAL ENGINEERS
POWER SYSTEMS, CONTROL & INSTRUMENTATION SYSTEMS (801) 642-2051
HEGERHORST POWER ENGINEERING INCORPORATED 708 EAST 50 SOUTH FAX (801) 642-2154
AMERICAN FORK, UT 84003
HPE PROJECT 20.111 © 2023
FOR INFORMATION ABOUT THIS JOB, PLEASE CONTACT: KEITH HEGERHORST

GENERAL NOTES:

1. NOT USED.

SHEET KEYNOTES:

1. NOT USED.

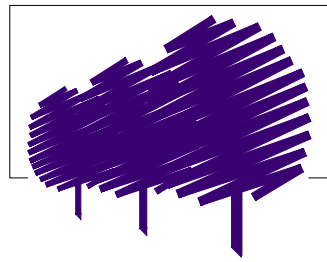
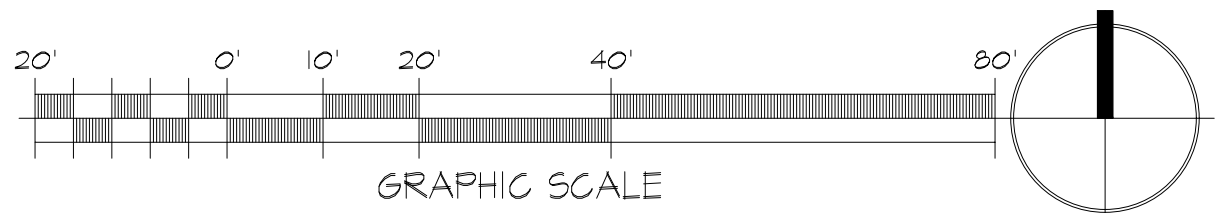
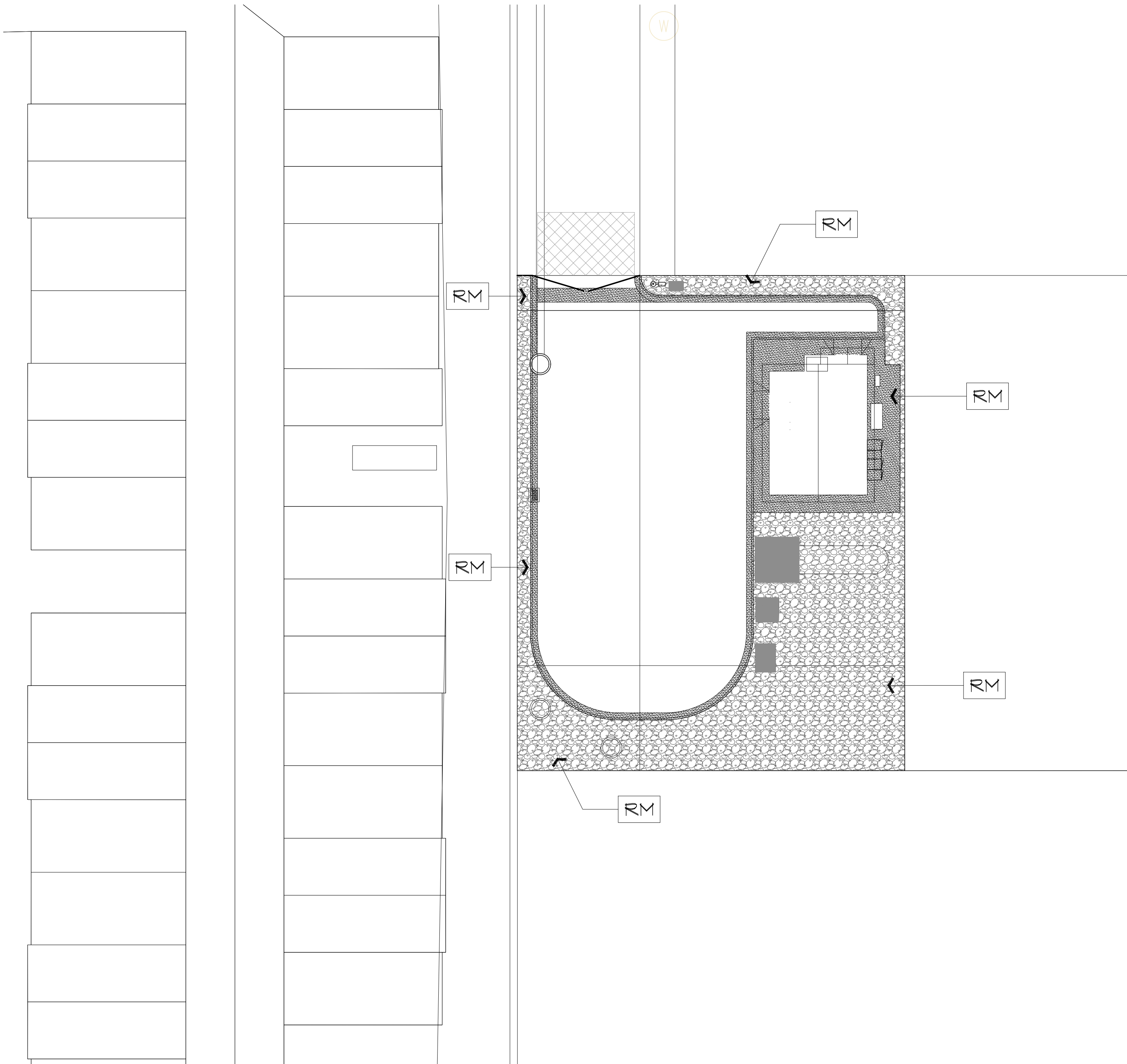
FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER		FIX VA	LAMP	MOUNTING	NOTES:
		NAME	CATALOG NO.				
F3	LED WALL MOUNTED 6-INCH OPEN CYLINDER 22-DEG BEAM SPREAD, 120 VOLT, BRONZE FINISH	INFINITIUM	SPC0609LEDLE-14W-41K-MD-E1-FS-5045-SCBA-WM-BZ	14	FURNISHED	WALL	ALL DOOR LIGHTS ARE F3 MOUNTED AT 10'

FILE NAME:
FILE DATE:

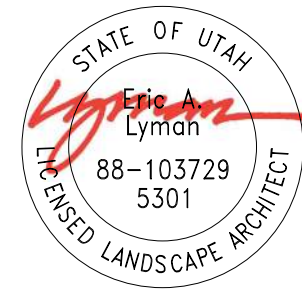
7/04

MISC	
RM	Install 3" depth 2" washed Southtown Cobble (Utah Landscaping Rock). Install over DeWitt Pro-5 Weed Barrier.
NOTES:	1. See details and specifications for additional information.



E. A. Lyman
Landscape Architecture
Land Planning
Urban Design

8188 South Highland Dr. - Suite D7
Sandy, Utah 84093
Telephone: 801.943.6564
E-mail: eric@ealyman.com



06/14/2023

**HANSEN
ALLEN
& LUCE**
ENGINEERS

PROJECT ENGINEER

DESIGNED EAL
DRAFTED
CHECKED EAL
DATE JULY 2023

3
2
1
NO.

DATE

REVISIONS

BY
APVD.

SCALE



CENTRAL UTAH WATER
CONSERVANCY
DISTRICT

PUMP HOUSE PROJECT WELLS #7, #16 & #17
WELL 17 - LANDSCAPE
LANDSCAPE PLAN

SHEET
L1.3
207.27.200



Community Development

Date: July 19, 2023
From: Cache Hancey, Planner & Business Advocate
To: Planning Commission
Item: Zoning Text Amendment:
15.12.060-Dimensional Standards Table
Applicant: Brian Bird, Bird Homes LLC

BACKGROUND

The proposed ordinance provides an increase in the maximum building height for properties located within the Regional Mixed Use Zone (RMU). The current code allows for a maximum height of 60ft. This change would increase that maximum height to 70ft.

Analysis

Brian Bird with Bird Homes LLC has proposed this zoning text amendment as he intends on developing the parcels located at 114 N Mill Road and 131 N Mill Road into an office complex. The proposed development is under site plan review; however, the proposed buildings encroach the 60ft building height limit. To accommodate the 4-story office buildings, this zoning text amendment has been proposed to allow for greater height than what is currently allowed under the zoning code.

This zoning text amendment would mostly impact the undeveloped land within the RMU as it would allow for any new development to build up to the 70ft. There are currently 3 areas located within the RMU that applies to, the property previously mentioned, the property located at 145 N Geneva Road, and the property located at 783 E 440 N. This would also impact redevelopment as any properties located with the RMU could be redeveloped into a structure up to 70ft.

Conditions

Possible conditions to consider include the following:

- Buildings over 60ft must have increase setbacks from residential buildings.

Planning Commission Options

"I move to recommend approval of Ordinance 2023-26"

"I move to recommend approval of Ordinance 2023-26 with the following conditions..."

"I move to recommend denial of Ordinance 2023-26 "

ATTACHMENTS

- Proposed zoning text amendment.
- RMU Map with highlighted undeveloped properties.

**VINEYARD
ORDINANCE 2023-26**

**ORDINANCE NO. 2023-26 REGIONAL MIXED USE MAXIMUM BUILDING
HEIGHT INCREASE**

**AN ORDINANCE OF THE CITY OF VINEYARD UTAH TO MAKE
AMENDMENTS TO THE ZONING CODE TO REGULATE THE MAXIMUM
HEIGHT OF BUILDINGS WITHIN THE REGIONAL MIXED USE ZONE. THIS
ORDINANCE INCREASE THE MAXIMUM BUILDING HEIGHT FROM 60 FEET
TO 70 FEET.**

WHEREAS, in compliance with the Utah State Municipal Land Use, Development, and Management Act (LUDMA), the City established an amendment to the Vineyard Zoning Code Section 15.12.060 Dimensional Standards Table,

WHEREAS, the Vineyard City Zoning Code Amendment provides an increase in the maximum building height of buildings within the Regional Mixed Use Zone.

WHEREAS, the Planning Commission held a public hearing on July 19, 2023 and after fully considering public comment and staff recommendation, recommended approval to the City Council, and,

WHEREAS, the City Council reviewed the amended language within the Vineyard Zoning Code Amendment and held a public hearing on July 26, 2023, and after fully considering public comment, staff and Planning Commissions' recommendations,

NOW THEREFORE, be it ordained by the Council of the Vineyard, in the State of Utah, as follows:

SECTION 1: **AMENDMENT** “15.12.060 Dimensional Standards Table” of the Vineyard Zoning Code is hereby *amended* as follows:

A M E N D M E N T

15.12.060 Dimensional Standards Table

1. Unless otherwise specified, development in the city shall comply with the standards set forth in the Dimensional Standards Table. Special purpose districts standards are located in [VZC 15.14 Special Purpose Districts](#).

Dimensional standards regulating accessory buildings of VZC 15.34.030 shall apply. All other applicable development standards are located within various chapters of the zoning ordinance.

Dimensional Standards Table

STANDARDS	OS	A-1	R & A-5	RE-20	R-1-15	R-1-10	R-1-8	R-2-15	HDR-1	HD R-2	RM U	BP	RC	NC	FOI	M	PF
Minimum Lot Size	NA	40 Acres	5 Acres	40,000 sf	15,000 sf	10,000 sf	8,000 sf	15,000 sf per SFD or 25,000 sf per Two-Family Dwelling	10,000 sf plus 5,000 sf per multi-family unit.	8,000 sf plus 4,500 sf per multi-family unit.	10 acres ¹ .	40,000 sf	NA	NA	20,000 sf	20,000 sf	NA
Maximum Base Density allowed by a PD Overlay District in Units Per Acre	NA	1 unit per 20 acres	1 unit per 5 acres	1.75 units per acre	2.32 units per acre	3.5 units per acre	4.35 units per acre	2.33 SFD units per acre. 2.8 Two-family dwelling units per acre.	2-12 units per acre with an average of 8 units per acre.	9.7 units per acre.	NA	NA	NA	NA	NA	NA	NA
Minimum Lot Width	NA	Lot width to lot length ratio not less than 1:3		100'	90'	80'	80'	100' for SFD and 120' for Two-Family Dwellings	60' unless otherwise approved by the City Council.	120'	See standard #	140'	NA	NA	100'	100'	NA
Minimum Distance																	

Between Condominium & Multi-Family Units Primary Buildings located on the same Lot or Parcel	N A	N A	N A	N A	N A	N A	N A	NA	30'	30'	1 bel ow.	N A	N A	N A	N A	N A	N A
Minimum Building Height	No primary building within any district shall be erected to a height less than one (1) story entirely above grade. See definition of story.																
Maximum Building Height	35' 2	35' 2	35' 2	35' 2	35' 2	35' 2	35' 2	35' 2	35' 2	35' 2	60' 2	90' 2	60' 2	60' 6	60' 2	60' 2	N A
Minimum Front Yard	N A	30'	30'	30'	30'	30'	20'	20'	20'	20'	See standard #1 below.	30'	20'	N A	25'	25'	N A
Minimum Side Yard - Interior Lots	N A	30'	30'	30'	30'	30'	20'	A total of at least 20' between the two side yards, with no side yard of less than 8'.	20', unless otherwise approved by the City Council.	20'		25'	20'	20' 7	20' 0'	20' 0'	N A
Minimum Side Yard for Corner Lots	N A	30'	30'	30'	30'	30'	20'	20'	20'	20'		25'	25'	N A	25'	25'	N A
Minimum	N											2	2	20'	2	25	N

Rear Yard	A	30'	30'	30'	30'	30'	20'	20'	20'	20'		5'	5'	7'	5'	'	A
Maximum Building Lot Coverage (Principle and Accessory Buildings)	N A	N A	15 %	50 %	50 %	50 %	50 %	50%	50%	50%	NA	N A	N A	N A	N A	N A	N A
Maximum encroachment of Architectural Features Encroaching into required setback	N A	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	N A
Accessory Buildings and Residential Swimming Pools - In addition to the requirements of Section 15.34.030, the following dimensional standards apply:																	
Minimum Internal Side Setbacks	N A	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	N A	N A	3' 3'	N A	N A	N A
Street Side Corner Lot Standards	See Section 15.34.030																
Minimum Rear Setbacks	N A	3'	3'	3'	3'	3'	3'	3'	3'	3'	3'	N A	N A	6'	N A	N A	N A
Minimum Distance from	N A	6'	6'	6'	6'	6'	6'	6'	6'	6'	6'	N A	N A		N A	N A	N A

Principle Building																	
Maximum Building Height	N A	N A	25'	25' ₄	25' ₄	25' ₄	25' ₄	25' ⁴	25' ⁴	25' ⁴	25' ₄	N A	N A		N A	N A	N A
Roof Overhang Setback	N A	N A	1' ⁵	1' ⁵	1' ⁵	1' ⁵	1' ⁵	1' ⁵	1' ⁵	1' ⁵	1' ⁵	N A	N A		N A	N A	N A
Maximum allowed rear yard building coverage.	N A	N A	50 %	50 %	50 %	50 %	50 %	50%	50%	50%	50 %	N A	N A	N A	N A	N A	N A
Residential-Detached Garages in Side Yards	N A	Residential-detached garages are allowed in established side yards of lots containing a single-family residence. Residential-detached garages shall maintain a minimum distance of 6' from the single-family residence and meet all fire and building codes. Front yard setbacks for single-family residences apply to residential-detached garages located in a side yard. Setbacks and building heights applicable to side and rear yards of accessory buildings shall apply to residential-detached garages. Driveways and parking surfaces shall not exceed sixty-five percent (65%) of the front yard area.							NA	NA	NA	N A	N A	N A	N A	N A	N A

Additional Standards:

1. See [VZC 15.14 Special Purpose Districts](#)

for additional RMU Districts standards. 2. Building height is measured from the top of the back of curb to the highest point of the building or structure. See also the definition of "Building Height." 4. For every one foot (1') in height above fifteen feet (15') the roof overhang setback shall be increased an additional one foot (1') from the internal side and rear property lines. 5. For every one foot (1') in height above fifteen feet (15') the building setback shall be increased an additional one foot (1') from the internal side and rear property lines.

6. Buildings located in the NC District shall not exceed 35 feet in height when located within 50 feet of a property line of a parcel containing a detached single-family home.

7. No building setbacks are required for buildings located adjacent to parcels that do not contain stand-alone residential uses and are zoned for commercial uses.

SECTION 2: REPEALER CLAUSE All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

SECTION 3: SEVERABILITY CLAUSE Should any part or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinances a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

SECTION 4: EFFECTIVE DATE This Ordinance shall be in full force and effect from July 26, 2023, and after the required approval and publication according to law.

PASSED AND ADOPTED BY THE VINEYARD COUNCIL

_____.

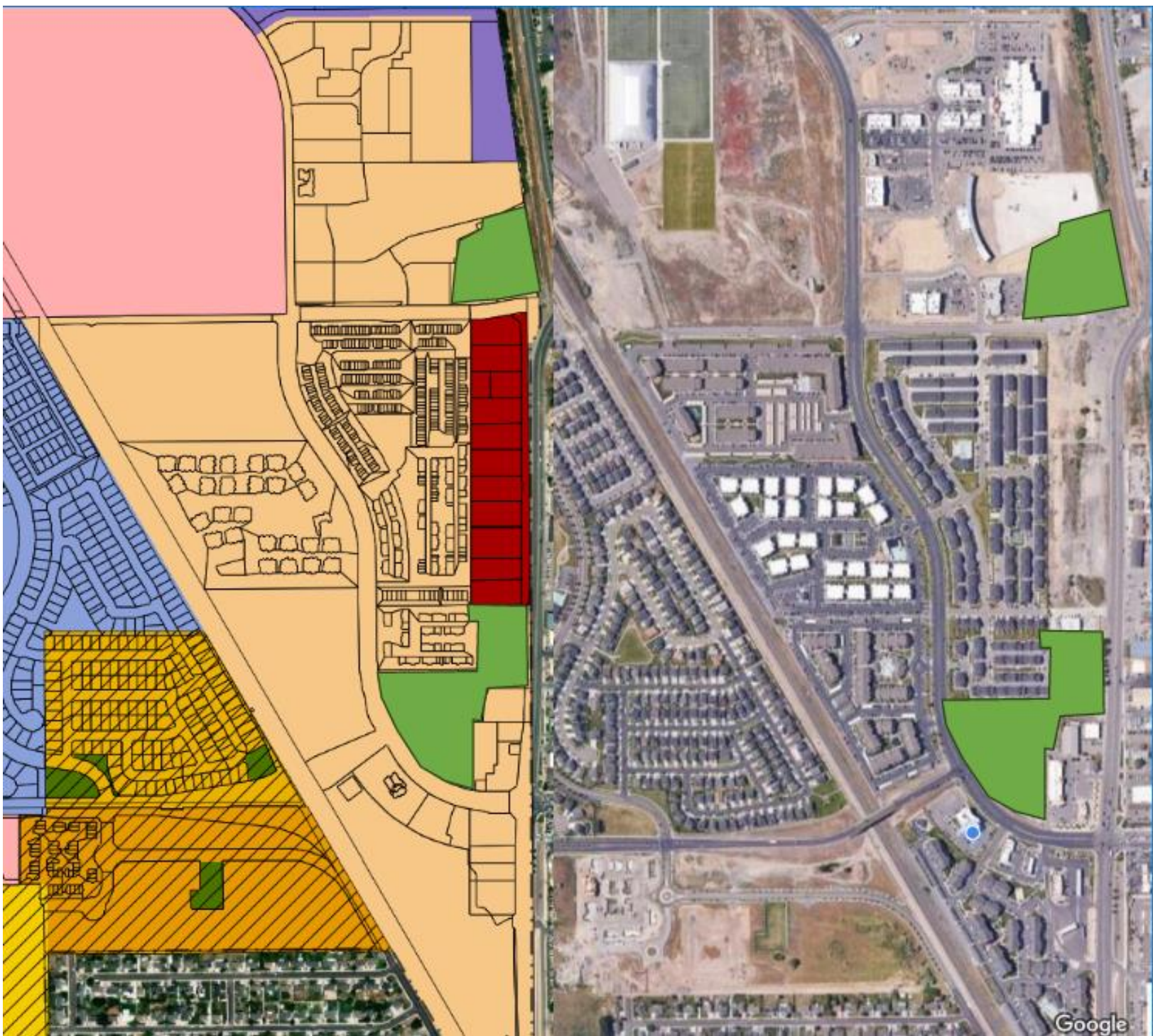
	AYE	NAY	ABSENT	ABSTAIN
Mayor Julie Fullmer	_____	_____	_____	_____
Tyce Flake	_____	_____	_____	_____
Amber Rasmussen	_____	_____	_____	_____
Mardi Sifuentes	_____	_____	_____	_____
Cristy Welsh	_____	_____	_____	_____

Presiding Officer

Attest

Julie Fullmer, Mayor, Vineyard

Pamela Spencer, City Recorder,
Vineyard





Community Development

Date: July 19, 2023
From: Cache Hancey, Planner & Business Advocate
To: Planning Commission
Item: Zoning Text Amendment:
15.38.030 Parking Requirements
Applicant: Karla Mata, X Development

BACKGROUND

The proposed ordinance provides a modification to the Off-street Parking Requirements for Non-Residential Uses- Hotels or Motels. The current code requires the following parking standards for this type of use:

- One (1) space per room
- One (1) space per one hundred (100) sq/ft of restaurant and bar serving area
- One (1) space per one hundred (100) sq/ft of outdoor seating serving area
- Ten (10) minimum spaces for visitors parking
- One (1) space per two hundred (200) sq/ft of meeting room floor area

The zoning text amendment would strike the required additional ten (10) minimum spaces for visitor parking.

Analysis

City staff has analyzed surrounding city zoning regulations for hotel use parking and have found that our current code is more stringent than most. A table has been provided to show the surrounding area's requirements.

Planning Commission Options

"I move to recommend approval of Ordinance 2023-"

"I move to recommend approval of Ordinance 2023- with the following conditions..."

"I move to recommend denial of Ordinance 2023- "

ATTACHMENTS

- Proposed zoning text amendment.
- Hotel Off-Street Parking Requirements Benchmarking Table

**VINEYARD
ORDINANCE 2023-27**

ORDINANCE NO. 2023-27 HOTEL AND MOTEL PARKING MODIFICATIONS

**AN ORDINANCE OF THE CITY OF VINEYARD UTAH TO MAKE
AMENDMENTS TO THE ZONING CODE TO REGULATE THE REQUIRED
NUMBER OF OFF-STREET PARKING FOR HOTEL AND MOTEL USE . THIS
ORDINANCE REMOVES THE REQUIREMENT FOR TEN (10) MINIMUM
SPACES FOR VISITOR PARKING**

WHEREAS, in compliance with the Utah State Municipal Land Use, Development, and Management Act (LUDMA), the City established an amendment to the Vineyard Zoning Code Section 15.38.040 Off-street Parking Requirements

WHEREAS, the Vineyard City Zoning Code Amendment removes the requirement for ten (10) minimum spaces for visitor parking for hotel and motel uses

WHEREAS, the Planning Commission held a public hearing on July 19, 2023 and after fully considering public comment and staff recommendation, recommended approval to the City Council, and,

WHEREAS, the City Council reviewed the amended language within the Vineyard Zoning Code Amendment and held a public hearing on July 26, 2023, and after fully considering public comment, staff and Planning Commissions' recommendations,

NOW THEREFORE, be it ordained by the Council of the Vineyard, in the State of Utah, as follows:

SECTION 1: AMENDMENT "15.38.030 Parking Requirements" of the Vineyard Zoning Code is hereby *amended* as follows:

A M E N D M E N T

15.38.030 Parking Requirements

1. Off-street parking spaces shall be provided according to the following provisions and standards.

a. General Provisions

- i. **Floor Area.** The term "floor area" for the purpose of calculating the number of required parking spaces shall be the "Gross Floor Area" of the structures plus defined exterior use areas except as may be provided or modified herein.

- b. **Change of Use or Occupancy of Buildings.** Off-street parking and loading spaces as required herein shall be provided at the time of any new uses of land or construction of a new building. Any change of use or occupancy of any building or buildings, including additions thereto, requiring more parking shall not be permitted until such additional parking spaces as required by this Section are provided.

- c. **Parking for a Residential Use.** Off-street parking facilities for residential uses shall be utilized solely for the parking of licensed and operable passenger vehicles owned by the occupants of the residence or the parking of passenger automobiles by guests of said occupants.

d. Accessible Parking

- i. Accessible parking for non-residential developments shall be provided in conformance with the Americans with Disabilities Act (ADA), Utah Americans with Disabilities Act (Utah ADA) and International Building Code (IBC) as amended.
- ii. Accessible parking for multiple-family residential developments shall be provided in conformance with the Americans with Disabilities Act (ADA), Federal Fair Housing Act (FFHA) and International Building Code (IBC) as amended.

- e. **Parking Stall Dimensions.** The following shall be the minimum parking stall size:

Type	Width	Length*
Standard	9 Feet	20 Feet
Parallel	8 Feet	24 Feet

* The front of the parking space may overhang two (2) feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a four (4) foot wide clearance for pedestrian access (a total of six (6) feet from the curb face to the opposite edge of the walkway).

- f. **Parking Aisle Dimensions.** The following shall be the minimum parking aisle width:

Parking Angle	One-Way Aisle	Two-Way Aisle
90 degree	24 Feet	24 Feet
60 degree	18 Feet	22 Feet
45 degree	18 Feet	20 Feet
30 degree	18 Feet	20 Feet

- g. **Parking Lots.** Parking lots shall be designed in groupings no larger than two hundred (200) spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.

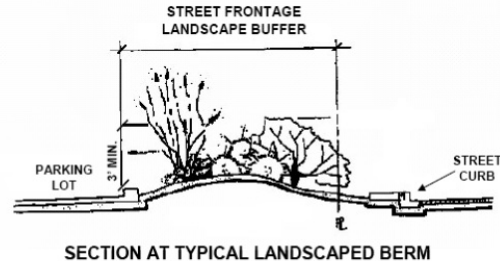
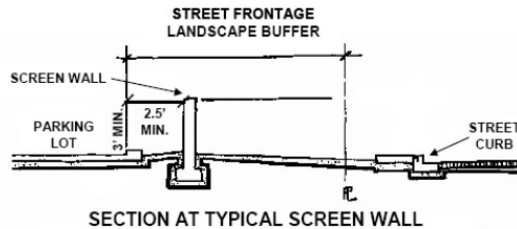
- h. **Within Structures.** The off street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street parking provisions of this Section.

- i. **Circulation Between Bays.** Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except one, two or three-family dwellings.

- j. **Surfacing.** All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust-free surface. Such area shall not be considered as part of a required landscape area.

- k. **Striping.** Except for one, two and three-family dwellings, all parking stalls shall be marked with painted lines not less than four inches (4") wide.

- l. **Lighting.** Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of twenty (20) feet in height above the surface of the parking lot for non-residential uses and sixteen (16) feet for residential uses.
- m. **Protruding Vehicles.** All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.
- n. **Screening.** All off-street parking lots of four (4) or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3) feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of two and one-half (2.5) feet back from the edge of the parking stall.



o. Parking Area Landscaping

- i. Five percent (5%) of the gross parking surface area shall be of dispersed interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. The following are acceptable interior landscaping designs:
 - (1) Five (5) feet by five (5) feet tree diamonds placed not more than six (6) parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with ninety (90) degree parking spaces.
 - (2) Minimum five (5) feet wide landscape medians with trees planted forty (40) feet apart;
 - (3) Minimum five (5) feet wide landscape islands and peninsulas with at least one (1) tree;
 - (4) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.
- ii. Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screening methods may include landscaped berms, low walls, and hedges.
- iii. Access drives, internal circulation drives, parking areas, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.
- iv. In projects greater than 1 acre, every parking space should be no greater than one hundred fifty (150) feet from a walkway leading to a building entrance.
- v. Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should relate to adopted area plans, planned parking in the area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.
- vi. The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.
- vii. Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.
- viii. All sites shall meet the requirements of the Americans with Disabilities Act ("ADA").
- ix. Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.
- x. Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple-family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.
- xi. A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.

p. Maintenance

- i. It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.
- ii. Shrubs within a landscape island shall be maintained to a maximum height of three (3) feet, and all trees at maturity within such planters shall maintain a minimum clearance of six (6) feet from the lowest branch to the adjacent grade elevation.

q. **Use of Required Parking Areas for Parking Only.** Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.

r. **Signs.** No sign shall be so located as to restrict the sight lines and orderly operation and traffic movement within any parking area.

s. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses

- i. Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.
- ii. Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.
- iii. Height of such structures shall be limited to 10'.
- iv. All canopies shall include a fascia.
- v. Setbacks are measured from property line to nearest edge of canopy.
- vi. All required landscaping, parking or otherwise, shall be provided.

2. Off-street Parking Requirements. The following minimum number of off-street, paved

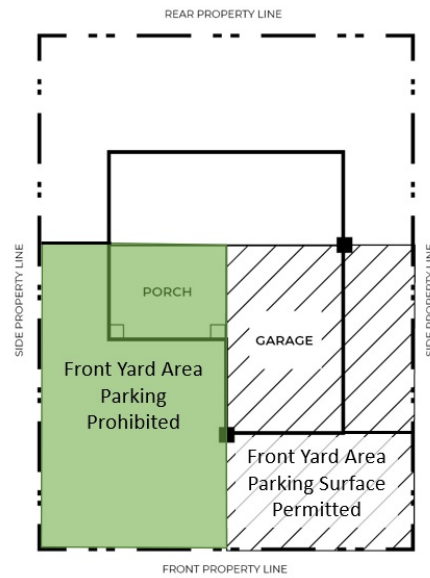
parking spaces shall be provided and maintained by ownership, easement and/or lease for and during the life of the respective uses hereinafter set forth. Any proposed uses not listed herein will be determined by the Planner through the site plan approval process.

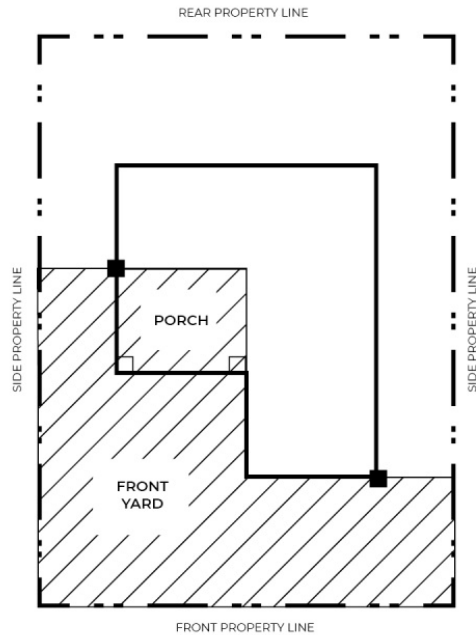
a. **Residential Uses. Parking Spaces Required:**

Dwelling Types	
Single-family	4.0 Spaces/Unit
Two-family	4.0 Spaces/Unit
Three-family	4.0 Spaces/Unit
Multi-family**	
Efficiency/Studio	1.0 Spaces/Unit
1 Bedroom	1.5 Spaces/Unit
2 Bedrooms	2.0 Spaces/Unit
3 Bedrooms	3.0 Spaces/Unit
**In addition to the required spaces, 0.5 guest stalls per unit shall be included.	

b. **Additional Residential Parking Requirements**

- i. All standard front-entry garage and carport entrances shall be setback a minimum of eighteen (18) feet from the street right-of-way line, access easement or private roadway tract.





- ii.
 - iii. It shall be unlawful to park or store any vehicle within the front or side yard of a single-family residence use unless such parking or storage is on an improved, dustproof- parking surface such as concrete or asphalt or crushed rock or aggregate that is a minimum of three inches thick. All crushed rock or aggregate shall be contained by a permanent border. Parking within the front yard of a single residence use shall be on or contiguous to a legal driveway.
 - iv. Single-family residences may contain a parking surface in the front yard area, bounded by the garage facade (internal square footage dedicated to the garage), the front property line, and the side property line adjacent to the garage area. The front yard area between the front entry into the home, front property line, and side property line opposite of the side property line adjacent to the garage area shall not contain parking or surface material dedicated toward parking, except to allow driveway access to a detached residential garage. In no case shall parking areas or driveways cover more than sixty-five percent (65%) of the front yard area.
 - v.
 - vi.
 - vii. Prior to construction, property owners are responsible for meeting with the City Engineer, or her/his designee to ensure parking areas and driveways do not conflict with public utilities, easements, or meters.
 - viii. Any work conducted within the public-right-of-way, including parking strips and driveway approaches, must be approved through a right-of-way permit prior to construction.
 - ix. Grade/Slope for residential driveways shall not exceed 8%, anything higher shall receive approval from the City Engineer.
- c. **Nonresidential Uses.** The number of parking spaces for non-residential uses shall be provided as follows:

NON-RESIDENTIAL SPACES		
USE	DESCRIPTIONS	PARKING RATIO
ADMINISTRATIVE & FINANCIAL		
Professional Offices	Facilities for general office work providing professional, business administrative, informational services, or facilities that house governmental agencies and similar uses	One (1) space per two hundred fifty (250) sq. ft. of floor area.
Financial	Institutions providing financial advice and services in a bank, or similar financial institutions, to include	One (1) space per one hundred fifty (150) sq. ft. of floor area

Services	accessory office building, automatic teller machine, and similar uses	
	Financial institutions with drive-through facilities	In addition to the above, a sixty (60) linear feet of stacking space per lane exclusive of drive aisles and parking spaces.
Unspecified Office Use		One (1) space per two hundred fifty 250(200) sq. ft. of floor area.
AUTOMOBILE RELATED		
Auto Services	Facilities providing general vehicle service or repair, and similar services	Three (3) spaces per service bay, plus one (1) space per three hundred (300) sq. ft. of gross floor area excluding service bay(s).
	Facilities providing fast or express service bays or lanes	In addition to the above, a queuing space of one hundred (100) linear feet exclusive of drive aisles and parking spaces.
Automobile Rentals or Dealerships	Facilities for sale or rental of new or used auto, boat, RV, truck, trailer, camper, motor home or Motorcycle. (Outdoor vehicle display spaces are not required to meet dimensional requirements of this Article)	One (1) space per one thousand (1000) sq. ft. of gross floor area, plus one (1) space per six thousand (6000) sq. ft. outdoor vehicle display area.
Automobile Towing & Impound Facilities	Facilities for towing, dismantling, recycling, impound, and storage of junk vehicles, to include sanitary landfills and similar uses	Four (4) spaces or one (1) space per one thousand (1000) sq. ft. of floor area whichever is greater.
Car Washes	Facilities for the cleaning of vehicles,	One (1) space per three hundred (300) sq. ft. of office floor area, plus a queuing space of one hundred (100) linear feet exclusive of drive aisles and parking spaces.
	Self-service facilities for the cleaning of vehicles	A minimum of four (4) spaces and the requirements above.
EATING & DRINKING ESTABLISHMENTS		
Restaurants	Eating establishments and similar services	One (1) space per one hundred (100) sq. ft. of floor area including outdoor seating
Taverns, Bars, Pubs & Lounges	Establishments licensed to sell alcoholic beverages to be consumed on the premises, often with limited food service	One (1) space per fifty (50) sq. ft. of serving area, plus one (1) space per two hundred (200) sq. ft. for preparation area.
ENTERTAINMENT & RECREATION		
Adult Uses	Establishments for adult entertainment that emphasize adult-oriented uses and services in an adult motion picture theater, arcade, adult cabaret, adult motel, nude studio, and similar facilities	One (1) space per fifty (50) sq. ft. of floor area
	Adult specialty shops for purchase of adult books, video, and similar products	One (1) space per three hundred (300) sq. ft. of floor area
Indoor Public Assembly	Facilities providing a variety of indoor public assemblies in a convention or reception center, meeting hall, social or private club, music hall, theatre and similar places, excluding taverns, bars, pubs, lounges, and adult uses	One (1) space per two hundred (200) sq. ft. of floor area, or one (1) space per four (4) fixed seats of design capacity whichever is greater
Indoor Recreation	Facilities providing a variety of indoor health and sports activities in a sporting complex, stadium, skating rinks, pool hall, dance hall, tennis and racquet clubs, game room, video arcade, bingo hall, community center, fitness center, and similar indoor	One (1) space per two hundred (200) sq. ft. of floor area

	facilities	
	Bowling Alleys	Two (2) spaces per lane, plus two (2) spaces per billiard table, plus one (1) space per each five visitor gallery seats
Outdoor Amusement & Recreations	Facilities providing a variety of outdoor amusement, entertainment, and similar activities in an amusement park, fairground, zoo, auditorium, and similar places, to include special outdoor events such as carnivals or outdoor concerts. Outdoor recreations include a variety of outdoor health and sports activities in a racetrack, stables, rodeo ground, outdoor shooting range, swimming and tennis clubs, miniature golf, and similar places	One (1) space per one thousand (1000) sq. ft. of activity area
	Golf course and driving range	One (1) space per two hundred (200) sq. ft. of main building floor area, plus one (1) space per every two (2) practice tees in driving range, plus four (4) spaces per each green in the playing area
GENERAL INDUSTRIAL & MANUFACTURING		
Light Industrial and Manufacturing	Facilities providing manufacturing and assembly services	One (1) space per seven hundred and fifty (750) sq. ft. of warehouse area plus one (1) space per three hundred (300) sq. ft. office or retail floor area
Outdoor storage	Facilities providing exterior storage of construction equipment and materials, recyclable material, and similar uses	A minimum of four (4) spaces and one (1) space per five thousand (5000) sq. ft. of designated outdoor area or one (1) space per three hundred (300) sq. ft. office floor area whichever is greater.
Unspecified Industrial Use (Shell Building)		One (1) space per seven hundred and fifty (750) sq. ft. of warehouse area plus one (1) space per three hundred (300) sq. ft. office or retail floor area
Warehousing	Facilities providing warehousing of material and goods and similar uses	One (1) space per one thousand (1000) sq. ft. of warehouse area, plus one (1) space per three hundred (300) sq. ft. office floor area.
	Mini-storage facilities and similar uses	One (1) space per fifty (50) units
Wholesale, distribution	Facilities providing wholesale or distribution of trucks, trailers, boats, new and used cars, bulk fuel, machines, appliances, equipment, building material, lumber, plant nurseries, produce and similar merchandise in indoor or outdoor storage areas to include machine shops, lumberyards, import/export shops, moving, rental, or storage companies, market sales yards, and similar facilities	One (1) space per five hundred (500) sq. ft. of sales or display area, plus one (1) space per one thousand (1000) sq. ft. of indoor storage area, plus one (1) space per two hundred (200) sq. ft. of retail or office floor area.
GENERAL RETAIL		
Retail	Establishments providing general retail sales and services in a single store on a single lot, not part of a shopping center	One (1) space per three hundred (300) sq. ft. of floor area.
	Establishments providing general retail sales and services in a shopping centers (a commercial establishment planned, developed, owned, or	One (1) space per two-hundred-fifty (250) sq. ft. of floor area. Note: for any center with more than fifteen percent (15%) of floor area in public assembly uses, including theaters, restaurants, schools, health spas, bars or cocktail lounges, there shall be required, in addition to these

	managed as a unit)	standards, ten (10) spaces per one thousand (1000) sq. ft. of public area within these uses.
	Establishments providing drive- through services including liquor stores, laundries and dry cleaners, pharmacies and similar services	In addition to the above, one hundred (100) linear feet of stacking space exclusive of drive aisles and parking spaces.
Unspecified Retail Use (Shell Building)		One (1) space per two hundred fifty (250) sq. ft. of floor area.
INSTITUTIONAL		
Child care	Facilities providing daily care of children in a nursery, daycare or preschool center	One (1) space per four hundred (400) sq. ft. of floor area.
Public, social and cultural services	Facilities providing public, social, non-profit, or institutional services in a library, museum, art gallery, post office, treatment, detention, or release center, halfway house, employment agency, shelter, and similar civic/public, cultural, and social institution (excluding group home)	One (1) space per two hundred (200) sq. ft. of floor area.
Religious Assembly	Facilities providing religious worship or study in a church, temple, synagogues and similar places	One (1) space per four (4) seats in main assembly area based on design capacity.
School	Public, charter or private educational institutions for Elementary and Junior High	One (1) space per three (3) fixed seats of auditorium based on design capacity plus a minimum of ten (10) spaces for visitors parking.
	Senior High	Two (2) spaces per classroom, plus one (1) space per employee, plus one (1) space per three (3) fixed seats of auditorium based on design capacity plus a minimum of ten (10) spaces for visitors parking.
Secondary Education	Public or private facilities providing education in a college, university, trade or vocational school, and similar institutions	Five (5) spaces per classroom, plus one (1) space per three (3) fixed seats of auditorium based on design capacity plus a minimum of ten (10) spaces for visitors parking.
Senior care	Facilities providing long-term care for seniors in a nursing or convalescent home, hospices or similar care facility (excluding group home)	One (1) space per three (3) beds.
Utility	Structures, equipment, or facilities providing for public/private utility & services, including radio, television, communication transmission, tower and similar structures	One (1) space per use.
LODGING		
Hotels or Motels	Places for lodging with ancillary facilities to include sleeping rooms, restaurants, lounges, resorts, meeting rooms and similar uses	One (1) space per room; plus one (1) space per one hundred (100) sq. ft. of restaurant and bar serving area; plus one (1) space per one hundred (100) sq. ft. of outdoor seating serving area; plus ten (10) minimum spaces for visitors parking; plus one (1) space per two hundred (200) sq. ft. of meeting room floor area; 1 space per room plus 1 space for each 200 sq. ft. of assembly, conference, banquet, sit-down restaurant facility space.
Lodging Accommodations	Establishments providing accommodation in a bed and breakfast, lodge, to include fraternity, sorority,	One (1) space per room.

	and similar facilities	
Recreational Resorts	Facilities providing overnight stops in Recreational Vehicle Park, travel trailer park, overnight camp ground and similar places	One (1) space per two hundred (200) sq. ft. of gross activity area, or one (1) space per RV or trailer whichever is greater.
MEDICAL		
Medical Offices and Clinics	Facilities providing medical, dental, optical care or preventative medicine and clinical research studies in a clinic or laboratory, including accessory offices	One (1) space per two hundred fifty 250(200) sq. ft. of floor area.
Hospitals	Facilities providing medical or surgical care, emergency medical and similar services	A minimum thirty (30) spaces for emergency services or two (2) spaces per bed, plus one (1) space per employee whichever is greater.
Veterinarian Hospitals or Clinics	Establishments for medical, surgical, and emergency care of animal, to include veterinary office and clinics without animal boarding	One (1) space per one hundred fifty (150) sq. ft. of floor area.
PERSONAL SERVICES		
General Professional Services	Establishments providing general professional services such as cabinet and carpentry making, custom dressmaking and alteration, watch and clock repair, dry cleaning & laundry, pet care, messenger delivery, photographic developing & printing, blueprint production, travel information & similar professional services	One (1) space per two hundred (200) sq. ft. of floor area.
Personal Improvement	Establishments providing personal services such as tanning, massage therapy, manicure, hair and beauty treatment, tattoo and body piercing, palm reading, fortune tellers, and similar services	One (1) space per one hundred fifty (150) sq. ft. of floor area.
OTHER		
Funeral Services	Facilities providing burial preparation and/or funeral services in a cemetery, crematorium, mausoleum, funeral home and chapel, mortuaries and similar facilities	One (1) space per every three (3) fixed seats in main viewing rooms based on design capacity plus one (1) space per funeral vehicle.

d. Mixed Uses

- i. In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the various uses computed separately.
- ii. A horizontal mixed use development may reduce that amount of required parking by ten (10) percent if the project is a mixed use development that includes, as part of an integrated development plan, both residential and non-residential uses or by twenty-five (25) if the property is within a quarter of a mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a licensed engineer to be approved through the development or site plan approval process.

- e. Calculating Spaces.** In case of fractional results in calculating parking requirements, the required numbers of the sum for the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.

f. Joint Use Parking

- i. Up to fifty percent (50%) of the parking facilities required by this Section for a religious institution, cultural center or an auditorium incidental to a public or parochial school may be supplied by the off-street parking facilities by the following daytime uses: banks, business offices, retail stores, personal service shops, household equipment or furniture shops, clothing or shoe repair or service shops, manufacturing, wholesale and similar uses.
- ii. Other joint use of parking on adjacent commercial uses to reduce total parking spaces

may be allowed with a parking study submittal by a **licensed engineer** with demonstrated experience conducting parking studies, to be reviewed by the Planning Commission. Following a recommendation by the Planning Commission, the City Council will make a decision to either deny the request, approve the request, or approve the request with conditions .as

- iii. The City Council may use the parking study a basis for reducing the amount of onsite parking required for specific uses defined under the following nonresidential categories listed in table 15.38.030(2)(c): Eating & Drinking Establishments, Entertainment and Recreational Uses and Medical Uses.

iv. Conditions Required for Joint Use

- (1) The building or use for which application is being made to utilize the off-street parking facilities provided by another building or use shall be located within three hundred (300) feet of such parking facilities.
- (2) The applicant shall show that there is no substantial conflict in the operating hours of the two buildings or uses for which joint use of off-street parking facilities is proposed.
- (3) A properly drawn legal instrument, executed by the parties concerned for joint use of off-street parking facilities, duly approved as to form and manner of execution by the City Attorney shall be filed with the City Clerk and recorded with the County Recorder.

g. **Offsite Parking**

- i. Any off-site parking which is used to meet the requirements of this Section shall be regulated by this Ordinance and shall be subject to the conditions listed below:

- (1) Off-site parking shall be developed and maintained in compliance with all requirements and standards of this Section.
- (2) Reasonable access from off-site parking facilities to the use being served shall be provided.
- (3) The site used for meeting the off-site parking requirements of this Section shall be under the same ownership as the principal use being served, under public ownership, or shall have guaranteed permanent use by virtue of a perpetual lease filed with the City Clerk and County Recorder.
- (4) Offsite parking for multiple-family dwellings shall not be located more than two hundred (200) feet from any commonly used entrance of the principal use served, unless approved through the site plan approval process.
- (5) Off-site parking for non-residential uses shall not be located more than three hundred (300) feet from the primary entrance of the principal use being used, unless approved through the site plan approval process.

- h. **Bicycle Parking.** Required bicycle parking shall be convenient, secure, and readily accessible to shoppers, customers, visitors, employees, students, residents, commuters and others on the site.

- i. **Required Bicycle Parking Spaces:** Bicycle parking spaces shall be required in all zones for each site to which this Title applies. The number of bicycle parking spaces to be provided shall be a minimum of three (3) or a number equal to ten percent (10%) of the required on-site automobile parking spaces, whichever is greater. The total number of bicycle parking spaces required by this Title shall not exceed thirty (30) spaces per building. Exception: The Community Development Director may reduce the bicycle parking requirements by fifty percent (50%) for developments that are not likely to attract bicycle traffic because of the nature, location, or other circumstances associated with the development. Developments which are not likely to attract bicycle traffic, but are not limited to, a car wash and personal storage units.

ii. **Bicycle Rack General Requirements.**

- (1) Racks shall be of an “inverted-U” design or as approved by the Community Development Director. Other types of bicycle rack facilities may be provided with approval from the Community Development Director, so long as they meet the requirements list below.
- (2) Racks shall be securely anchored so that they cannot be easily removed and of solid construction, resistant to rust, corrosion, hammers, and saws.
- (3) Racks shall be located in a convenient, highly visible, active, and well-lit area.
- (4) Racks may be located no more than fifty (50) feet from the primary entrance of each principal building. If there is more than one primary entrance to a building, the bicycle parking must be along all facades with a main entrance.
- (5) Racks must hold the bicycle securely by means of the frame. The bicycle frame must be able to be supported so that the bicycle cannot be pushed or fall to one side in a manner that will damage the wheels. The rack should provide two (2) points of contact with the frame, a minimum of six (6) inches apart horizontally. The rack’s high point should be at least thirty-two (32) inches.
- (6) Racks should be arranged so that the parking area for each bicycle is a minimum of two (2) feet wide and six (6) feet long.
- (7) Racks should have a minimum of three (3) feet between rack elements (side by side).
- (8) A minimum of five (5) feet of aisle width shall be provided between rows of bikes.
- (9) Where two bikes can be locked on both sides without conflict, each side can be counted as one (1) required space.

SECTION 2: REPEALER CLAUSE All ordinances or resolutions or parts thereof, which are in conflict herewith, are hereby repealed.

SECTION 3: SEVERABILITY CLAUSE Should any part or provision of this Ordinance be declared by the courts to be unconstitutional or invalid, such decision shall not affect the validity of the Ordinances a whole or any part thereof other than the part so declared to be unconstitutional or invalid.

SECTION 4: EFFECTIVE DATE This Ordinance shall be in full force and effect from July 26, 2023, and after the required approval and publication according to law.

PASSED AND ADOPTED BY THE VINEYARD COUNCIL
_____.

	AYE	NAY	ABSENT	ABSTAIN
Mayor Julie Fullmer	_____	_____	_____	_____
Tyce Flake	_____	_____	_____	_____
Amber Rasmussen	_____	_____	_____	_____
Mardi Sifuentes	_____	_____	_____	_____
Cristy Welsh	_____	_____	_____	_____

Presiding Officer

Attest

Julie Fullmer, Mayor, Vineyard

Pamela Spencer, City Recorder, Vineyard

City	Summary	Code
Vineyard	1 stall per room, 10 guest stalls, restaurant, outdoor seating, meeting room floor area extra	One (1) space per room, plus one (1) space per one hundred (100) sq. ft. of restaurant and bar serving area, plus one (1) space per one hundred (100) sq. ft. of outdoor seating serving area, plus ten (10) minimum spaces for visitors parking, plus one (1) space per two hundred (200) sq. ft. of meeting room floor area.
Orem	1 stall per room.	One stall per room
Pleasant Grove	1 stall per room.	1 per living or sleeping unit
Lehi	1 stall per room + 1 stall per employee	1 stall for each sleeping unit plus 1 space for each employee during regular working hours.
Spanish Fork	1 stall per room + 1 stall per 200sq/ft restaurant	1:room; 1:200 sq. feet
American Fork	1 stall per room, 10 per 1000 restaurant, 30 per 1000 meeting room	1.25 per guest room, plus 10 per ksf restaurant lounge, plus 30 per ksf meeting/banquet room (<50 ksf per guest room) or 20 per ksf meeting/banquet room (>50 ksf per guest room)
Salt Lake City	1 stall per 2 rooms	1 stall per 2 rooms
South Salt Lake	1 stall per room + 1 stall per 200 sqft of office, meeting, etc	1 stall per unit plus 1 stall per 200 square feet of office, meeting, assembly, conference or banquet stall
Draper	1 stall per room	1 stall per room
Sandy	1 stall per room + 1 stall per 200 sqft of office, meeting, etc	1 space per rental unit, 1 space for each 200 sq. ft. of assembly, conference space, banquet, sit-down restaurant facility and office space
Eagle Mountain	1 stall per bed	1 stall per bed
Saratoga Springs	1 stall per room + 1 stall per employee	1 stall per bedroom, plus 1 stall per employee at the highest staffing level. If hotel contains a restaurant, restaurant parking shall be calculated separately based on the restaurant square footage.
Springville	1 stall per room + 2 additional	One (1) space per room + two (2).



Community Development

Date: Wednesday, July 19, 2023
From: Morgan Brim, Community Development Director
To: Planning Commission
Item: Consideration of General Plan Amendment to address privacy concerns
Applicant: City Initiated

OVERVIEW

On June 28, 2023, the City Council passed Resolution 2023-32 directing staff to begin the process of revising Element 10 Technology Goal 2 of the General Plan to address privacy concerns about the public use of personal information. As technology is utilized to serve Vineyard residents more effectively, the City Council desires privacy to be prioritized in future advancements. This meeting will formally initiate this process. The Planning Commission will work with staff to provide a recommendation for the City Council's review and potential adoption.

The Planning Commission may consider appointing a member of the Planning Commission to work with staff in drafting language for the Commission to discuss in a future meeting.

ATTACHMENT

Resolution 2023-32

RESOLUTION 2023-32

Resolution Directing City Staff to Begin the Process of Revising Element 10 Technology Goal 2 of the General Plan to Address Privacy Concerns about Public Use of Personal Information.

WHEREAS, the City Council of Vineyard City, Utah, recognizes the significant role that technology plays in enhancing city services, improving communication, and facilitating public access to various services, planning, decision making, and activities; and

WHEREAS, the City Council acknowledges the importance of safeguarding individual privacy rights and the need to protect the personal information of residents, visitors, and businesses within the City; and

WHEREAS, it is crucial for the City to balance the benefits of technological advancements with the preservation and maintenance of privacy for all community members; and

WHEREAS, the City Council desires to update and amend Element 10, Goal 2 of the General Plan to reflect a commitment to prioritize privacy protection while utilizing and adopting advances in technology:

NOW, THEREFORE, BE IT RESOLVED by the City Council of Vineyard, Utah, as follows:

Section 1: General Plan Amendment

The City Council hereby directs the City staff to prepare a General Plan amendment to Element 10, Goal 2 – Technology – of the General Plan.

Subject to a public hearing and the recommendation of the Planning Commission, the City shall consider adding language to Element 10, Goal 2 about respecting individual rights and protecting personal information.

The amendment shall aim to integrate privacy considerations into all aspects of the City's utilization and adoption of technology, ensuring that privacy rights are respected and protected.

Section 2: Stakeholder Engagement

The City staff shall conduct a thorough review and analysis of existing privacy policies, guidelines, and best practices related to technology implementation.

City staff shall engage relevant stakeholders, including residents, community organizations, businesses, and technology experts, to gather input and feedback on privacy concerns, needs, and expectations related to the use of technology.

Section 3: Implementation and Monitoring

Upon completion of a public hearing and consideration by the Planning Commission, City staff shall present the proposed changes to the City Council for review and adoption.

City staff shall establish a mechanism for ongoing monitoring and evaluation of the City's technology initiatives to ensure continued compliance with privacy protection principles and address emerging privacy challenges.

Section 4: Severability

If any provision or part of this resolution is deemed invalid or unenforceable, it shall not affect the validity or enforceability of the remaining provisions.

Section 5: Effective Date

This resolution shall take effect immediately upon adoption by the City Council.

ADOPTED AND APPROVED by the City Council of Vineyard, Utah, this 28th day of June 2023.

Julie Fullmer, Mayor

ATTEST:

Pamela Spencer, City Recorder