



**PUBLIC HEARING AND REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Vineyard Town Hall, 240 East Gammon Road, Vineyard, Utah
Wednesday November 18, 2015 at 7:00 p.m.**

PUBLIC NOTICE is hereby given that the Planning Commission of Vineyard Town, Utah, will hold a Public Hearing and Regular Planning Commission Meeting, on Wednesday November 18th, 2015 starting at 7:00 p.m. The meeting will be held at the Vineyard Town Hall, 240 East Gammon Road, Vineyard, Utah. The Public is invited to participate in all Town Planning Commission meetings. The agenda will consist of the following:

- 1. CALL TO ORDER**
- 2. INVOCATION** – *Individuals are invited to volunteer.*
- 3. OPEN SESSION** – *This is a Public Comment period (see definition below).*
- 4. MINUTES REVIEW AND APPROVAL** – Minutes from the Planning Commission Meeting held on 10/7/2015. The Planning Commission will review the minutes and take appropriate action.
- 5. BUSINESS ITEMS:**

DISCUSSION AND ACTION:

5.1 DISCUSSION AND ACTION – WatersEdge Phase 7 Plat A

The applicant is proposing to subdivide approximately 47 acres into (4) parcels ranging between 9 and 14 acres in size. Planning Commission will take appropriate action.

5.2 DISCUSSION AND ACTION – Vineyard Gateway 1 Site Plan Amendment

Mr. Steve Pruitt representing Vineyard Gateway 1 LLC, requests amended site plan approval for the Vineyard Gateway commercial development. Planning Commission will take appropriate action.

5.3 PUBLIC HEARING – Zoning Ordinance Changes

The Vineyard Town Planning Commission shall hold a Public Hearing to consider amendments to the Town Zoning Ordinance and Town Zoning Map. Topics may include, but are not limited to: signs, procedures, definitions, and land use tables. Citizens, property owners, and all other members of the public are encouraged to attend and participate.

6. PLANNING COMMISSION MEMBERS' REPORTS

7. STAFF REPORTS

- *Aric Jensen – Town Planner*
- *Don Overson – Public Works Director and Town Engineer*

8. ITEMS REQUESTED FOR NEXT AGENDA

9. ADJOURNMENT

- **OPEN SESSION** – Open Session is defined as time set aside for the public to express their views. Each speaker is limited to three (3) minutes. If action is necessary, the item will be listed on a following agenda. However, the Planning Commission may elect to discuss the item if it is an immediate matter of concern.
- **SPECIAL ACCOMMODATION** – In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Kinsli McDermott, Deputy Recorder, at least 24 hours prior to the meeting by calling (801) 226-0210.
- **ELECTRONIC OR TELEPHONE PARTICIPATION** – One or more members of the Vineyard Planning Commission may participate electronically or by phone.

The foregoing notice and agenda was posted on the Utah Public Notice Website, posted on the Vineyard Town Website and at the Vineyard Town Office, delivered to each member of the Vineyard Town Planning Commission, and emailed to the Daily Herald and surrounding entities.

AGENDA NOTICING COMPLETED ON: November 17, 2015 at 5:00 pm

CERTIFIED (NOTICED) BY: /s/ Pamela Spencer
Pamela Spencer Town Clerk/Recorder



COMMUNITY DEVELOPMENT

DATE: November 18, 2015
FROM: Aric Jensen; Town Planner
Don Overson; Public Works Director
TO: Planning Commission
ITEM: Subdivision; Waters Edge 7a
ADDRESS: South of Vineyard Connector at approx. 100 East
APPLICANT: Garrett Seeley

BACKGROUND AND ANALYSIS:

The applicant is proposing to subdivide approximately 47 acres into (4) parcels ranging between 9 and 14 acres in size. The purpose of this subdivision is not to create individual building lots, rather it is to accomplish a “gross land sale”, meaning that it is for the purpose of selling the property to other developers who will apply in the future for specific development approvals. This may be accomplished without a plat, as set forth below

Section 108 – Exemptions from Plat Requirements

1. The town council, after receiving a recommendation from the planning commission may approve a subdivision of ten lots or less without a plat, by certifying in writing that:

a. The municipality has provided notice as required by ordinance; and

b. The proposed subdivision:

- i. Is not traversed by the mapped lines of a proposed street as shown in the general plan and does not require the dedication of any land for street or other public purposes;*
- ii. Has been approved by the culinary water authority and the sanitary sewer authority; and*
- iii. Conforms to all applicable land use ordinances or has properly received a variance from the requirements of an otherwise conflicting and applicable land use ordinance.*

RECOMMENDED MOTION:

RECOMMEND APPROVAL of the proposed subdivision of approximately 47 acres into (4) parcels ranging in size from 9 to 14 acres as shown on the attached survey, with the following conditions and findings:

Conditions

- 1. If necessary, the applicant provides an updated PR and makes any outstanding redline corrections,
- 2. The applicant pays all fees and bonds,

3. This subdivision does not guarantee or convey any building rights or privileges; any owner of any parcel created herein must apply for site plan and/or additional subdivision approvals before any construction thereon.

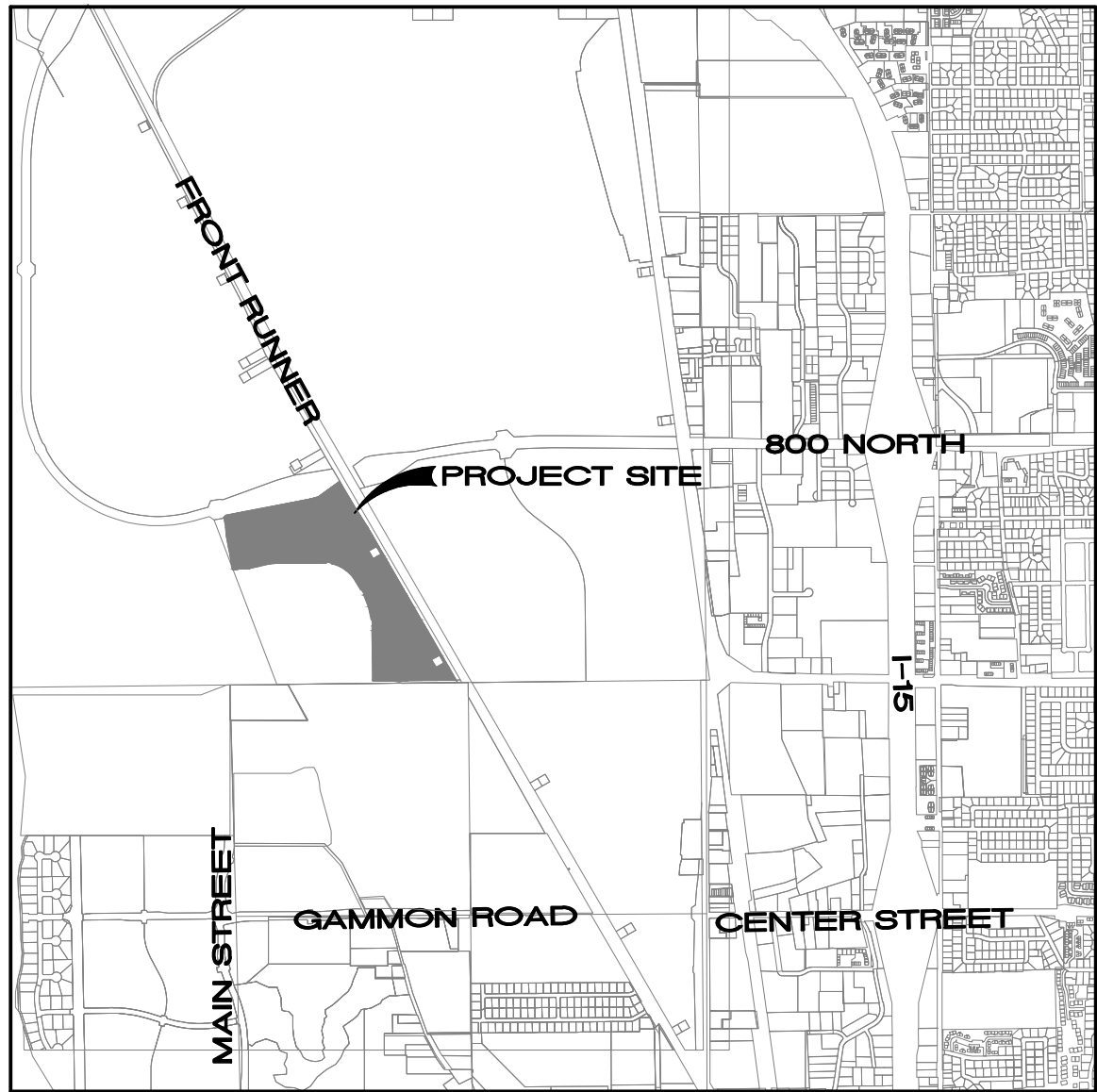
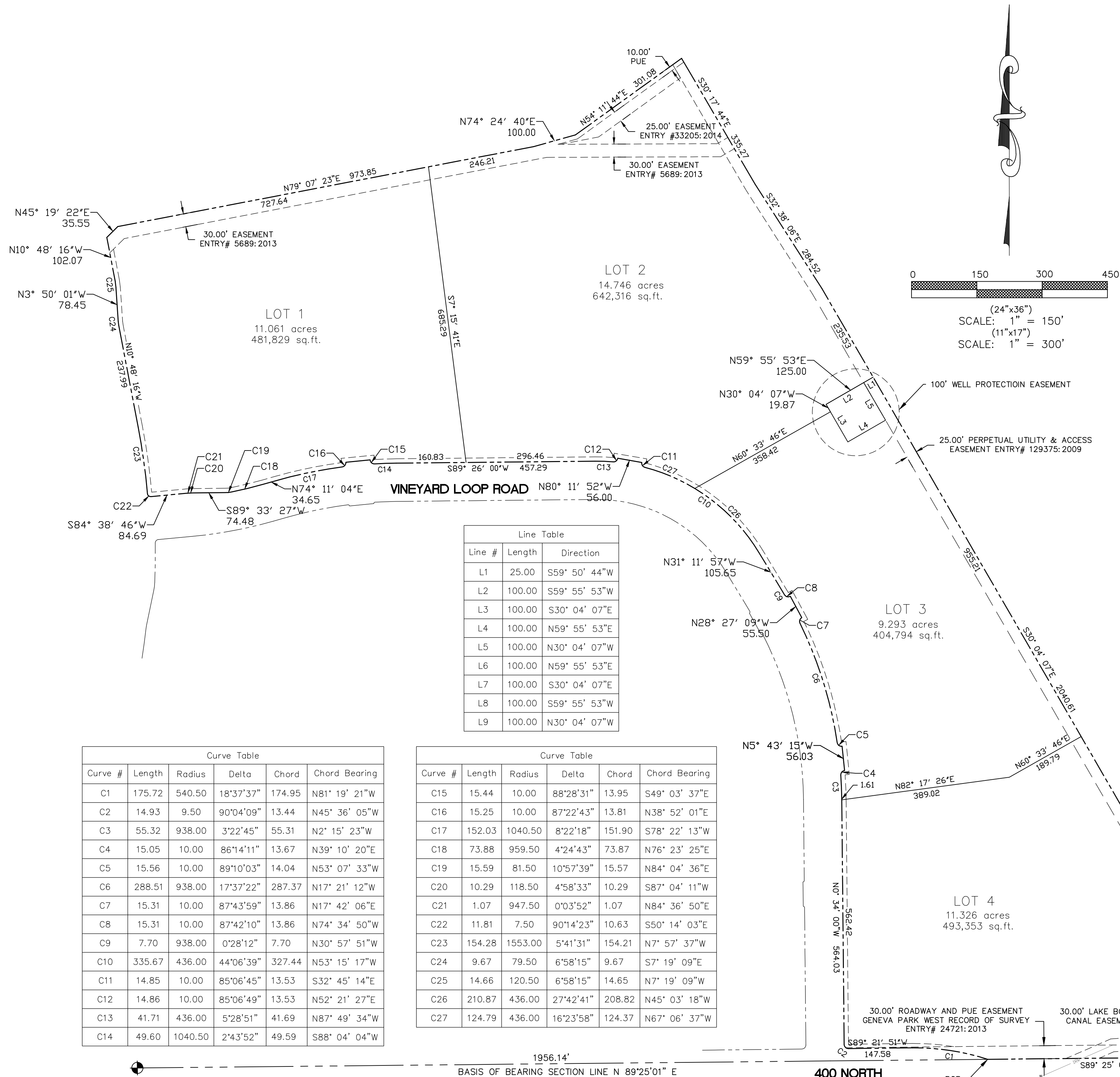
Findings

1. The proposal qualifies for a plat exemption;
2. The Engineering Department recommends approval;
3. The proposed subdivision appears to confirm to all town standards.

ATTACHMENTS:

Waters Edge 7a Survey Map

WATER'S EDGE PHASE 7 PLAT "A"
LOCATED IN THE SOUTHWEST QUARTER OF
SECTION 8, TOWNSHIP 6 SOUTH, RANGE 2 EAST,
SALT LAKE BASE AND MERIDIAN



VICINITY MAP
NTS

BOUNDARY DESCRIPTION CONTINUED

thence Westerly 41.71 feet along the arc of a 436.00 foot radius curve to the left, through a central angle of 05°28'51", the chord of which bears North 87°49'34" West 41.69 feet; thence South 89°26'00" West 457.29 feet; thence Westerly 49.60 feet along the arc of a 1040.50 foot radius curve to the left, through a central angle of 02°43'52", the chord of which bears South 88°04'04" West 49.59 feet; thence Northwesterly 15.44 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 88°28'31", the chord of which bears North 49°03'36" West 13.95 feet; thence South 84°26'00" West 56.00 feet; thence Southwesterly 15.25 feet along the arc of a non tangent 10.00 foot radius curve to the right, through a central angle of 87°22'43", the chord of which bears South 38°52'01" West 13.81 feet; thence Southwesterly 152.03 feet along the arc of a 1040.50 foot radius curve to the left, through a central angle of 08°22'18", the chord of which bears South 78°22'13" West 151.90 feet; thence South 74°11'04" West 34.65 feet; thence Southwesterly 73.89 feet along the arc of a 959.50 foot radius curve to the left, through a central angle of 04°24'43", the chord of which bears South 76°23'26" West 73.87 feet; thence Westerly 15.59 feet along the arc of a 81.50 foot radius curve to the right, through a central angle of 10°57'39", the chord of which bears South 84°04'37" West 15.57 feet; thence South 89°33'27" West 74.48 feet; thence Westerly 10.29 feet along the arc of a 118.50 foot radius curve to the left, through a central angle of 04°58'33", the chord of which bears South 87°04'10" West 10.29 feet; thence Northwesterly 1.07 feet along the arc of a 947.50 foot radius curve to the right, through a central angle of 00°03'52", the chord of which bears South 84°36'50" West 1.07 feet; thence South 84°38'46" West 84.68 feet; thence Northwesterly 11.81 feet along the arc of a 7.50 foot radius curve to the right, through a central angle of 90°14'23", the chord of which bears North 50°14'03" West 10.63 feet; thence Northwesterly 154.28 feet along the arc of a 1553.00 foot radius curve to the left, through a central angle of 05°41'31", the chord of which bears North 07°57'37" West 154.22 feet; thence North 10°48'16" West 237.99 feet; thence Northwesterly 9.67 feet along the arc of a 79.50 foot radius curve to the right, through a central angle of 06°58'15", the chord of which bears North 07°19'09" West 9.67 feet; thence North 03°50'01" West 78.45 feet; thence Northwesterly 14.66 feet along the arc of a 120.50 foot radius curve to the left, through a central angle of 06°58'15", the chord of which bears North 07°19'09" West 14.65 feet; thence North 10°48'16" West 102.06 feet; thence North 45°19'22" East 35.55 feet; thence North 79°07'23" East 973.85 feet; thence North 74°24'40" East 100.00 feet; thence North 54°11'44" East 301.08 feet; thence South 30°17'44" East 335.27 feet; thence South 32°38'06" East 284.52 feet; thence South 30°04'07" East 2040.61 feet; thence South 89°25'01" West 640.96 feet along the section line to the point of beginning.

46.885 acres more or less.

SURVEYOR'S CERTIFICATE

I, TRAVIS TRANE, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 5152741, as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described herein, and have subdivided said tract of land into lot and streets, together with easements, hereafter to be known as WATER'S EDGE PHASE 7 PLAT "A" and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

BOUNDARY DESCRIPTION

Beginning at a point which is North 89°25'01" East 1956.14 feet along the section line from the Southwest Corner of Section 8, Township 6 South, Range 2 East, Salt Lake Base and Meridian thence Northwesterly 175.72 feet along the arc of a 540.50 foot radius curve to the left, through a central angle of 18°37'37", the chord of which bears North 81°19'21" West 174.95 feet; thence South 89°21'51" West 147.58 feet; thence Northwesterly 14.93 feet along the arc of a 9.50 foot radius curve to the right, through a central angle of 90°04'09", the chord of which bears North 45°36'05" West 13.44 feet; thence North 00°34'00" West 564.03 feet; thence Northerly 55.32 feet along the arc of a 938.00 foot radius curve to the left, through a central angle of 03°22'45", the chord of which bears North 02°15'23" West 55.31 feet; thence Northeasterly 15.05 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 86°14'11", the chord of which bears North 39°10'20" East 13.67 feet; thence North 05°43'15" West 56.03 feet; thence Northwesterly 15.56 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 89°10'03", the chord of which bears North 53°07'33" West 14.04 feet; thence Northerly 288.51 feet along the arc of a 938.00 foot radius curve to the left, through a central angle of 17°37'22", the chord of which bears North 17°21'12" West 287.37 feet; thence Northwesterly 15.31 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 87°43'59", the chord of which bears North 17°42'06" East 13.86 feet; thence North 28°27'09" West 55.50 feet; thence Northwesterly 15.31 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 87°42'10", the chord of which bears North 74°34'50" West 13.86 feet; thence Northwesterly 7.70 feet along the arc of a 938.00 foot radius curve to the left, through a central angle of 00°28'12", the chord of which bears North 30°57'51" West 7.70 feet; thence North 31°11'57" West 105.65 feet; thence Northwesterly 335.67 feet along the arc of a 436.00 foot radius curve to the left, through a central angle of 44°06'39", the chord of which bears North 53°15'17" West 327.44 feet; thence Northwesterly 14.85 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 85°06'45", the chord of which bears North 32°45'14" West 13.53 feet; thence North 80°11'52" West 56.00 feet; thence Southwesterly 14.86 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 85°06'49", the chord of which bears South 52°21'27" West 13.53 feet;

DATE _____ SURVEYOR _____
(See Seal Below)

OWNER'S DEDICATION

Know all men by these presents that the undersigned are the owners of the above described tract of land, and hereby cause the same to be divided into lots, parcels and streets, together with easements as set forth to be hereafter known as WATER'S EDGE PHASE 7 PLAT "A" and do hereby dedicate for the perpetual use of the public all roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____
DAY OF _____, A.D. 20 _____

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF UTAH) S.S.

ON THE _____ DAY OF _____, A.D. 20 _____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

NOTARY _____ NOTARY PUBLIC SIGNATURE _____

COMMISSION # _____

MY COMMISSION EXPIRES _____

A NOTARY PUBLIC COMMISSIONED IN UTAH

ACCEPTANCE BY LEGISLATIVE BODY

THE _____ OF _____
COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20 _____

ATTEST _____
CLERK-RECORDER
(See Seal Below)

PLAT "A"

WATER'S EDGE PHASE 7

A RESIDENTIAL SUBDIVISION

RECORDING INFORMATION

VINEYARD, UTAH COUNTY, UTAH
SCALE: 1"= 150 FEET

SURVEYOR SEAL NOTARY PUBLIC SEAL CITY-COUNTY ENGINEER SEAL CLERK-RECORDED SEAL

MAYOR APPROVAL

APPROVED BY THE MAYOR ON THIS
DAY OF _____, A.D., 20 _____

MAYOR

FIRE CHIEF APPROVAL

APPROVED BY THE FIRE CHIEF ON THIS
DAY OF _____, A.D., 20 _____

TOWN FIRE CHIEF

PLANNING COMMISSION
APPROVAL

APPROVED BY THE PLANNING COMMISSION
ON THIS DAY OF _____, A.D., 20 _____

CHAIRMAN, PLANNING COMMISSION

TOWN OF VINEYARD
ENGINEER APPROVAL

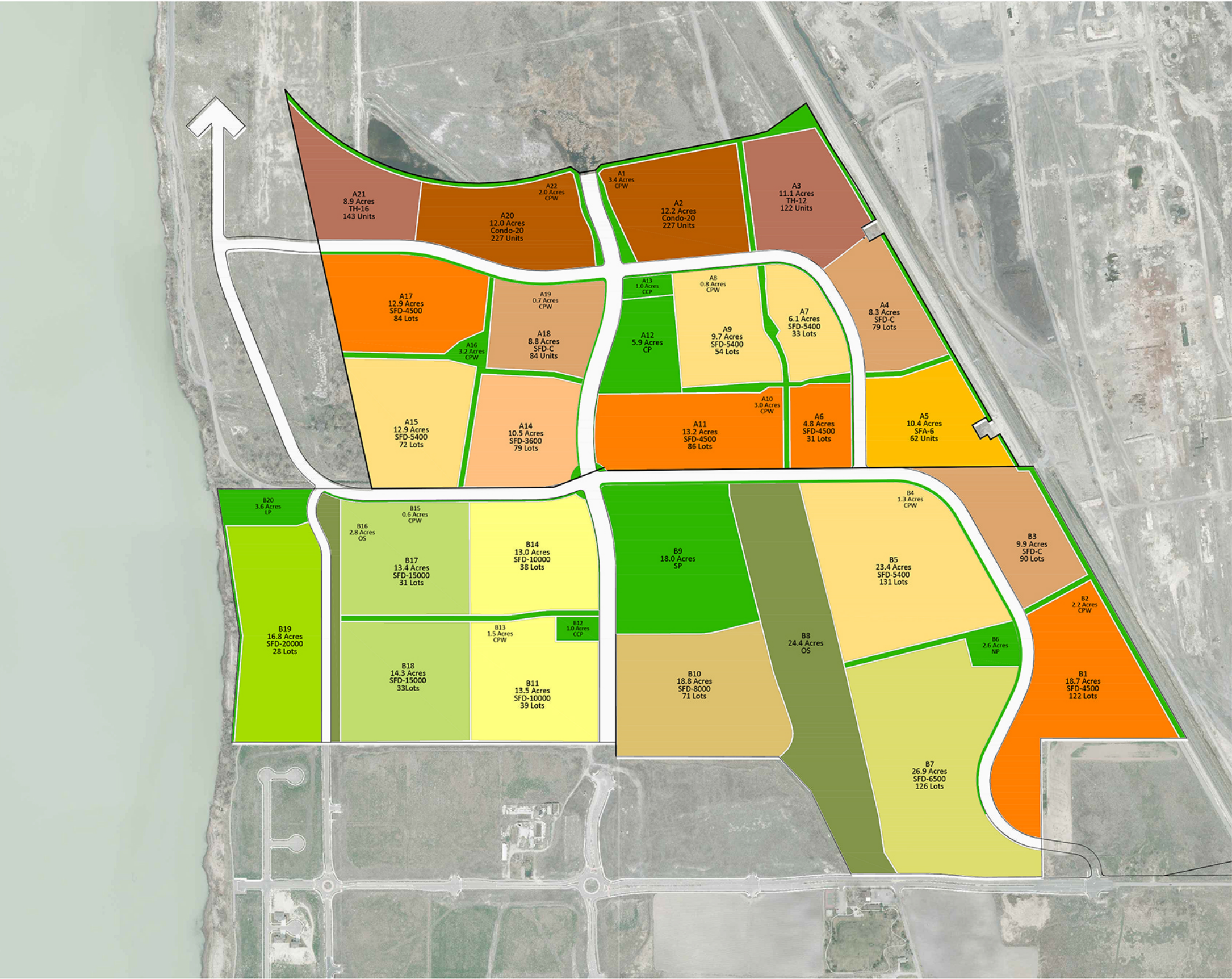
APPROVED BY THE TOWN ENGINEER
ON THIS DAY OF _____, A.D., 20 _____

TOWN OF VINEYARD ENGINEER

TOWN OF VINEYARD
ATTORNEY

APPROVED BY TOWN OF VINEYARD ATTORNEY
ON THIS DAY OF _____, A.D., 20 _____

TOWN OF VINEYARD ATTORNEY



WatersEdge

Planning Area	Acres	Land Uses	Open Space	Density (DU/Acre)	Lots / Units
A1	3.4	Community Parkway	3.4		
A2	12.2	Condo-20		18.6	227
A3	11.1	TH-12		11.0	122
A4	8.3	SFD-C		9.5	79
A5	10.4	SFA-6		6.0	62
A6	4.8	SFD-4500		6.5	31
A7	6.1	SFD-5400		5.4	33
A8	0.8	Community Parkway	0.8		
A9	9.7	SFD-5400		5.6	54
A10	3.0	Community Parkway	3.0		
A11	13.2	SFD-4500		6.5	86
A12	5.9	Community Park	5.9		
A13	1.0	Community Center Park	1.0		
A14	10.5	SFD-3600		7.5	79
A15	12.9	SFD-5400		5.6	72
A16	3.2	Community Parkway	3.2		
A17	12.9	SFD-4500		6.5	84
A18	8.8	SFD-C		9.5	84
A19	0.7	Community Parkway	0.7		
A20	12.0	Condo-20		18.9	227
A21	8.9	TH-17		17.0	151
A22	2.0	Community Parkway	2.0		
Subtotal	159.8		18.0		1,391
Streets	15.0				
Total	174.8		18.0	8.0	1,391

Planning Area	Acres	Open Space	Density (DU/Acre)	Lots / Units
B1	18.7	SFD-4500	6.5	122
B2	2.2	Community Parkway	2.2	
B3	9.9	SFD-C	9.0	90
B4	1.3	Community Parkway	1.3	
B5	23.4	SFD-5400	5.6	131
B6	2.6	Neighborhood Park	2.6	
B7	26.9	SFD-6500	4.7	126
B8	24.4	Open Space	24.4	
B9	18.0	Sports Park	18.0	
B10	18.8	SFD-8000	3.8	71
B11	13.5	SFD-10000	2.9	39
B12	1.0	Community Center Park	1.0	
B13	1.5	Community Parkway	1.5	
B14	13.0	SFD-10000	2.9	38
B15	0.6	Community Parkway	0.6	
B16	2.8	Open Space	2.8	
B17	13.4	SFD-15000	2.3	31
B18	14.3	SFD-15000	2.3	33
B19	16.8	SFD-20000	1.7	28
B20	3.6	Lake Park	3.6	
Subtotal	226.7	57.9		709
Streets	17.4			
Total	244.1	57.9	2.9	709

Overall Subtotal	386.5	75.9		2,100
Overall Streets	32.4			
Overall Total	418.9	75.9	5.0	2,100

Figure 3
WatersEdge Master Planned Community

conceptual master plan



COMMUNITY DEVELOPMENT

DATE: November 18, 2015
FROM: Aric Jensen; Town Planner
TO: Planning Commission
ITEM: Amended Final Site Plan Approval
ADDRESS: 33 North Geneva Road
APPLICANT: Vineyard Gateway 1 LLC; Steve Pruitt

BACKGROUND AND ANALYSIS:

Mr. Steve Pruitt representing Vineyard Gateway 1 LLC, requests amended site plan approval for the Vineyard Gateway commercial development. The original development contemplated approximately 21,986 sq ft of building space, and the amended plan shows 18,595 sq ft of building space, plus the possibility of constructing a fifth building of approximately 3200 sq ft on the corner of Geneva and Mill Road for a total of 21,795 sq ft. At this time the Commission is not approving the fifth building and related site improvements, but the applicant has shown how that building could fit with the rest of the development if approved at a future time. The reason the fifth building has been withheld is because the applicant is considering a drive thru use, which requires a conditional use permit in addition to site plan approval, and he is not ready to make application.

Based on the ratio of 1 stall per 250 sq ft of commercial building and a total of 18,595 sq ft, the project is required to have 75 stalls; 81 are provided. At buildout, the project will have approximately 24,000 sq ft of landscaping (24% of total site) which is in excess of the minimum of 10% required within the RMU zoning designation. The proposed buildings A, D, and B will be single story and constructed of similar materials and colors as the existing Building C.

FINDINGS:

Staff believes that with the conditions listed as part of the recommended action, the application meets the minimum Town requirements with the following findings:

- It conforms to the Vineyard General Plan.
- It satisfies the requirements of the Zoning Ordinance.
- It conforms to the provisions of the RMU zoning designation.

RECOMMENDATION:

Staff recommends that the Planning Commission **RECOMMEND APPROVAL** of the amended Vineyard Gateway site plan subject to the following conditions:

1. The applicant shall install all uncompleted sections of sidewalk and curb and gutter located within the adjacent street rights-of-way, including adjacent to the area shown for future development;

2. All landscaping shall be installed prior to any certificate of occupancy, with the exception of the landscaping immediately surrounding the area of future development.
3. Any discrepancies between the existing, approved site plan drawings and the proposed amended site plan shall be resolved administratively.
4. This action does not endorse or otherwise entitle the applicant to the future development of a fifth building and related improvements (as represented by dashed lines on the amended site plan).
5. The applicant shall pay all required fees and bonds.

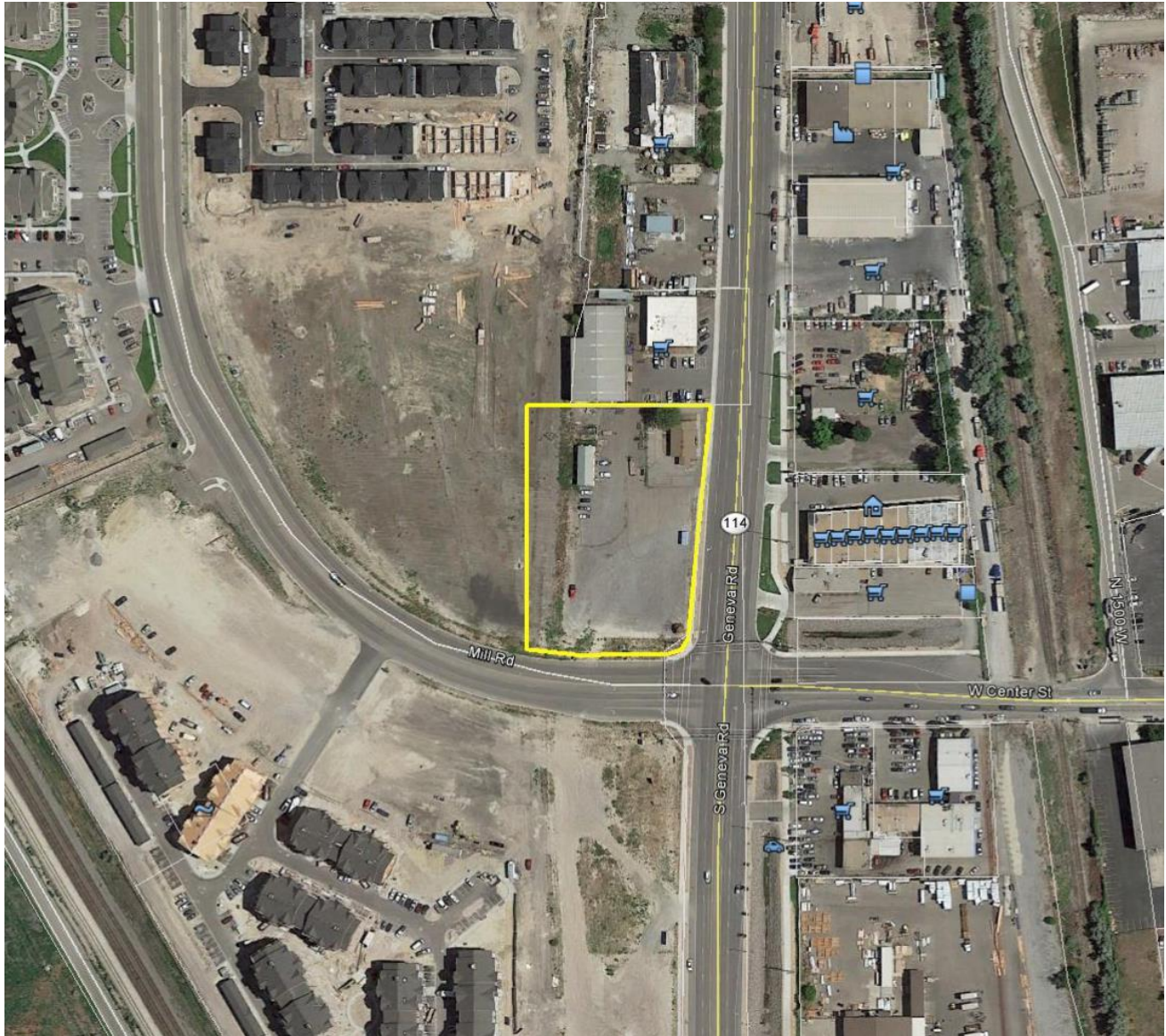
PROPOSED MOTION:

I move that the Commission **RECOMMEND APPROVAL** of the amended Vineyard Gateway site plan with the findings and conditions set forth in the staff report.

ATTACHMENTS:

Aerial Photo
Proposed Amended Site Plan
Existing Approved Site Plan
Application and Related Materials

Aerial Photo and Map Vineyard Gateway Commercial



VINEYARD GATEWAY

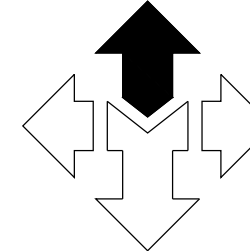
CONSTRUCTION PLANS

33 NORTH GENEVA ROAD

VINEYARD UTAH 84057

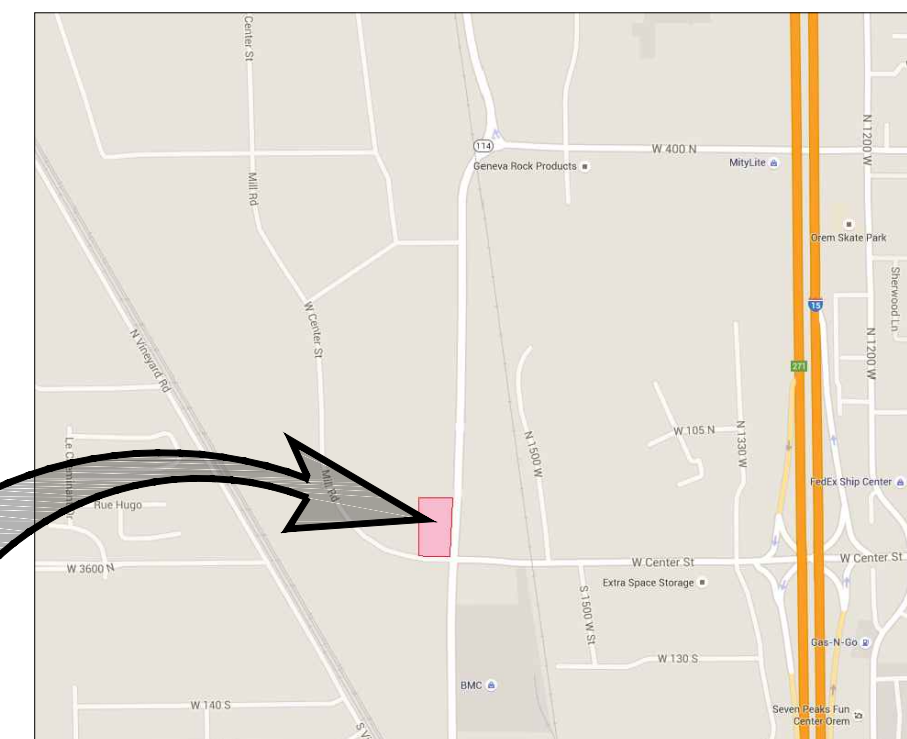
LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SE 17
T6S R2E SL 10 M.

NORTH



SCALE: 1" = 20'

0 10' 20' 40' 60'



VICINITY MAP
N.T.S.

SITE

CIVIL PLANS

SHEET	DESCRIPTION
C0.00	CIVIL COVER SHEET
C0.01	GENERAL NOTES, LEGEND AND ABBREVIATIONS
C1.01	HORIZONTAL CONTROL PLAN
C2.01	GRADING AND DRAINAGE PLAN
C2.02	OFF SITE DRIVE ACCESS
C2.03	EROSION CONTROL PLAN
C4.01	SITE UTILITY PLAN
C5.01	MISCELLANEOUS SITE DETAILS

LANDSCAPE PLANS

SHEET	DESCRIPTION
L1.01	PLANTING PLAN

ELECTRICAL PLANS

SHEET	DESCRIPTION
E000	ELECTRICAL GENERAL NOTES AND SYMBOL SCHEDULE
E101	ELECTRICAL SITE PLAN
E101A	ELECTRICAL SITE PHOTOMETRIC PLAN

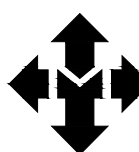
ALL WORK AND MATERIALS FOR WATER
MUST CONFORM TO THE TOWN OF
VINEYARD STANDARDS AND
SPECIFICATIONS

ALL WORK AND MATERIALS FOR SEWER
MUST CONFORM TO THE TIMPANOGOS
SPECIAL SERVICE DISTRICT STANDARDS
AND SPECIFICATIONS

ALL WORK AND MATERIALS MUST
CONFORM TO THE TOWN OF VINEYARD
STANDARDS AND SPECIFICATIONS

DEVELOPER & OWNER

OWNER: EQUIWEST
CONTACT: STEVE PRUITT
3963 EAST ALPINE CIRCLE
SANDY, UT 84093
PHONE: CONTACT PHONE

 **McNEIL ENGINEERING**TM
Economic and Sustainable Designs, Professionals You Know and Trust
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilengineering.com
Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

1.1 COMPLIANCE

1. ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
2. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
3. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
3. ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

[illegible]

1. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF EXISTING AND ADJACENT PUBLIC.
3. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
4. CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO: VEHICLE AND EQUIPMENT STAGING, STORAGE OF MATERIALS AND EQUIPMENT, AND THE LOCATION OF ALL CONSTRUCTION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR ANY STORAGE AND OUTSIDE CONSTRUCTION ACTIVITIES.
5. CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADES, AND TRAFFIC DELINEATION SHALL CONFORM TO MUTCD, OR OTHER TRADE OR INDUSTRY STANDARDS.
6. CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
7. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY REGULATIONS.
8. CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH THIS CONSTRUCTION. SUCH PROTECTION SHALL BE MAINTAINED THROUGHOUT THE ENTIRE WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE GENERAL PUBLIC.
9. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW SURFACE.
10. ALL MATERIAL, ERECTION AND/OR REMOVAL SHALL BE PERMITTED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO APPROACH AND DEPART THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
11. THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTORS OPERATION SHALL BE REPAIRED OR REPLACED OR SUBSTITUTED TO THE ENGINEER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

1. SITE CONCRETE SHALL BE A MINIMUM 5 BAG NO. 4000 P/S @ 28 DAYS * MAXIMUM SLUMP OF 4" AIR ENTRIES SHALL BE 0.01% TO 0.02%
 - a. SLABS ON-GRADE WILL BE TYPICALLY SPORED (14" @ 24" INTERVALS) NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR THICKNESS, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AT EACH OBJECT OR OBJECT CORNER. JOINTS WILL BE CHANGED IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
2. CONCRETE WATERWAYS, CURBS/WALLS, MOWSTRIPS, CURBS AND GUTTER, ETC. WILL TYPICALLY BE SPORED (14" @ 24" INTERVALS) NOT TO EXCEED 10 FEET MAXIMUM FULL DEPTH EXPANSION JOINTS WILL BE PLACED AT EACH OBJECT CORNER. JOINTS WILL BE CHANGED IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
3. UNLESS OTHERWISE NOTED, ALL SLABS ON-GRADE WILL HAVE A MINIMUM 6" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
4. UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRADE OVER A WELL COMPACTED 10% SUBGRADE.
5. ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED; ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
6. ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT TO BE APPLIED TO EXPOSED JOINTS.
2. ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 5" OVER OF COMPACTED (95% ROAD) BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE. UNLESS NOTED OTHERWISE - SEE SPECIFICATIONS, AND DETAIL D21 SHEET C301.
- a. ASPHALT PAVEMENT SHALL BE PLACED ON A MINIMUM 4" SUBGRADE (SEE DESIGN)
- b. SURFACE COURSE SHALL BE 1 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING DATE.
- c. AS PAVEMENT TO BE 1" ABOVE FULL OF ALL GUTTER AFTER COMPACTION
- d. THICKNESSES OVER 2" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN

1. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS OF THE CITY OF CHICAGO. IN THE EVENT OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
3. ALL EXISTING UNFILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDINGS FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE 2% ABOVE N.C. 2000 PLASTICITY LIMIT.
4. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREAS AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
5. SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
6. ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

UTILITIES

1. THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO OBTAIN ALL NECESSARY RECORDS AND TO VERIFY THE LOCATION OF ALL UTILITIES THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
2. CONTRACTOR TO VERIFY BY POTHOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
3. CONTRACTOR MUST START AT END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO PROVIDE THE FIELD RECORD FOR THE UTILITY CONTRACTOR TO VERIFY THE LOCATION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
4. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITY LINES PRIOR TO CONSTRUCTION.
5. UTILITIES IN THE FIELD BY POTHOLING A MINIMUM OF 300' FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED SHALL BE ASSUMED AS APPROPRIATE. RECORDS, FIELD SURVEY AND VERIFICATION.
6. CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
7. SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
8. STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
9. ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND COVERS.
10. ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH GROUT TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. THE JOINT SHALL BE COVERED WITH A 12" DIA. CONCRETE RING.
11. NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
12. ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

1. CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MAINTAINED WITH THE HORIZONTAL ALIGNMENT (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

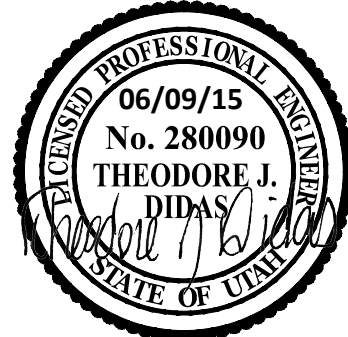
1. PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
"ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
"ROUTES SHALL HAVE A 5.00% (1:20) MAXIMUM SIDEWALK SLOPE.
"RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE."
2. ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
3. THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

NEW	EXISTING	NEW	EXISTING
			SECTION CORNER (FOUND)
			SECTION CORNER (NOT FOUND)
			STREET MONUMENT
			BRASS CAP MONUMENT
			POWER POLE
			UTILITY POLE
			GUY ANCHOR
			POWER TRANSFORMER
			TRAFFIC SIGNAL CABINET
			LIGHT POLE
			TELEPHONE RISER
			TELEPHONE MANHOLE
			TRAFFIC SIGNAL BOX
			WATER MANHOLE
			WATER VALVE
			WATER METER
			FIRE HYDRANT
			SANITARY SEWER MANHOLE
			SANITARY SEWER CLEANOUT
			STORM DRAIN MANHOLE
			STORM DRAIN CURB INLET
			STORM DRAIN CATCH BASIN
			STORM DRAIN CLEANOUT
			STORM DRAIN COMBO BOX
			MAILBOX
			SIGN
			FLOW DIRECTION
			SPOT ELEVATION
			CONIFEROUS TREE
			DECIDUOUS TREE

[illegible]

NEW	EXISTING	
		SECTION CORNER (FOUND)
		SECTION CORNER (NOT FOUND)
		STREET MONUMENT
		BRASS CAP MONUMENT
		POWER POLE
		UTILITY POLE
		GUY ANCHOR
		POWER TRANSFORMER
		TRAFFIC SIGNAL CABINET
		LIGHT POLE
		TELEPHONE RISER
		TELEPHONE MANHOLE
		TRAFFIC SIGNAL BOX
		WATER MANHOLE
		WATER VALVE
		WATER METER
		FIRE HYDRANT
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		STORM DRAIN MANHOLE
		STORM DRAIN CURB INLET
		STORM DRAIN CATCH BASIN
		STORM DRAIN CLEANOUT
		STORM DRAIN COMBO BOX
		MAILBOX
		SIGN
		FLOW DIRECTION
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		CONIFEROUS TREE
		DECIDUOUS TREE

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VINEYARD GATEWAY

**33 NORTH GENEVA ROAD
VINEYARD, UTAH 84057**

SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

[illegible]

PROJECT NO: 15093

DRAWN BY: ARP

CHECKED BY: TJD

DATE: 05/28/15

GENERAL NOTES

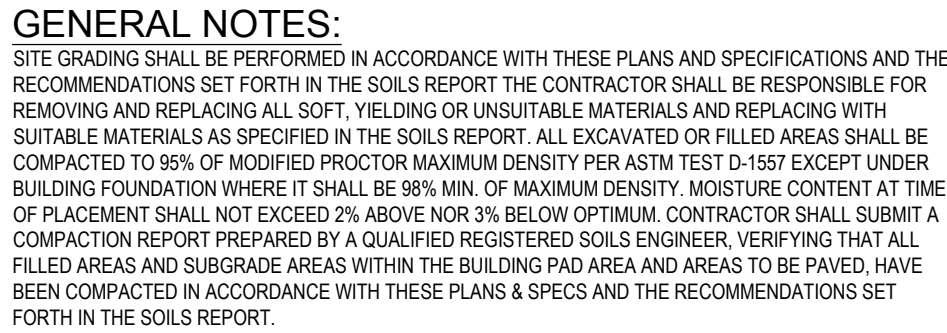
LEGEND AND ABBREVIATIONS

C0.01



NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.



THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.02 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OF REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- 2 STORM DRAIN CATCH BASIN WITH 3.67' DIA. ORIFICE OPENING AND HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'A5' FOR CATCH BASIN. SEE DETAIL 'B3' FOR ORFICE PLATE. SHEET C5.01
- 3 STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'A1', SHEET C5.01
- 4 STORM DRAIN ORIGIN INLET BOX WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'A3', SHEET C5.01.
- 5 CONNECT TO EXISTING CATCH BASIN.
- 6 15" DIAMETER HDPE STORM DRAIN LINE.
- 7 12" DIAMETER HDPE STORM DRAIN LINE.
- 8 8" DIAMETER HDPE STORM DRAIN LINE.
- 9 HIGH WATER MARK FOR A 25 YEAR STORM. SEE EXCEL SPREADSHEET CALCULATIONS, THIS SHEET ELEVATION: 4551.70'

	STORM RAINFALL CALCULATION SHEET			Title: Vineyard Scope: Site Drainage Design	
	Project No: 15093			Engineer: TJD Authority:	
	Mobil Engineering 8610 S Sandy Pkwy, Sandy, UT 84070			Check: TJD Rev. No: 0	

**VINEYARD COMMERCIAL
STORM DRAIN DETENTION ANALYSIS**

Design Philosophy:

The design criteria for the storm water detention analysis is the 25-year storm. Rainfall data was taken from Town of Vineyard design standards

Area Identification (A) (C) (C'A)

Impervious: 172,228 sf x 0.90 = 155,006 sf

Permeous: 38,503 sf x 0.15 = 5,826 sf

Sum= 211,731 sf 0.76 (ave) 160,931 sf

$Q = CIA$

(0.20 cfs/acre)

25-Year Storm		Maximum Allowable Storage = 0.97(25)					
Time (min)	Rate (cfs)	Rainfall (inches)	Q in (cfs)	Add Q in (cfs)	Total Q in (cfs)	Q out (cfs)	Storage (cfs)
5	3.940	0.32	14.30	0.00	14.30	0.972	4.000
10	2.840	0.49	10.95	0.00	10.95	0.972	5.988
15	2.480	0.62	9.24	0.00	9.24	0.972	7.440
30	1.720	0.86	6.41	0.01	6.41	0.972	9.784
60	1.090	1.09	4.08	0.00	4.08	0.972	11.118
120	0.620	1.24	2.31	0.01	2.31	0.972	9.630
180	0.450	1.35	1.68	0.00	1.68	0.972	7.606
360	0.260	1.56	0.97	0.00	0.97	0.969	0
720	0.160	1.92	0.60	0.00	0.60	0.596	0
1440	0.100	2.40	0.37	0.00	0.37	0.373	0

Detention Provided Via Storm Pipes:

76 LF	8" HDPE	0.349 C/F/LF	27 cf
677 LF	12" HDPE	0.785 C/F/LF	532 cf
137 LF	15" HDPE	1.227 C/F/LF	168 cf
Total Pipe Storage			726 cf

Detention Provided Via Storm Boxes:

Box Size	Volume
(10') 2'x2'4"	160 cf
Total Pipe Storage	160 cf

Detention Provided Via Ponding:

Parking Lot	10,449 cf
Landscape Areas	
Total Detention Storage	10,449 cf

Total Detention Provided : 11,335 cf

Total Detention Required : 11,118 cf

←

The outfall is designed upon the following data:

Total acreage of development: 4.86 acres

Allowable storage: 0.97 cfs (0.20 cfs/acre)

Max head (center outfall to hwy): 7.8

Diameter for new outfall: 3.6 inch (max. size)

$Q = C_o A_o \sqrt{2gh}$

VINEYARD GATEWAY

33 NORTH GENEVA ROAD
VINEYARD, UTAH 84057
SEE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, S1B &

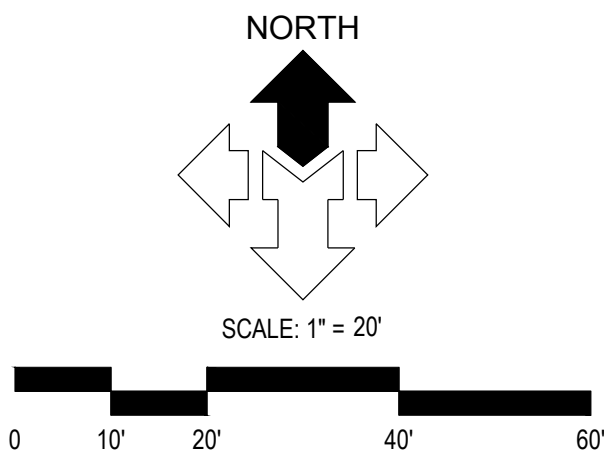
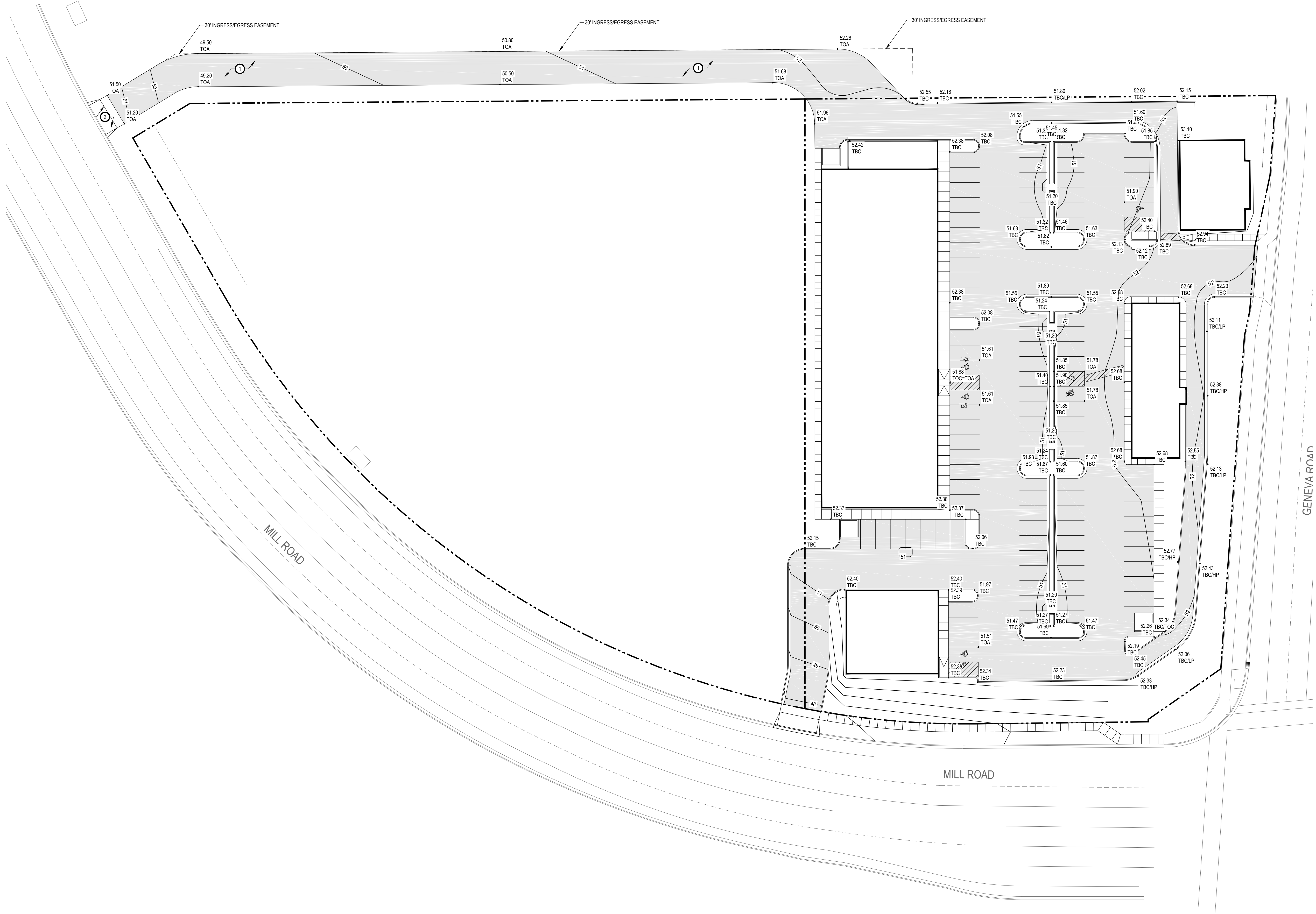
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PROJECT NO:	15093
DRAWN BY:	ARP
CHECKED BY:	TJD
DATE:	05/28/15

GRADING AND DRAINAGE PLAN

C2.01

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GENERAL NOTES:

ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED
SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

EYED NOTES:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D1', SHEET C5.01.
 - 2 CONCRETE DRIVE APPROACH PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 'B'.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

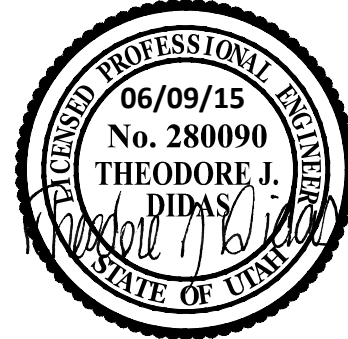
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NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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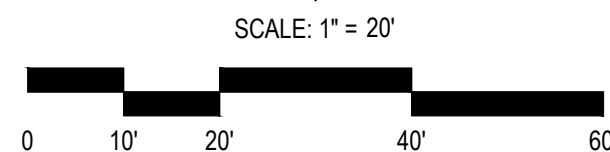


VINEYARD GATEWAY
33 NORTH GENEVA ROAD
VINEYARD, UTAH 84057
SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REVISIONS	
REV	DESCRIPTION

PROJECT NO: 15093
DRAWN BY: ARP
CHECKED BY: TJD
DATE: 05/28/15

OFF SITE
DRIVE ACCESS
C2.02



THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.30 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE

THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL

WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING

THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OF REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C4', SHEET C5.04.
- ② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'A1', SHEET C5.04.
- ③ TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'C1', SHEET C5.04.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call
BEFORE YOU
Die

1-800-662-4111

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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PROJECT NO: 15093

DRAWN BY: AR

CHECKED BY: TJD

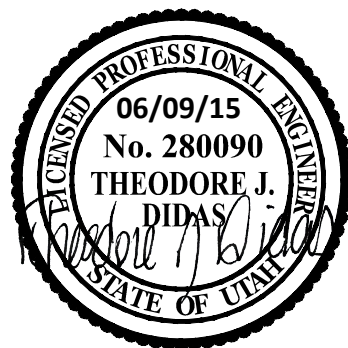
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EROSION CONTROL PLAN

C2.03



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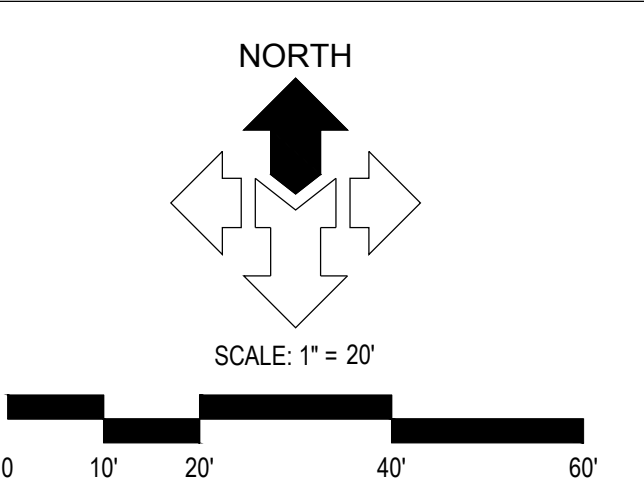
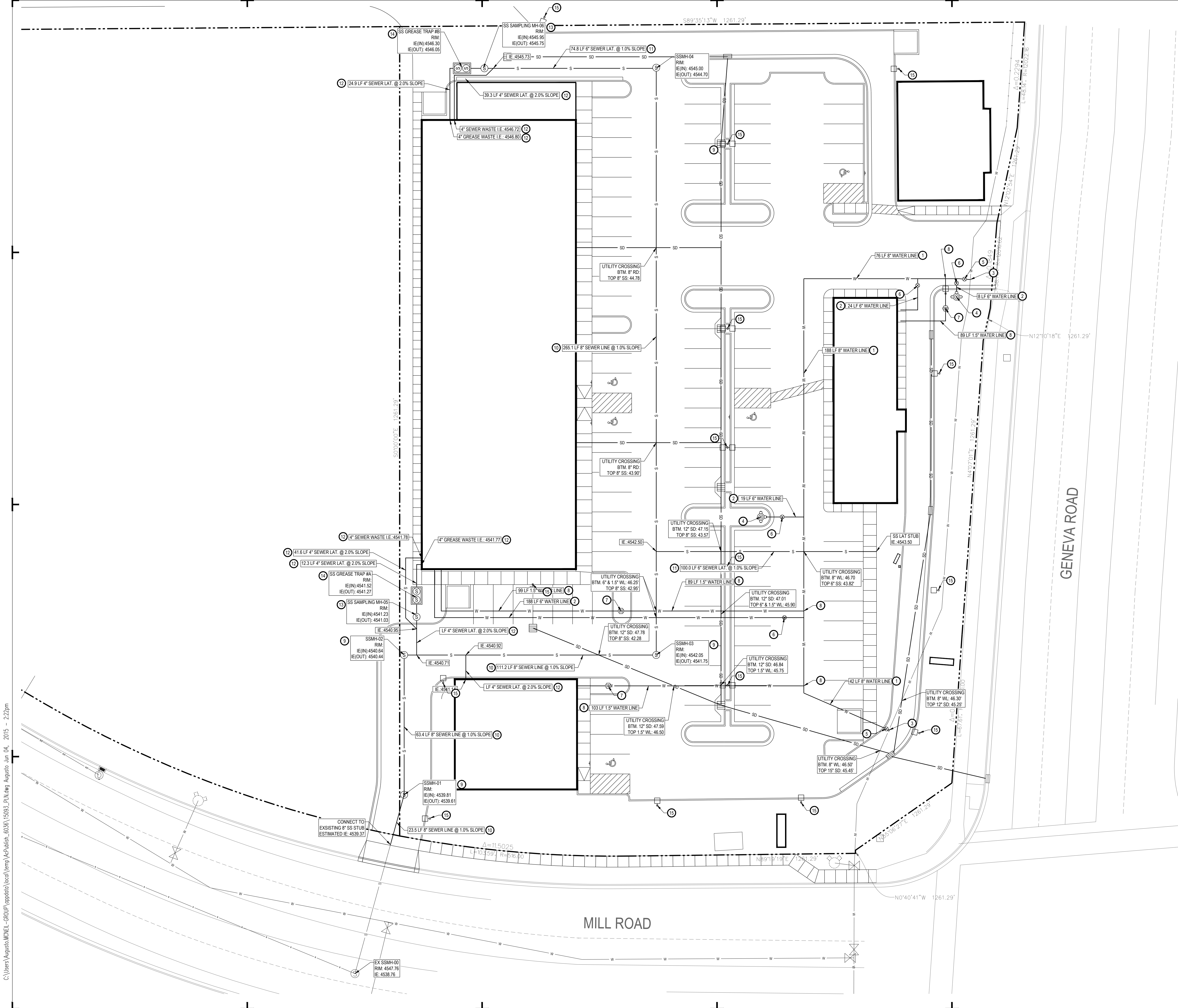


VINEYARD GATEWAY

**33 NORTH GENEVA ROAD
VINEYARD UTAH 84057**

SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

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GENERAL NOTES:
CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY LINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURY LINK.

CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS FOR DESIGN OF GAS LINE SERVICE TO BUILDING. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY SERVICES
WATER: TOWN OF VINEYARD
SEWER: TIMPANOGOS SPECIAL SERVICE DISTRICT
NATURAL GAS: QUESTAR GAS
ELECTRICAL POWER: ROCKY MOUNTAIN POWER
TELEPHONE: CENTURY LINK

- EYED NOTES:**
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 8" PVC C-900 WATER LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE TOWN OF VINEYARD STANDARD DRAWING DETAILS NO. '13' FOR TRENCHING AND NO. '18' FOR THRUST BLOCKING.
 - 2 6" DIP CLASS 52 FIRE LINE WITH POLYWRAP INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE TOWN OF VINEYARD STANDARD DRAWING DETAILS NO. '13' FOR TRENCHING AND NO. '18' FOR THRUST BLOCKING.
 - 3 CONNECT NEW 8" PVC C-900 WATER LINE TO EXISTING 8" WATER LINE.
 - 4 FIRE HYDRANT COMPLETE ASSEMBLY, PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '17'.
 - 5 8" GATE VALVE WITH VALVE BOX.
 - 6 6" GATE VALVE WITH VALVE BOX.
 - 7 1 1/2" WATER SERVICE METER SET PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '19'.
 - 8 1 1/2" TYPE 'K' COPPER WATER SERVICE LINE. CONNECT TO NEW 8" WATER MAIN PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '19'.
 - 9 4" DIAMETER SANITARY SEWER MANHOLE PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '14'.
 - 10 8" PVC SDR-35 SANITARY SEWER LINE, INCLUDING ALL FITTINGS. SEE TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '13' FOR TRENCHING.
 - 11 6" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING NEW CLEANOUTS AT 100-FOOT MAXIMUM SPACING PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '20'.
 - 12 4" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING NEW CLEANOUTS AT 100-FOOT MAXIMUM SPACING PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '20'.
 - 13 INSTALL NEW 4" DIAMETER SANITARY SEWER SAMPLING MANHOLE PER TIMPANOGOS SPECIAL SERVICE DISTRICT STANDARDS AND SPECIFICATIONS, DRAWING D-7.
 - 14 1200 GALLON GREASE INTERCEPTOR PER TIMPANOGOS SPECIAL SERVICE DISTRICT STANDARDS AND SPECIFICATIONS, DRAWING D-12.
 - 15 NEW LIGHT POLE. SEE ELECTRICAL PLANS FOR DETAILS.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before You Dig

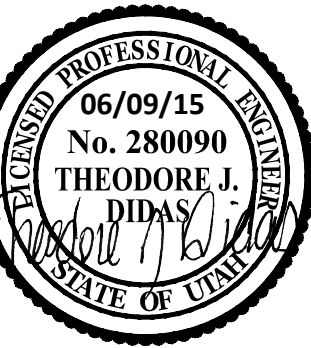
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NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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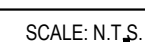
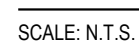
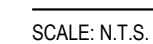
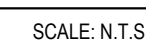
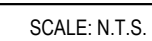
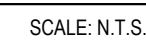
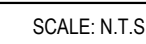
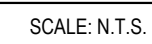
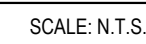


VINEYARD GATEWAY
33 NORTH GENEVA ROAD
VINEYARD, UTAH 84057
SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REVISIONS	
REV	DESCRIPTION
PROJECT NO: 15093	
DRAWN BY: ARP	
CHECKED BY: TJD	
DATE: 05/28/15	

SITE UTILITY PLAN

C4.01



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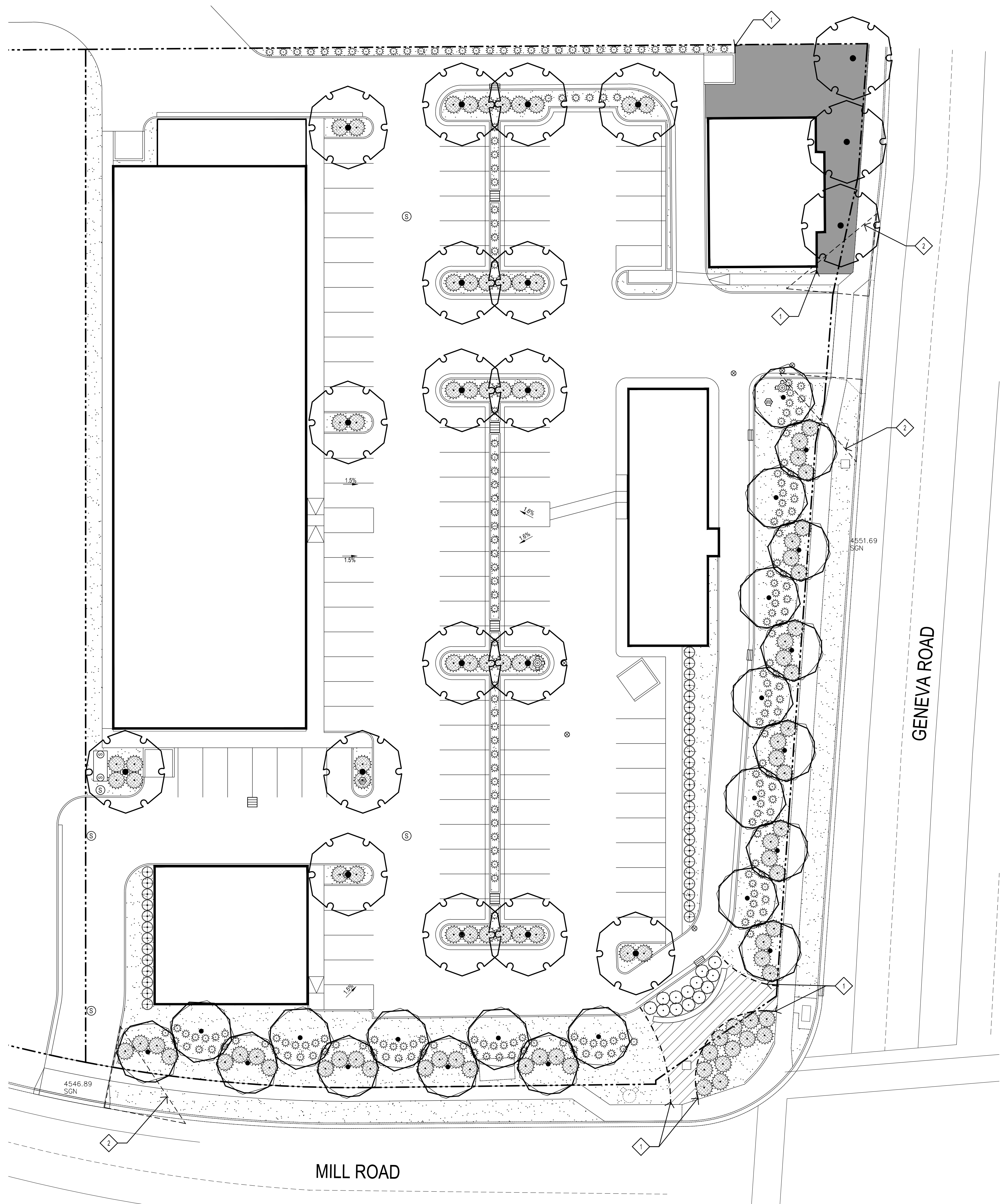
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1-800-852-4111

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

NOTICE

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.



PLANTING LEGEND

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	NOTE
TREES					
	21	IMPERIAL HONEY LOCUST	Gleditsia triacanthos inermis 'Imperial'	2" Caliper	See Detail EIL5.01
	22	HEARTLAND CATALPA	Catalpa speciosa 'Hiawatha 2'	2" Caliper	See Detail EIL5.01
SHRUBS					
	102	BLUE CHIP JUNIPER	Juniperus horizontalis 'Blue Chip'	5 Gallon	See Details B&CIL5.C
	13	ARCTIC FIRE DOGWOOD	Cornus stolonifera 'Arctic Fire'	5 Gallon	See Details B&CIL5.C
	38	WINTER GEM BOXWOOD	Buxus microphylla 'Winter Gem'	5 Gallon	See Details B&CIL5.C
PERENNIALS & GRASSES					
	221	KARL FOERSTER FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'	1 Gallon	See Detail DIL5.01
	as needed	STELLA D'ORO DAYLILY	Hemerocallis 'Stella D'Oro'	1 Gallon	See Detail DIL5.01 3'-0" On Center
DECORATIVE STONE					
	20,940 s.f.	STONE MULCH, 3/4" - 1-1/2" DIAMETER "SOUTHTOWN" WASHED FROM NEPHI SANDSTONE (435) 623-2332 OR APPROVED EQUAL INSTALLED A MINIMUM 3" DEEP.	Install over Dewitts Pro 5 weed barrier fabric. Rock shall be washed and free of dirt and other foreign debris. Mix an equal 1/2 portion of 3/4" and 1-1/2" rock size.		See Detail KIL5.01
LAWN					
	2,190 s.f.	LAWN SOD, "IMPERIAL BLUE" FROM CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL	Install over minimum 5" topsoil layer.		See Detail JIL5.01 & Planting Note 3

PLANTING NOTES

- ALL QUANTITIES ARE SHOWN AS AN AID ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL QUANTITY CALCULATIONS BASED ON THE PLANTING PLAN.
- PLANT COMMON NAMES ARE SHOWN AS AN REFERENCE ONLY. USE COMPLETE BOTANICAL NAMES WHEN PURCHASING ALL PLANT MATERIAL.
- EXCAVATE, REMOVE AND FEATHER EXISTING SOIL ALONG ALL EDGES OF WALKS, MOWSTRIPS, CURBS AND OTHER APPLICABLE SITE ELEMENTS SO THAT THE FINISH GRADE OF THE NEW LAWN IS HELD DOWN 1" FROM THE TOP OF SAID ITEMS. FEATHER NEW GRADE INTO THE EXISTING SO THAT THERE IS A SMOOTH AND SUBTLE TRANSITION FROM THE EDGES OUT INTO THE LANDSCAPE AREAS.
- APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING BED AND COBBLE AREAS FOLLOWING INSTALLATION OF PLANT MATERIAL BUT PRIOR TO PLACING FABRIC AND MULCH. AREAS SHALL BE FREE OF EXISTING WEED GROWTH BEFORE APPLICATION OF HERBICIDE - SEE DETAIL IIL5.01.

REFERENCE NOTES

- 1

NEW 3/16" x 5-1/2" ALUMINUM EDGING - SEE DETAIL EIL5.01
- 2

SITE TRIANGLE - 30'-0" BY 30'-0"

NORTH

SCALE: 1" = 20'

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VINEYARD GATEWAY

33 NORTH GENEVA ROAD

VINEYARD, UTAH 84057

SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REVISIONS		DESCRIPTION
REV	DATE	
PROJECT NO:		15093
DRAWN BY:		BE
CHECKED BY:		SS
DATE:		MAY 2015
PROP NO:		-

PLANTING PLAN

L1.01

ELECTRICAL LIGHTING SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
	LUMINAIRES (SEE LUMINAIRE SCHEDULE FOR ADDITIONAL DETAILS)
	LUMINAIRES (APPROXIMATE SHAPE AND SIZED FOR CLARITY)
	STRIP, NEON AND FIBER OPTIC LUMINAIRES
	EXIT SIGN (NUMBER OF FACES (SHADED) AND ARROW(S) AS SHOWN)
	

LUMINAIRE MOUNTING

	RECESSED LUMINAIRES
	SUSPENDED LUMINAIRES
	WALL MOUNTED LUMINAIRES
	POLE TOP MOUNTED LUMINAIRES (ROUND OR SQUARE POLE)
	POLE MOUNTED LUMINAIRES WITH ARM (ROUND OR SQUARE POLE)
	GROUND OR FLOOR MOUNTED LUMINAIRES
	TRACK MOUNTED (LENGTH DRAWN TO SCALE, LUMINAIRE TYPES AND QUANTITIES AS SHOWN)

LUMINAIRE OPTIC ORIENTATION

	HORIZONTAL ZERO LINE
	PRIMARY LUMINAIRE ORIENTATION
	DIRECTIONAL AIMING LINE (FROM PHOTOMETRIC CENTER TO TARGET)

LUMINAIRE ANNOTATION

	LUMINAIRES THAT PROVIDE EMERGENCY ILLUMINATION (EITHER BATTERY POWERED OR ALTERNATE ENERGY SOURCE)
	LUMINAIRES THAT PROVIDE EMERGENCY ILLUMINATION (EITHER BATTERY POWERED OR ALTERNATE ENERGY SOURCE)
	LUMINAIRES THAT PROVIDE NIGHT LIGHT ILLUMINATION
	MOUNTING HEIGHT
	LUMINAIRE IDENTIFIER (# INDICATES THE NUMBER OF LUMINAIRES IN THE AREA, ESTIMATE ONLY)
	LOWER CASE SUBSCRIPT INDICATES SWITCH IDENTIFICATION
	UPPER CASE SUBSCRIPT INDICATES CIRCUIT IDENTIFICATION

ELECTRICAL ANNOTATION SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
RACEWAY AND CONDUCTORS	
	ONE CIRCUIT, 2#12 THWN (CU), 1#12 THWN (CU) GROUND (UNLESS NOTED OTHERWISE)
	TWO CIRCUITS (SHARED NEUTRAL), 3#12 THWN (CU), 1#12 THWN (CU) GROUND (UNLESS NOTED OTHERWISE)
	THREE CIRCUITS (SHARED NEUTRAL), 4#12 THWN (CU), 1#12 THWN (CU) GROUND (UNLESS NOTED OTHERWISE)
	THREE CIRCUITS (SHARED NEUTRAL), 4#10 THWN (CU), 1#10 THWN (CU) GROUND (UNLESS NOTED OTHERWISE), NUMBER INDICATES WIRE SIZE
	ONE CIRCUIT, 2#12 THWN (CU), 1#12 THWN (CU) GROUND, 1#12 THWN (CU) ISOLATED GROUND (UNLESS NOTED OTHERWISE)
	TWO CIRCUITS (DEDICATE NEUTRALS), 4#12 THWN (CU), 1#12 THWN (CU) GROUND (UNLESS NOTED OTHERWISE)
	TWO CIRCUITS (DEDICATE NEUTRALS), 4#10 THWN (CU), 1#12 THWN (CU) GROUND (UNLESS NOTED OTHERWISE)
	ELECTRICAL JUNCTION BOX (SIZE PER NFPA 70)
	RACEWAY AND/OR CONDUCTORS CONCEALED BELOW FLOOR OR FINISHED GRADE
	FLEXIBLE CONDUIT, STEEL OR SEALTIGHT

ABBREVIATIONS

F.B.O.	FURNISHED BY OTHERS
F.&I.B.O.	FURNISHED & INSTALLED BY OTHERS
F.V.M.H.	FIELD VERIFY MOUNTING HEIGHT
A/R	AS REQUIRED
N/A	NOT APPLICABLE OR NOT AVAILABLE
W	MOUNT 48" FROM THE FINISHED FLOOR TO THE TOP OF DEVICE
C	MOUNT COUNTER HEIGHT (FIELD VERIFY MOUNTING HEIGHT)
WP	PROVIDE WEATHER PROOF COVER/ENCLOSURE
NL	NIGHT LIGHT (CIRCUIT IS ALWAYS ON)
E	EMERGENCY CIRCUIT (CIRCUIT REMAINS ON WHEN PRIMARY POWER IS LOST, EITHER THROUGH BATTERY OR ALTERNATE POWER SOURCE)
U.N.O.	UNLESS NOTED OTHERWISE

ELECTRICAL GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL LOCALLY ADAPTED BUILDING CODES.
2. THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, SHOP DRAWINGS, SUBMITTALS, ETC. PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
3. ALL ALTERNATES MUST BE APPROVED BY ENGINEER PRIOR TO BID DATE. PROPOSED ALTERNATES MUST BE SUBMITTED TO ENGINEER AT LEAST ONE WEEK PRIOR TO BID DATE TO BE CONSIDERED.
4. THE CONTRACTOR SHALL COORDINATE ALL UTILITIES PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
5. THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL SEAL ALL WEATHER PENETRATIONS OF THE BUILDING EXTERIOR WITH AN APPROVED METHOD FOR THE TYPE OF MATERIAL BEING PENETRATED AND MAINTAIN THE FIRE RATING.
7. THE CONTRACTOR SHALL MAINTAIN ALL FLOOR, WALL AND CEILING FIRE RATINGS, BOXES, RACKS, DEVICES, LIGHT FIXTURES, ETC. THAT PENETRATE FIRE RATED FLOORS, WALLS AND CEILINGS SHALL BE SEALED WITH AN APPROVED LISTED MATERIAL TO MAINTAIN THE FIRE RATING OF THE FLOORS, WALLS AND CEILINGS.
8. THE CONTRACTOR SHALL USE THE FOLLOWING COLOR CODING SCHEME FOR ALL CONDUCTORS:

SYSTEM	PHASE A	PHASE B	PHASE C	NEUTRAL
480V/277V, 3ø, 4W	BROWN	ORANGE	YELLOW	GRAY
480V, 3ø, 4W	BROWN	ORANGE	YELLOW	N/A
240V, 3ø, 3W	BLACK	BLUE	RED	N/A
240/120V, 1ø, 3W	BLACK	BLUE	N/A	WHITE
240/120V, 3ø, 4W	BLACK	ORANGE*	BLUE	WHITE
208/120V, 3ø, 4W	BLACK	BLUE	RED	WHITE

*PHASE B SHALL BE WIRED AS THE HIGH-LEG.
9. THE CONTRACTOR SHALL VERIFY ALL UTILITIES DROP CALCULATIONS BASED ON THE ACTUAL ROUTE OF THE CONDUCTOR(S) AND IF NEEDED FURNISH AND INSTALL LARGER WIRE. MAXIMUM VOLTAGE DROP ALLOWANCE ON FEEDERS IS 2%, MAXIMUM VOLTAGE DROP ON BRANCH CIRCUITS IS 3% IF APPROVED BY THE ENGINEER. A COMBINED VOLTAGE DROP OF 5% FOR THE FEEDER AND BRANCH CIRCUIT CAN BE USED.
10. THE CONTRACTOR SHALL PROVIDE SEMI-CONDUCTING BRACING FOR ALL ELECTRICAL EQUIPMENT, RACEWAYS, CABLE TRAY, BUSSDUCK LIGHT FIXTURES, ETC. PER THE REQUIRED BUILDING CODE. AT A MINIMUM LIGHT FIXTURES SHALL BE SUPPORTED WITH AT LEAST TWO (2) 1/2 GAUGE STEEL WIRE FROM OPPOSITE CORNERS OF THE LIGHT FIXTURE.
11. THE CONTRACTOR SHALL PROVIDE A CLEAN WORK AREA THROUGHOUT CONSTRUCTION, REMOVING ALL PACKAGING AND WASTE USED TO THE INSTALLATION. THE CONTRACTOR SHALL ALSO CLEAN UP AND REMOVE ALL DEBRIS FROM THE WORK AREA (BOTH INTERNALLY AND EXTERNALLY), LIGHT FIXTURES AND DEVICES AFTER REQUEST AT SUBSTANTIAL COMPLETION.

ELECTRICAL LIGHT FIXTURE SCHEDULE

TYPE	QUANTITY (ESTIMATE ONLY)	DESCRIPTION	MANUFACTURER(S)	CATALOG NUMBER(S)	WATTS PER FITURE	VOLTS	LAMP TYPE	MOUNTING	NOTES
PL1A	3	ONE HEADED POLE LIGHT (20'-0") (TYPE IV)	VISIONAIRE LIGHTING	V LX-1-T4-160LC-5-4K-UNV-AM-XX W/ SNTA-4S-188-20'-AKB-343-S1-XX	272	UNV	LED	20'-0" POLE	SEE DETAIL A/E000
PL1B	2	ONE HEADED POLE LIGHT (20'-0") (TYPE IV)	VISIONAIRE LIGHTING	V LX-1-T4-128LC-3-4K-UNV-AM-XX W/ SNTA-4S-188-20'-AKB-343-S1-XX	144	UNV	LED	20'-0" POLE	SEE DETAIL A/E000
PL1C	2	ONE HEADED POLE LIGHT (20'-0") (TYPE V-W)	VISIONAIRE LIGHTING	V LX-1-T5W-192LC-3-4K-UNV-AM-XX W/ SNTA-4S-188-20'-AKB-343-S1-XX	208	UNV	LED	20'-0" POLE	SEE DETAIL A/E000
PL1D	4	ONE HEADED POLE LIGHT (20'-0") (TYPE IV-A)	VISIONAIRE LIGHTING	V LX-1-T4A-160LC-5-4K-UNV-AM-XX W/ SNTA-4S-188-20'-AKB-343-S1-XX	272	UNV	LED	20'-0" POLE	SEE DETAIL A/E000
PL2A	10	TWO HEADED POLE LIGHT (20'-0") (TYPE IV-A)	VISIONAIRE LIGHTING	(2) V LX-1-T4A-160LC-5-4K-UNV-AM-XX W/ SNTA-4S-188-20'-AKB-343-S1-XX	544	UNV	LED	20'-0" POLE	SEE DETAIL B/E000

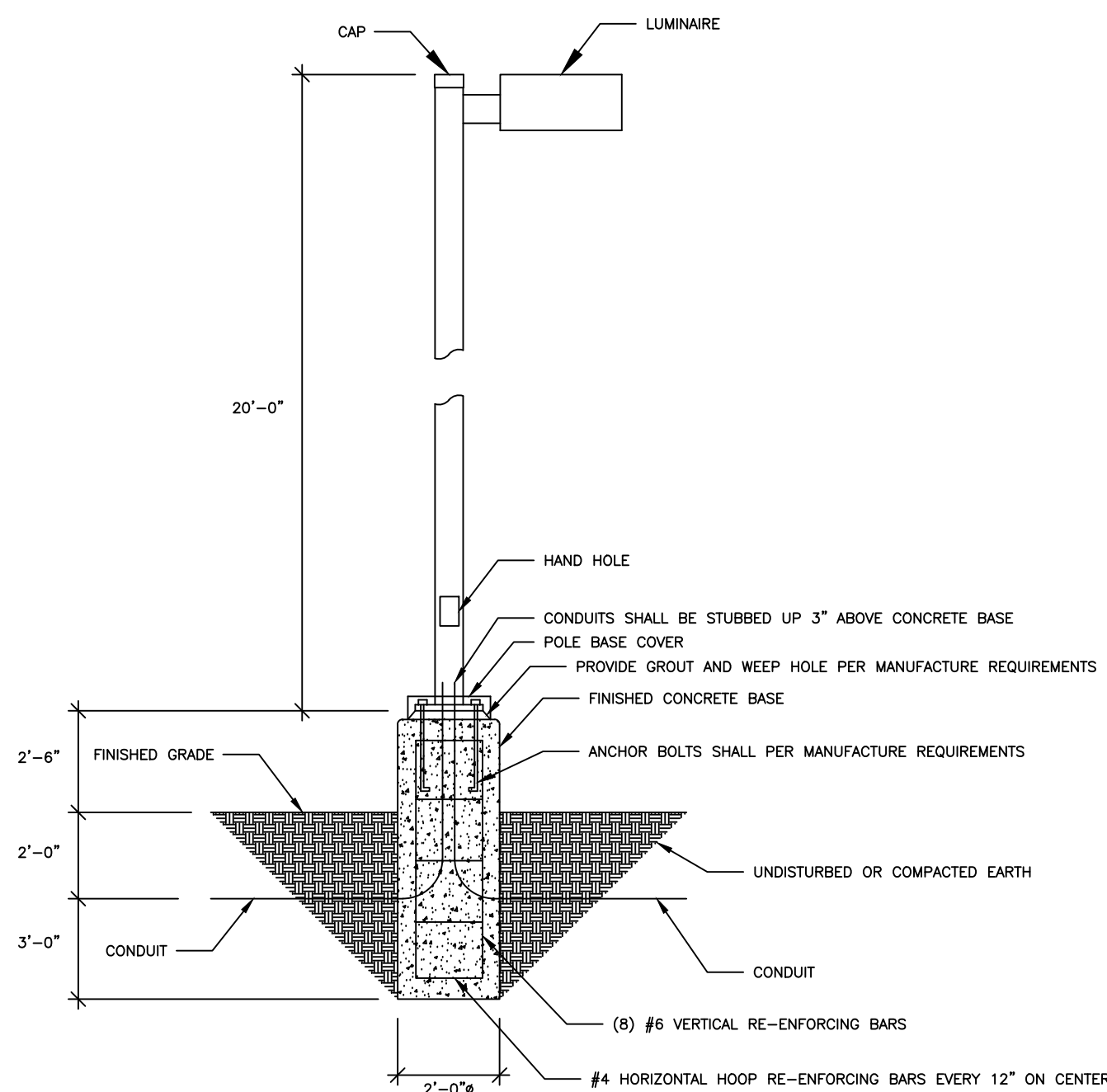
GENERAL NOTES:
* OWNER / ARCHITECT TO DETERMINE FINISH

ELECTRICAL DRAWING SCHEDULE

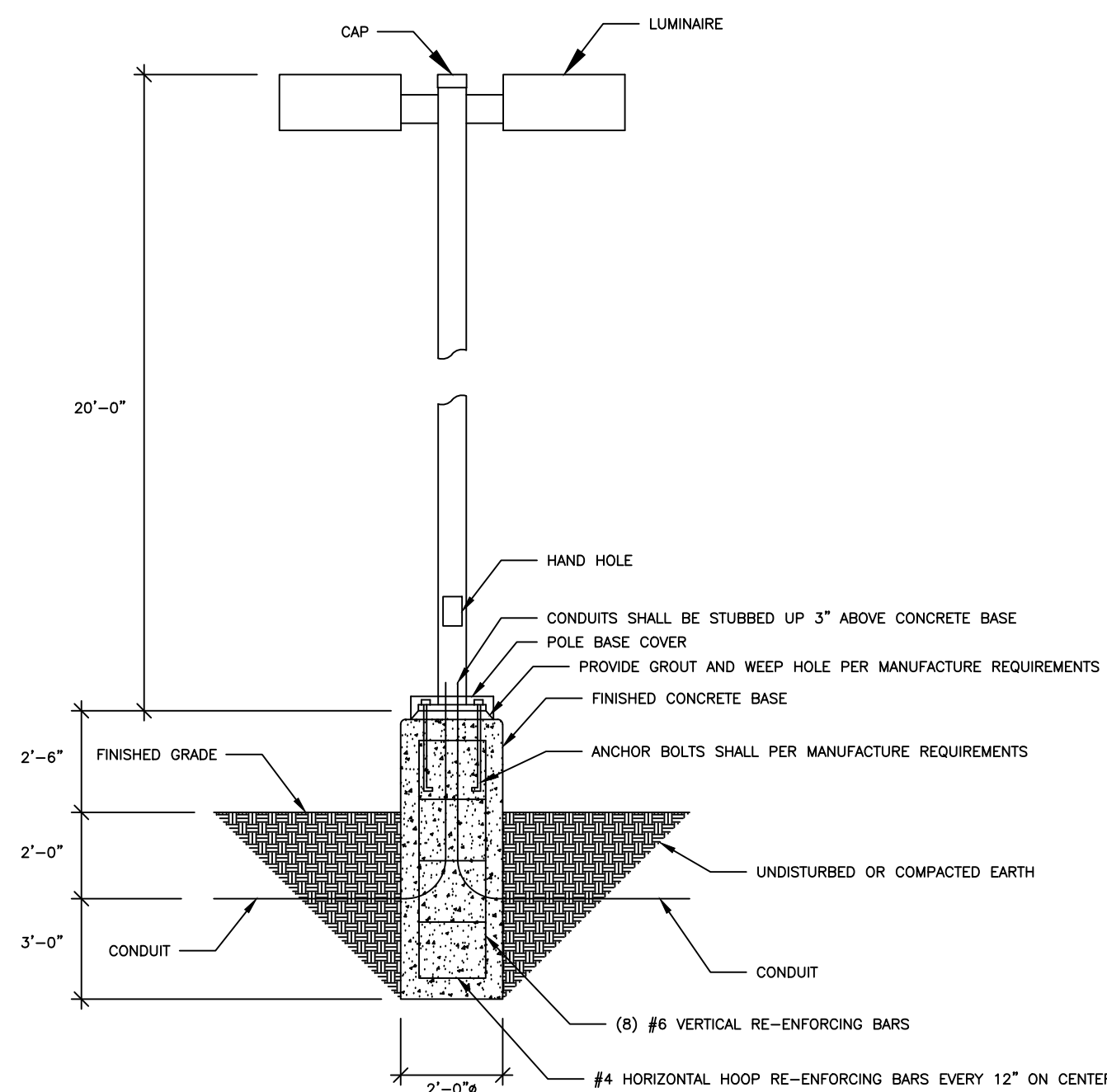
PAGE NUMBER	DESCRIPTION
E000	ELECTRICAL GENERAL NOTES AND SYMBOL SCHEDULE
E101	ELECTRICAL SITE PLAN
E101A	ELECTRICAL PHOTOMETRIC SITE PLAN

NOTES

• •



A POLE LIGHT DETAIL (PL1A, PL1B, PL1C, PL1D)
SCALE: NONE



B POLE LIGHT DETAIL (PL2A)
SCALE: NONE



TAFT
ENGINEERING

Taft Engineering, L.L.C.
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 971-3724

Owner:

Architects

General

VINEYARD GATEWAY
333 NORTH GENEVA ROAD, VINEYARD, UTAH 84057

ELECTRICAL GENERAL NOTES AND SYMBOL SCHEDULE

Project Numbers:

01-0009-2015

Status	
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REVIEW SET

Date:

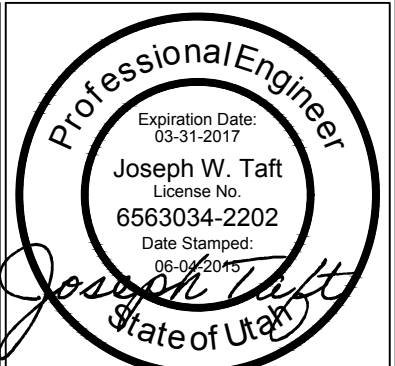
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Sheet Number

E000

- GENERAL SHEET NOTES:
- 1 MINIMUM CONDUIT SIZE IS 1" FOR ALL SITE RACEWAY
 - 2 ALL 4" AND 6" CONDUITS SHALL HAVE LARGE RADIUS ELBOWS AND MEET THE REQUIREMENTS OF ROCKY MOUNTAIN POWER.
 - 3 ALL TRANSFORMERS, SWITCHES, GROUND SLEEVES, ETC. SHALL BE INSTALLED AS PER THE REQUIREMENTS OF ROCKY MOUNTAIN POWER.
 - 4 THE CONTRACTOR SHALL COORDINATE WITH ROCKY MOUNTAIN POWER BEFORE BEGINNING ANY UTILITY WORK AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND ENGINEER.
 - 5 ALL SPLICES AND TERMINATIONS FOR SITE LIGHTING SHALL BE LOCATED IN THE POLE HAND HOLE. DO NOT SPLICE IN PULL BOXES.

REFERENCE NOTES:



TAFT
ENGINEERING

Taft Engineering, L.L.C.
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 971-3724

Owner:

Architect:

General Contractor:

VINEYARD GATEWAY
33 NORTH GENEVA ROAD, VINEYARD, UTAH 84057

ELECTRICAL SITE PLAN

Project Number:

01-0009-2015

Status:

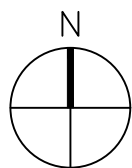
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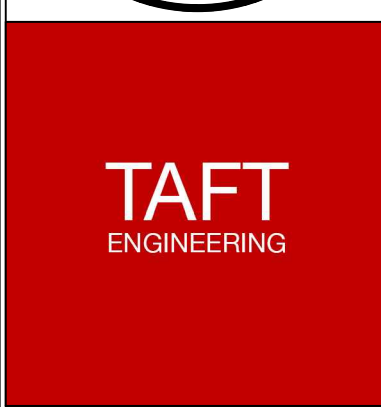
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6/4/2015

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E101



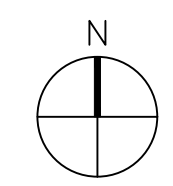
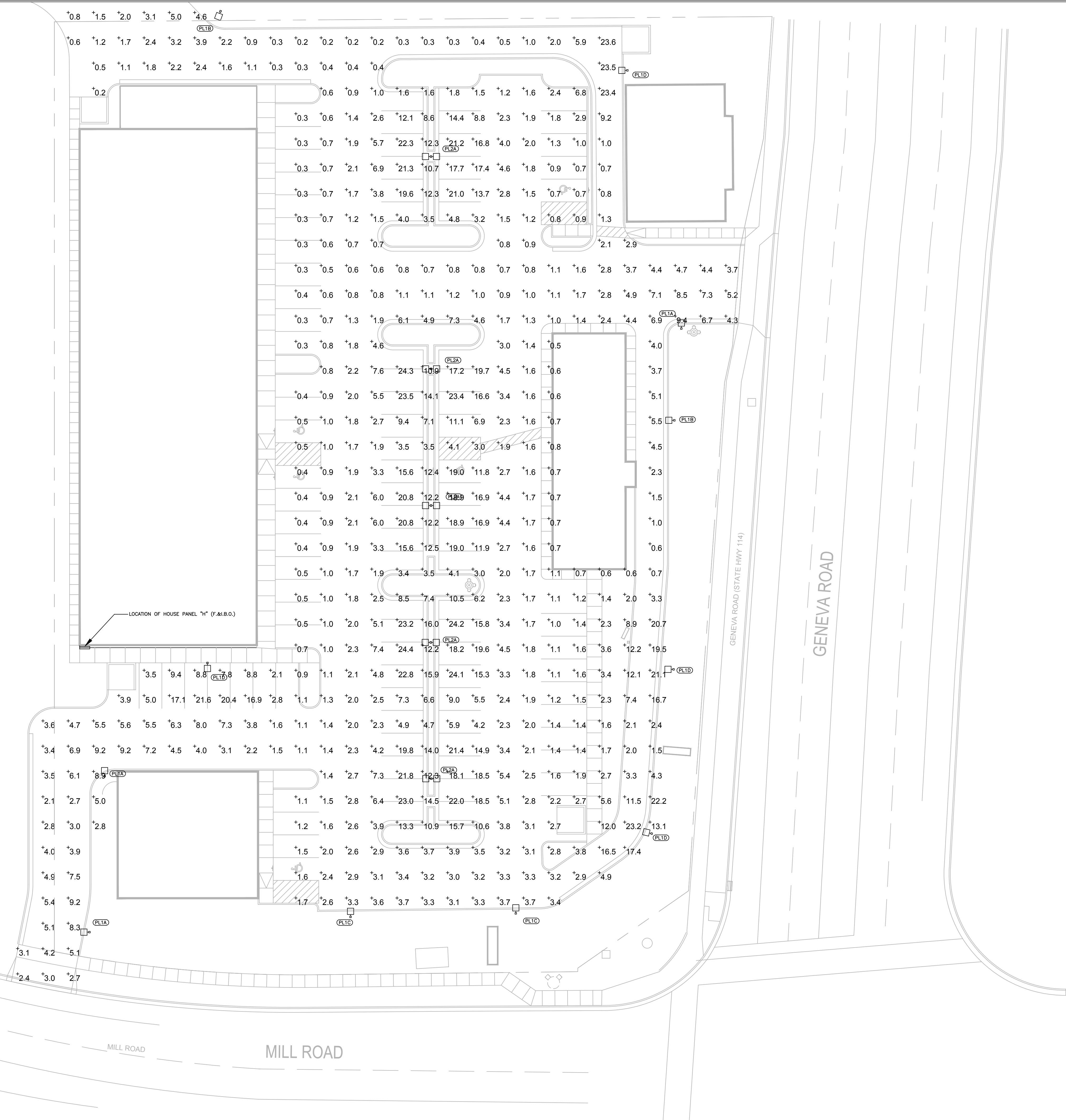


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8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 971-3724

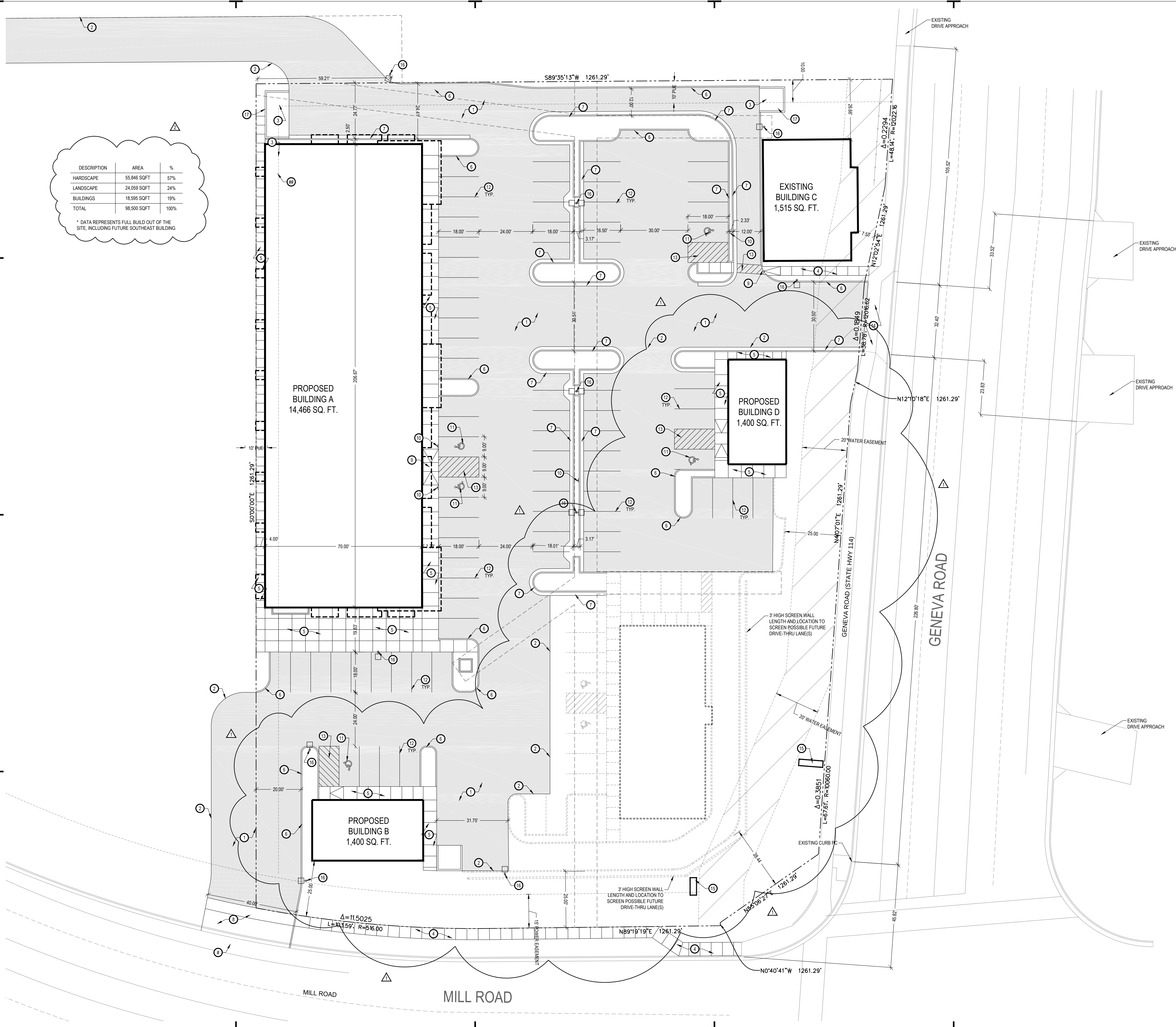
Owner:	Architect:	General Contractor:
.....		
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VINEYARD GATEWAY 33 NORTH GENEVA ROAD, VINEYARD, UTAH 84057	ELECTRICAL SITE PHOTOMETRIC PLAN
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Project Number:	01-0009-2015
Status:	REVIEW SET
Date:	6/4/2015
Sheet Number:	E101A

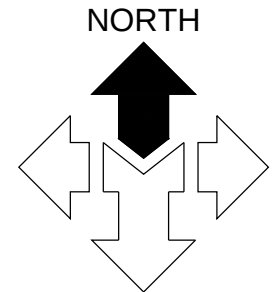


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DESCRIPTION	AREA	%
HARDSCAPE	55,846 SQFT	57%
LANDSCAPE	24,059 SQFT	24%
BUILDINGS	18,595 SQFT	19%
TOTAL	98,500 SQFT	100%

* DATA REPRESENTS FULL BUILD OUT OF THE SITE, INCLUDING FUTURE SOUTHEAST BUILDING



SCALE: 1" = 20'

GENERAL NOTES:

- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED
- SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION
- SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING
- ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

KEYED NOTES:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D1', SHEET C5.01.
 - EDGE OF ASPHALT PAVEMENT.
 - CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C1', SHEET C5.01.
 - CONCRETE SIDEWALK PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '4'.
 - INTEGRAL SIDEWALK AND CURB. SEE DETAIL 'D2', SHEET C5.01.
 - CONCRETE CURB WALL. SEE DETAIL 'C2', SHEET C5.01.
 - 24" CONCRETE CURB AND GUTTER. SEE DETAIL 'C3', SHEET C5.01.
 - CONCRETE DRIVE APPROACH PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '6'.
 - ADA ACCESSIBLE RAMP PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '22'.
 - ADA PARKING SIGN PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '22'.
 - PAINTED ADA SYMBOL. SEE DETAIL 'D3', SHEET C5.01.
 - 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
 - 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
 - MAINTAIN EXISTING DRIVE APPROACH
 - PROJECT MONUMENT SIGN
 - NEW LIGHT POLE. SEE ELECTRICAL PLANS FOR DETAILS.
 - NEW DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.

PARKING SUMMARY:

BUILDING A:	14,280 SQ. FT.
BUILDING B:	1,400 SQ. FT.
BUILDING C:	1,515 SQ. FT.
BUILDING D:	1,400 SQ. FT.
TOTAL:	18,595 SQ. FT.
REQUIRED (11,250 SQ. FT.):	75 STALLS
TOTAL PROVIDED:	95 STALLS

NOTES PER UDOT

- UDOT REQUIRES 12" OF GRANULAR BORROW, 6" UNTREATED BASE COURSE AND 7" OF PG GRADE SUPERPAVE MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATION 02741
- SAW CUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 02705 PAVEMENT CUTTING.
- LOCATE ALL ABOVE GROUND UTILITIES 18" BEHIND THE CURB

NOTES PER UDOT STEP TWO TECHNICAL APPLICATION PREPARATION PACKET PG 5

- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- WORK ON THE UDOT RIGHT-OF-WAY IS RESTRICTED FROM OCTOBER 15 - APRIL 15.
- ROW WORK: WORK IS NOT ALLOWED ON THE RIGHT-OF-WAY DURING THE AM/PM PEAK TRAFFIC HOURS (6:00 - 9:00 AM AND 3:30 - 6:00 PM). ADDITIONAL WORK RESTRICTIONS OR MODIFICATIONS MAY BE IMPOSED AT THE TIME OF THE ENCROACHMENT PERMIT.
- REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT). INSTALL ALL PAINT LINES WITH PERMANENT PAINT APPLICATION PER UDOT SPECIFICATION 02765. PAINT MUST HAVE AT LEAST 6 MONTHS LIFE AS DETERMINED BY UDOT'S PERMITS OFFICER.
- ALL NEW PAVEMENT WORDS, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT-OF-WAY SHALL BE PRE-FORMED THERMO PLASTIC. ALL LETTERS, ARROWS AND SYMBOLS SHALL CONFORM WITH THE "STANDARD ALPHABET FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE IX SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
- BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S OFFICE BEFORE WORKING WITHIN THE STATE RIGHT-OF-WAY.
- NO ROAD CUTS ALLOWED ON THIS JOB.
- FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOT'S CURRENT MIX DESIGN (50 - 150 PSI) UDOT SPEC. 03575.
- ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED.
- FOR EXCAVATIONS OUTSIDE BACK FILL WITH UDOT APPROVED GRANULAR BORROW AND ROAD BASE. COMPACTION PER UDOT SPEC 2056 AND 2721.
- OWNER, DEVELOPER, AND/OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- OWNER, DEVELOPER, AND/OR THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE UDOT RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT ACTIVITY.
- TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND ONCE THE WORK HAS BEEN COMPLETED AND ACCEPTED. THE PERMITTEE IS RESPONSIBLE FOR HIRING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNAL WORK COMPLETED. FOR A LIST OF THE UDOT APPROVED CONTRACTORS AND CONSULTANTS CONTACT THE APPROPRIATE REGION'S TRAFFIC SIGNALS ENGINEER.
- PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, THE ENTIRE PANEL IS REQUIRED TO BE REPLACED PER UDOT STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS.
- DOUBLE SAW CUT THE CONCRETE TO PREVENT THE SPALLING OF OTHER CONCRETE PANELS AND TO AVOID OVER CUTS. OVER CUTS AND SPALLS WILL RESULT IN FULL PANEL REPLACEMENT.
- ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, ETC.) MUST BE RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18" BEHIND CURB.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before You Dig

1-800-662-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

VINEYARD GATEWAY

**33 NORTH GENEVA ROAD
VINEYARD, UTAH 84057
SE 1/4 OF NE 1/4 OF SEC 17, 16S, R2E, SLB & M**

REVISIONS

REV	DATE	DESCRIPTION
1	10/12/15	SITE REVISION - ADDED BLDG B & D
2	10/20/15	UPDATE SITE DATA TABLE
3		
4		
5		
6		
7		
8		
9		
10		

PROJECT NO: 15093

DRAWN BY: ARP

CHECKED BY: TJD

DATE: 09/03/15

HORIZONTAL CONTROL PLAN

C1.01

McNEIL ENGINEERING
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