



**NOTICE OF A REGULAR
PLANNING COMMISSION MEETING
August 5, 2026, at 7:00 PM**

PUBLIC NOTICE is hereby given that the Vineyard Planning Commission will hold a regularly scheduled Planning Commission meeting on Wednesday, August 5, 2026, at 7:00 PM, in the City Council Chambers at City Hall, 125 South Main Street, Vineyard, UT. This meeting can also be viewed on our [live stream page](#).

1. CALL TO ORDER

2. PRESENTATIONS, RECOGNITIONS, AWARDS, AND PROCLAMATIONS

3. PUBLIC COMMENTS PC

Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing. Public comments can be submitted ahead of time to planning@vineyardutah.gov.

4. CONSENT ITEMS

5. BUSINESS ITEMS

5.1. Review of Planning Commission Meeting Frequency

5.2. PLAN26-0010 Site Plan Application Amendment — Utah **City Racquet Club - Clubhouse**

6. WORK SESSION

6.3. Land-use application review policy timelines

7. STAFF AND COMMISSION REPORTS

8. ADJOURNMENT

The next regularly scheduled meeting is on 08.19.2026

The public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify the planning staff at least 24 hours prior to the meeting by calling (801) 226-1929 or email at planning@vineyardutah.gov.

The foregoing notice and agenda were posted on the Utah Public Notice Website and Vineyard Website, posted at Vineyard City Hall, and delivered electronically to city staff and each member of the Planning Commission.

AGENDA NOTICING COMPLETED ON:	<u>July 30, 2026</u>
	<u>/s/ Anthony Fletcher</u>
CERTIFIED (NOTICED) BY:	<u>Anthony Fletcher, Planner.</u>



VINEYARD PLANNING COMMISSION STAFF REPORT

Meeting Date: August 5, 2026

Agenda Item: Review of Planning Commission Meeting Frequency

Department: Planning

Presenter: Anthony Fletcher

Background/Discussion:

The Planning Commission currently holds regular meetings on the first and third Wednesdays of each month. At the previous meeting held on July 15, 2026, the Commission discussed in a work session whether the current twice-monthly schedule continues to be the most efficient use of staff and commissioner time.

Following that discussion, the Commission expressed general support for transitioning to one regular meeting per month. A monthly meeting schedule would allow staff to consolidate land use applications and other planning matters into more comprehensive agendas, provide greater predictability for applicants, and reduce the number of meetings involving only one or two minor agenda items.

Staff is returning this item to the Planning Commission for formal consideration and a vote.

Fiscal Impact:

Recommendation:

Staff recommends voting on the agreed meeting frequency

Sample Motion:

"I move to approve changing the Planning Commission's regular meeting schedule from the first and third Wednesdays of each month to the first Wednesday of each month at 7:00 p.m., effective ..., while allowing special or additional meetings to be scheduled as necessary."

Attachments:

1. PC 2026 Calendar- Amended- 8.05.2026

2026 Planning Commission Calendar

Meetings at **7pm** at 125 S Main St. Vineyard, Utah 84059.

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VINEYARD PLANNING COMMISSION STAFF REPORT

Meeting Date: August 5, 2026

Agenda Item: PLAN26-0010 Site Plan Application Amendment — Utah City Racquet Club - Clubhouse

Department: Planning

Presenter: Anthony Fletcher

Background/Discussion:

Background

The applicant is requesting approval to amend the previously approved plans for the Utah City Racquet Clubhouse. The proposed amendment includes updates to the exterior building elevations and a change in the orientation of the building. The Racquet Clubhouse was previously approved as part of the Utah City development. As the building design has advanced, the applicant has revised the proposed exterior materials to better match the materials being used throughout the Village. The applicant has also revised the building orientation to provide a more appropriate and functional location for users of the clubhouse and adjacent racquet facilities.

Staff Analysis

The revised elevations will help create a more consistent architectural appearance between the clubhouse and the surrounding Village development. The revised orientation is also intended to improve the building's relationship with its users and the surrounding site as well as its usefulness. In addition, the change would position the blank rear wall in a location that could accommodate a future mural, adding visual interest and contributing to the identity of the area.

The proposed revisions do not change the approved use of the building. Staff finds that the updated elevations and orientation are consistent with the overall intent of the Utah City development.

Fiscal Impact:

N/A

Recommendation:

Staff recommends approval of the revised building elevations and building orientation for the Utah City Racquet Clubhouse.

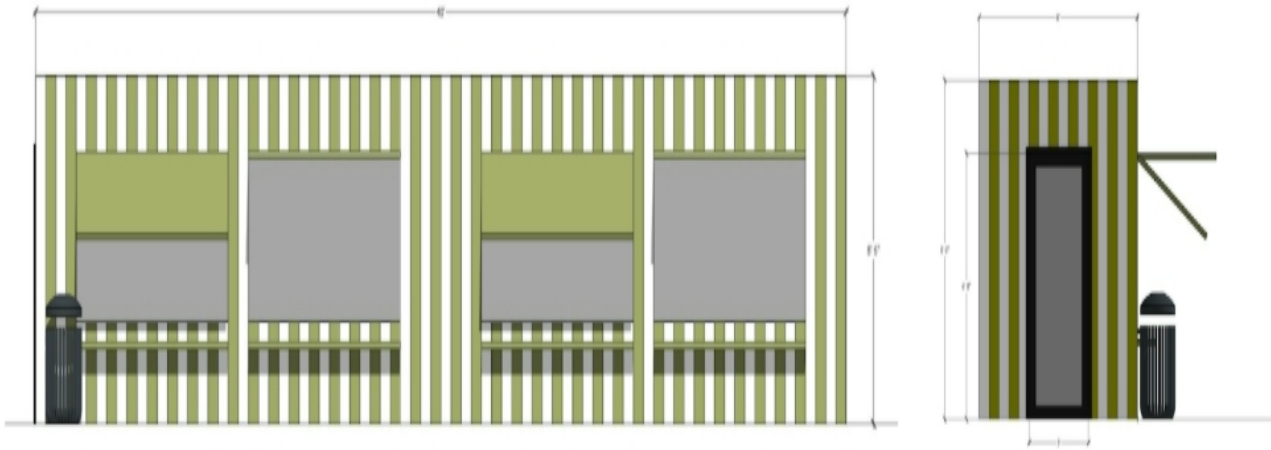
Sample Motion:

"I move to approve the amended site plan as presented and discussed."

Attachments:

1. Previously approved Elevations

2. Updated Site Plan 7.14.2026
3. 2026 07 30 - Updated Racquet Club Clubhouse Elevations



Concessions



Clubhouse

UTAH CITY, UTAH COURTS SITE FLAGSHIP HOMES

PROJECT TEAM

OWNER / GENERAL CONTRACTOR:

FLAGSHIP COMPANIES GROUP
300 SOUTH 1350 EAST
FLOOR 2
LEHI, UT 84043
(XXX) XXX-XXXX
CONTACT: BRONSON TATTON

ARCHITECT:

(OWNER / DEVELOPER NAME)
ADDRESS LINE 1
ADDRESS LINE 2
CITY, ST XXXXX
(XXX) XXX-XXXX
CONTACT: (NAME)

CIVIL ENGINEER:

MCNEIL ENGINEERING
8610 SANDY PARKWAY
SUITE 200
SANDY, UTAH 84070
(801) 984-2841
CONTACT: TED DIDAS

LANDSCAPE ARCHITECT:

SITE SOLUTIONS, LLC
3715 NORTHSIDE PARKWAY
NORTHCREEK 300, SUITE 720
ATLANTA, GEORGIA 30327
(678) 904-5822
CONTACT: MATT SCOTT

GENERAL NOTES

1. HARDSCAPE HATCHES FOR IDENTIFICATION ONLY. HATCH DOES NOT REPRESENT PAVING PATTERN OR DESIRED LAYOUT & ORIENTATION.
2. REFER TO CIVIL DWGS. FOR ADDITIONAL GRADING & DRAINAGE. CONTRACTOR TO ALERT LAND ARCH. OF ANY GRADING OR SPOT INCONSISTENCIES BEFORE COMMENCING WORK.
3. UTILITIES MAY NOT BE MARKED. CONTRACTOR TO LOCATE ALL UTILITIES BEFORE COMMENCING CONSTRUCTION ACTIVITIES.
4. DETAILS DENOTED AS "TYP." IN THE TITLE BLOCK SHALL APPLY TO ALL APPLICABLE APPLICATIONS UNLESS NOTED OW.
5. G.C. TO DEVELOP MATERIALS & PRODUCT SAMPLES, & SHOP DWGS. TO LANDSCAPE ARCHITECT AS LISTED ON COVER SHEET FOR APPROVAL PRIOR TO CONSTRUCTION.
- RFIs, CHANGE ORDERS, & SUBMITTALS SHALL BE DIRECTED TO LAND ARCH CONTACT.
7. REFER TO HARDSCAPE & LANDSCAPE CONSTRUCTION SPECIFICATIONS MANUAL FOR ADDITIONAL INFORMATION.

SHEET REVISION INDEX

[illegible]

SITE solutions			
LANDSCAPE ARCHITECTURE • LAND PLANNING			
3715 Northside Parkway 300 Northcreek Bldg. 300 Atlanta, Georgia 30327		T: 404.705.9411 F: 404.705.9491 www.sitesolutionsla.com	
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PROFESSIONAL STAMP:			
BLOCK 4 - UTAH CITY PREPARED FOR FLAGSHIP HOMES			
SHEET STATUS			
MARK	DATE	BY	RELEASE
A	08.29.2025	NM	IFC SET
C	11.11.2025	NM	REVISION 2
SHEET TITLE:			
COVER SHEET			
PROJECT NUMBER: 24022.00			
H1.00			
DATE: - 08.29.2025			
NOT ISSUED FOR CONSTRUCTION			

BLOCK 4 - UTAH CITY

PREPARED FOR
FLAGSHIP HOMES

[illegible]

SHEET TITLE:

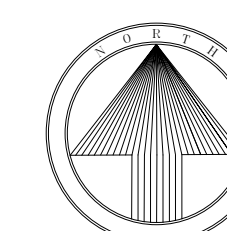
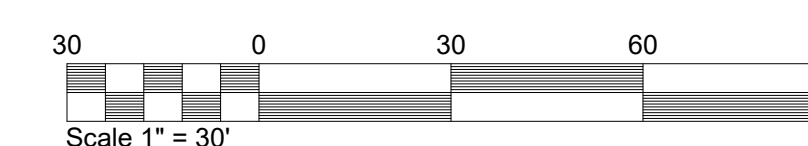
OVERALL
LANDSCAPE
PLAN

PROJECT NUMBER:
24022.00

L1.01

DATE: - 08.29.2025

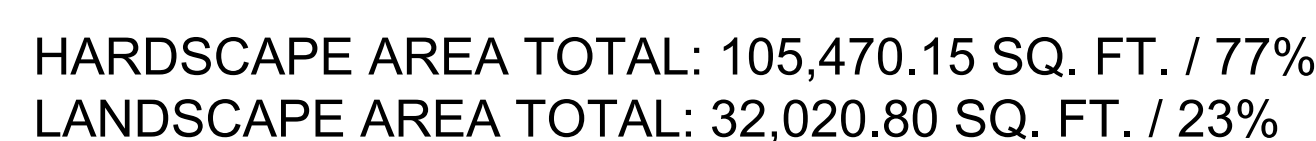
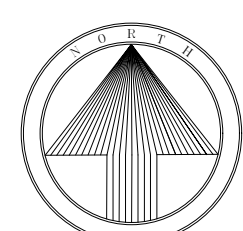
NOT ISSUED FOR CONSTRUCTION



LANDSCAPE
PLAN

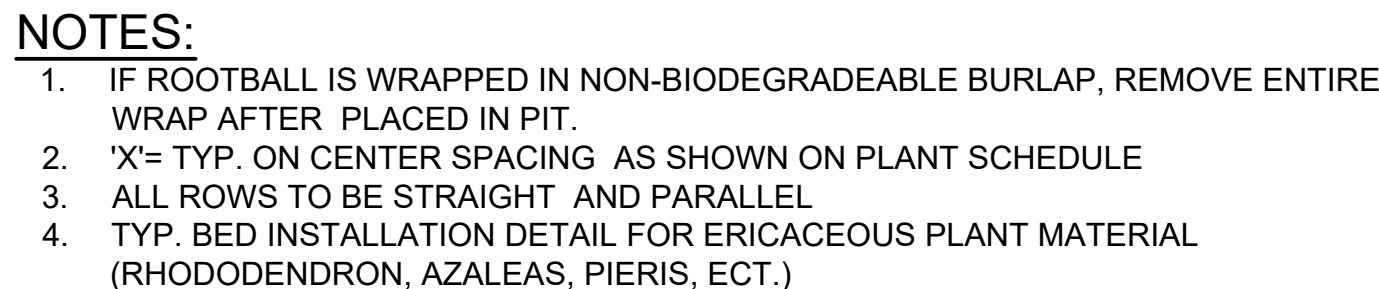
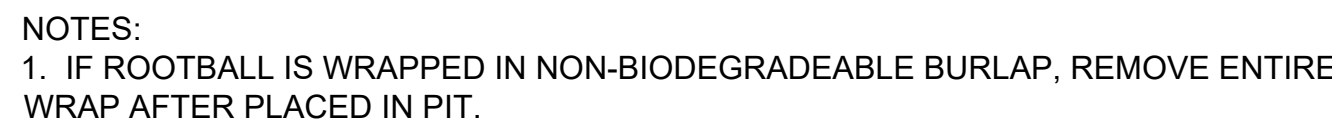
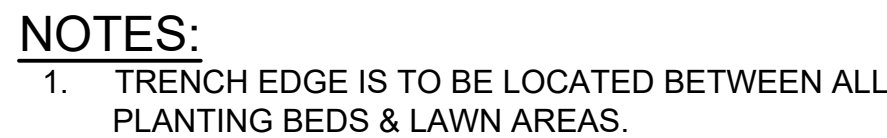
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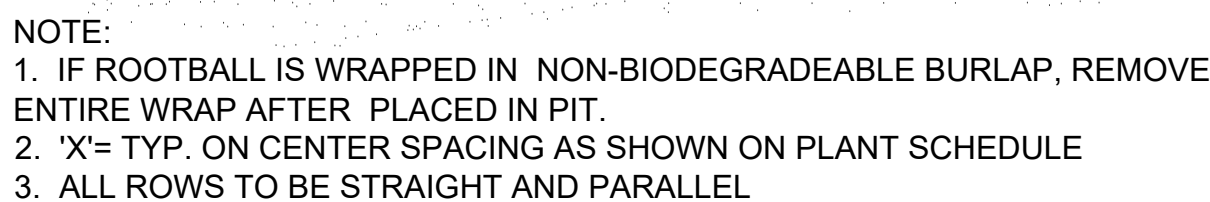
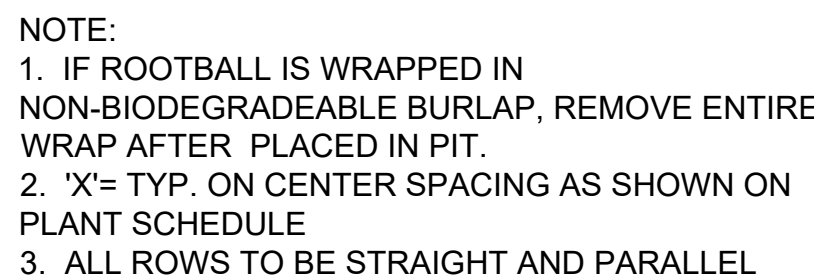


PLANT SCHEDULE					DATE 11/07/2022
TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER	CAL.	REMARKS
AH	8	Acer grandidentatum x saccharum "Hyzam" / Highland Park Maple	B&B	3" Cal.	Matched specimens, crown and branching typical of species. * See Note Below
CF	7	Carpinus betulus "Frans Fontaine" / Frans Fontaine Hornbeam	B&B	3" Cal.	Matched specimens, crown and branching typical of species. * See Note Below
GI	14	Geditsia triacanthos inermis "Skycole" / Skyline Honey Locust	B&B	2.5" Cal.	Matched specimens, crown and branching typical of species. * See Note Below
JS	30	Juniperus scopulorum "Skyrocket" / Skyrocket Juniper	B&B	8-10" Ht.	Matched specimens, crown and branching typical of species. * See Note Below
LR	6	Tilia americana "Redmond" / Redmond American Linden	B&B	6" cal.	Matched specimens, crown and branching typical of species. * See Note Below
UP2	9	Ulmus wilsoniana "Prospector" / Prospector Elm	B&B	3" Cal.	Matched specimens, crown and branching typical of species. * See Note Below
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER	MIN. SIZE	REMARKS
BB	289	Bouteloua gracilis "Blonde Ambition" / Blonde Ambition Blue Grama	1 gal		Healthy and free of pests/diseases. Full rooted into specified container size
BW	49	Buxus microphylla Japonica "Winter Gem" / Winter Gem Japanese Boxwood	5 gal		Healthy and free of pests/diseases. Full rooted into specified container size
CG	18	Cotinus x "Grace" / Grace Smoke Tree	15 gal		Healthy and free of pests/diseases. Full rooted into specified container size
Q	3	Cornus sericea "SMNCE30" / Arctic Fire Yellow Dogwood	3 gal		Healthy and free of pests/diseases. Full rooted into specified container size
NT	388	Nassella tenuissima / Mexican Feather Grass	1 gal		Healthy and free of pests/diseases. Full rooted into specified container size
PA	21	Perovskia abrotanoides / Russian Sage	1 gal		Healthy and free of pests/diseases. Full rooted into specified container size
PD	77	Physocarpus opulifolius "Donna May" / Little Devil Dwarf Ninebark	3 gal		Healthy and free of pests/diseases. Full rooted into specified container size
PH	224	Pennisetum alopecuroides "Hamel" / Hameln Fountain Grass	1 gal		Healthy and free of pests/diseases. Full rooted into specified container size
PV	141	Panicum virgatum "Northwind" / Northwind Switch Grass	3 gal		Healthy and free of pests/diseases. Full rooted into specified container size
PP	84	Prunus besseyi "P011S" / Pawnee Buttes Sand Cherry	5 gal		Healthy and free of pests/diseases. Full rooted into specified container size
PS	45	Penstemon strictus / Rocky Mountain Penstemon	3 gal		Healthy and free of pests/diseases. Full rooted into specified container size
RG	15	Rhus aromatica "Gro-Low" / Gro-Low Fragrant Sumac	5 gal		Healthy and free of pests/diseases. Full rooted into specified container size
SL	334	Salizachyrium scoparium / Little Bluestem	3 gal		Healthy and free of pests/diseases. Full rooted into specified container size
SM	59	Salvia x sylvestris "May Night" / May Night Sage	1 gal		Healthy and free of pests/diseases. Full rooted into specified container size
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONTAINER	MIN. SIZE	REMARKS
WI	7366	Wildflower Mix	Seed	5"	Contractor to use High Country Gardens Western Perennial Wildflower Seed Mix or approved equal. Prepare soil and plant seed per supplier recommendations. Plugs of plants within mix to be randomly interspersed within areas receiving seed mix.
*Note: Contractor to provide supplier information and photographic images for review by landscape architect prior to tagging.					

*Note: Contractor to provide supplier information and photographic images for review by landscape architect prior to tagging



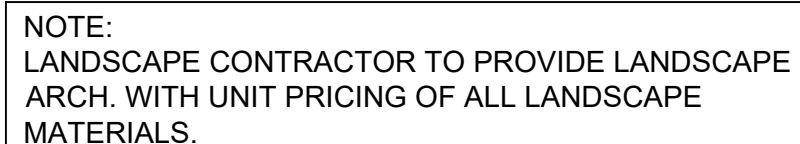
SCALE: NTS



1. EXCAVATE TREE PIT TO A DEPTH EQUAL TO DEPTH OF ROOTBALL PLUS 24", AND A WIDTH EQUAL TO TWO (2) TIMES THE DIAMETER OF THE ROOTBALL.
2. FILL TREE PIT WITH WATER AND CONFIRM PERCOLATION RATE. (NOTIFY LANDSCAPE ARCHITECT IF AIR POCKET DRAMAING OR AIR POCKET DRAMAING DOES NOT EXIST)
3. INSTALL TREE PER DETAIL AVOIDING DAMAGE TO ROOTBALL OR TREE TRUNK.
4. ADD SPECIFIED FERTILIZER TABLETS & MYCORRHIZAL TRANSPLANT INOCULANT.
5. REMOVE BURLAP ON TOP 1/3 OF TREE ROOTBALL. REMOVE BURLAP ON TOP 1/3 OF TREE ROOTBALL.
6. IMMEDIATELY SOAK TREE PIT WITH WATER AND REMOVE ANY AIR POCKETS THAT MAY HAVE OCCURRED DURING BACKFILLING.



1. Contractor to carefully examine the contract documents and existing conditions before submitting bid proposal or commencing work.
 2. Damage to existing utilities or site improvements caused by the contractor are the full responsibility of contractor.
 3. Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, ETC. to perform the work as described in the contract documents.
 4. Contractor to complete work within schedule established by owner.
 5. Contractor to provide one year warranty for all material from date of substantial completion.
 6. Provide unit price for all materials (installed cost) listed on the plant schedule.
 7. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion is provided by the owner and the landscape architect.
 8. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
 9. Topsoil shall be natural, fertile, friable, sandy clay loam capable of sustaining plant growth, free of stones, stumps, ETC.
 10. For all turf lawn areas spread 2-3" of topsoil into existing soil to a depth of 6" below finish grade. Hand rake finished grades to provide even contours.
 11. All planted material shall be equivalent in quality to specimen grade or better, as noted by the American Association of Nurserymen, latest edition. All trees of lesser quality shall be rejected by the city arborist.
 12. Plant material to be free of disease, insect pests, eggs, or larvae. Damaged plant material shall be rejected.
 13. Mulch to be clean, fresh, new, red, long-needle pine straw, 3 inches deep.
 14. Mulch plant and plant pits for adequate drainage. Work shall be made by the contractor at no additional cost to owner. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not disappeared by 50% within 2 hours, notify the landscape architect of such in writing before installing plants in the questionable area(s), otherwise contractor shall be held liable for the livability of the plant. In hardpan conditions where water does not drain within 2 hours, install drain pipes as per tree planting in compacted soil area detail.
 15. Trees shall be installed 2-3' above finish grade in hardpan areas unless otherwise directed to provide drainage.
 16. Plant beds shall be neatly edged using a 3" wide by 6" wide deep trench.
 17. Ground cover, shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and inferior material. Add specified soil amendments and fertilizer. Elevate entire bed 6 inches above surrounding grade. Re-grade and grade down to 12" below grade. Install plants, mulch bed area, mulch and water thoroughly.
 18. Set all plants plumb and turned so that the most attractive side is viewed.
 19. Plants shall be measured to their main structure, not tip to tip of branches.
 20. Remove top one-third burlap of B & B wrapping. Remove all binding. If rootball is wrapped in non-biodegradable burlap, remove entire wrap after placed in pit.
 21. Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix. See details.
 22. Broken root balls for trees shall be rejected.
 23. Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
 24. Space shrubs, ground cover, and seasonal color evenly and in straight rows.
 25. All tree trunks over 1 -1/2" shall be rejected and tree to be replaced.
 26. All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type.
 27. Scarify root mass of shrubs and ground cover before installing.
 28. Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
 29. Layout all plant material according to landscape drawings. Receive approval of all layouts before installation. Adjustments to layout shall be made by the landscape architect. Landscape contractor to make adjustments to layout at no additional cost to owner. Landscape contractor responsible for adjustment of layout in order to avoid utilities. Notify landscape architect of contemplated adjustments to the layout and receive approval before commencing.
 30. General contractor to provide grades to two-tenths (.20+) of a foot of proposed finish grades.
 31. All shrubs shall be dense and well-branched from bottom to top and all sides. "Leggy" shrubs will be rejected by L.A.
 32. All trees shall be made by the landscape architect. Contractor to complete installation for substantial completion. Final completion shall be given at the end of the warranty period if all items are completed to the owner's satisfaction. Contractor shall be notified in writing of substantial and final completion dates.
 33. See civil drawings for further information regarding: erosion sediment control information, locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas, limits of construction, locations of existing and proposed utilities or structures.
 34. Contractor shall collect three (3) soil samples of existing soil from areas on site to receive planting for testing. Each soil sample shall be approximately 1 gal. (1 gal. zip lock bag) and will receive the following tests by A&L Agricultural Labs:
- s1-a - s3 - texture analysis - infiltration
- Send soil samples to:
Mr. Richard Large
A&L Labs-Memphis
2790 Whitten Road
Memphis, TN 38133
(800) 264-4522
- *Send test results to landscape architect.
- § Signs or markers may be obstructed between a height of 30-inches and 84-inches above the crown of the roadway surface. The property owner must maintain all landscaping according to this requirement at all times.
- §6. Trees planted adjacent to accessible routes and accessible areas do not have limbs below 80° AFF.



SHEET STATUS			
MARK	DATE	BY	RELEASE
A	08.29.2025	NM	IFC SET
C	11.11.2025	NM	REVISION 2

SHEET TITLE:

LANDSCAPE
DETAILS

PROJECT NUMBER:
24022.00

L2.01

DATE: - 08.29.2025

NOT ISSUED FOR CONSTRUCTION

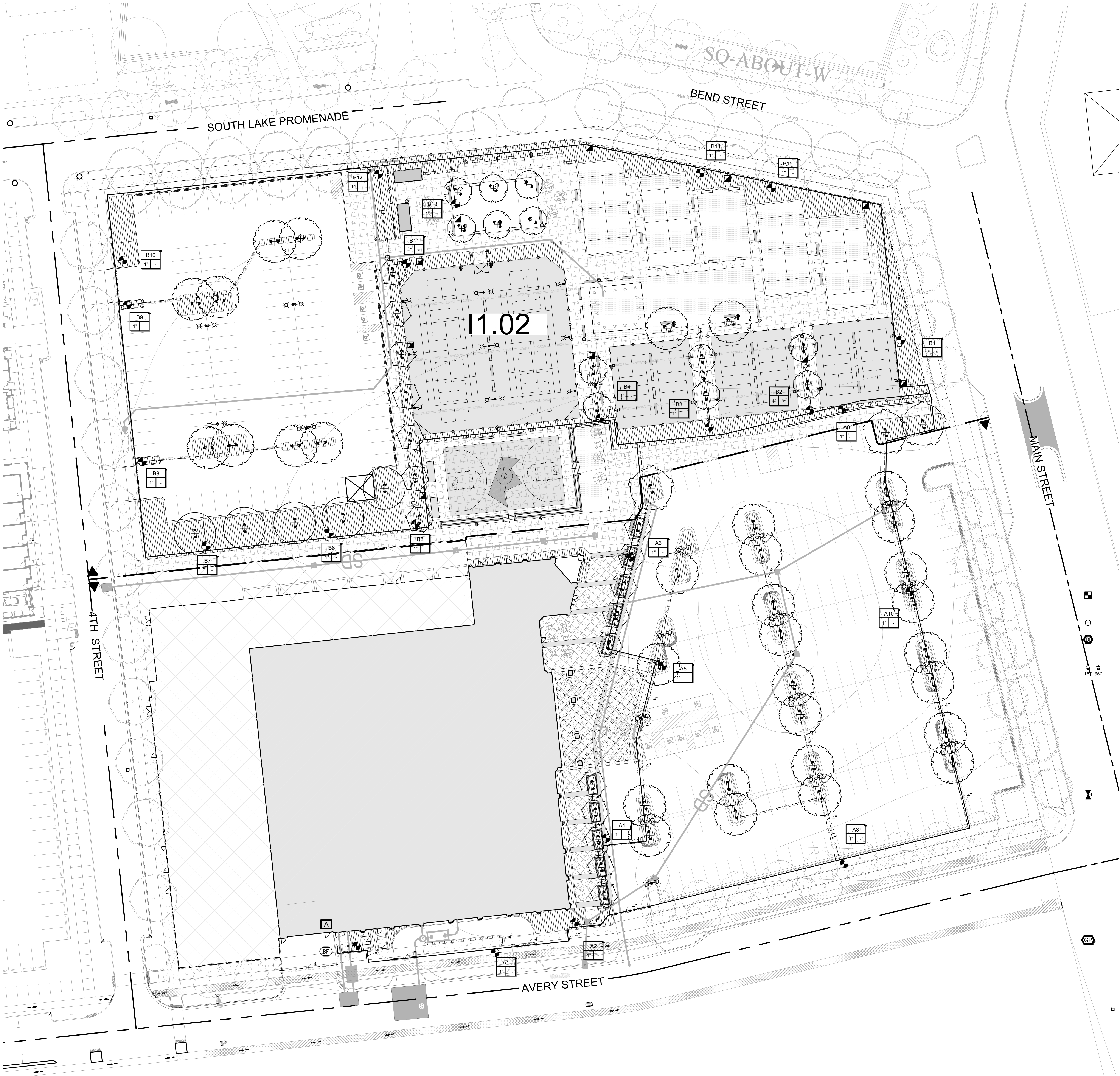
LANDSCAPE ARCHITECTURE+ LAND PLANNING
3715 Northside Parkway T: 404.705.9411
300 Northcreek Bldg. 300 F: 404.705.9491
Atlanta, Georgia 30327 www.sitesolutionsla.com

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PROFESSIONAL STAMP:

BLOCK 4 - UTAH CITY

PREPARED FOR
FLAGSHIP HOMES



IRRIGATION SCHEDULE

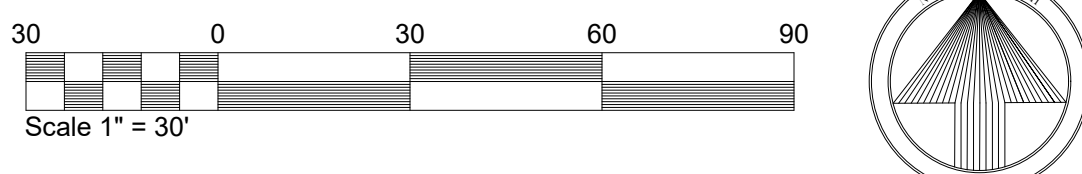
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
ES LCS RCS CS SS	Hunter PROS-12-PRS30-CV 5' strip spray Shrub Spray, 30 psi regulated 12.0" Pop-Up. With Factory Installed Drain Check Valve. Co-molded wiper seal with UV Resistant Material.
TT TT TT TT TT	Hunter PROS-12-PRS30-CV 12' radius Shrub Spray, 30 psi regulated 12.0" Pop-Up. With Factory Installed Drain Check Valve. Co-molded wiper seal with UV Resistant Material.
Ⓢ Ⓣ Ⓤ Ⓥ Ⓦ Ⓧ Ⓨ Ⓩ	Hunter PROS-12-PRS30-CV ADJ Shrub Spray, 30 psi regulated 12.0" Pop-Up. With Factory Installed Drain Check Valve. Co-molded wiper seal with UV Resistant Material.
Ⓜ Ⓟ Ⓠ	Hunter MP1000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M-Maroon adj arc 90 to 210, L-Light Blue 210 to 270 arc, O-Olive 360 arc.
Ⓜ Ⓟ Ⓠ	Hunter MP2000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. K-Black adj arc 90-210, G-Green adj arc 210-270, R-Red 360 arc.
Ⓜ Ⓟ Ⓠ	Hunter MP3000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. B-Blue adj arc 90-210, Y-Yellow adj arc 210-270, A-Gray 360 arc.
Ⓜ Ⓟ Ⓠ	Hunter MP3500 PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. L-Black brown adjustable arc, 90-210.
Ⓜ Ⓟ Ⓠ	Hunter MP800SR PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. ADJ-Orange and Gray (arc 90-210), 360-Lime Green and Gray (arc 360).
Ⓜ Ⓟ Ⓠ	Hunter MP Corner PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. T-Turquoise adj arc 45-105.
LST RST SST	Hunter MP Strip PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. LST-Ivory left strip, SST-Brown side strip, RST-Copper right strip.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓜ Ⓟ Ⓠ	Rain Bird XCZ-100-PRB-COM Rain Bird Plus Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" FESB Valve and 1" Pressure Regulating 40psi Quick-Check Basket Filter. 3gpm to 20gpm.
Ⓜ Ⓟ Ⓠ	Hunter PLD-FV Dripline Flush Valve installed as per plan details.
Ⓜ Ⓟ Ⓠ	Rain Bird OPERIND Drip System Operation Indicator. stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi. Includes 16" of 1/4" distribution tubing with connection fitting pre-installed.
Ⓜ Ⓟ Ⓠ	Rain Bird XB-PC Single Outlet Emitter Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph-blue, 1.0gph-black, and 2.0gph-red. Comes with a self-piercing barb inlet x barb outlet.
Ⓜ Ⓟ Ⓠ	Area to Receive Dripline Rain Bird XFCV-06-16 (16) XFCV On-Surface Landscape Dripline with a Heavy-Duty 3.5 psi Check Valve. 0.65GPH emitters at 18.0" O.C. Dripline laterals spaced at 18.0" apart, with emitters offset for triangular pattern. Great for elevation change. Specify XF insert fittings.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
Ⓜ Ⓟ Ⓠ	Rain Bird PEB 1" 1-1/2" 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.
Ⓜ Ⓟ Ⓠ	Hunter HQ-44LRC-AW Quick coupler valve, yellow rubber locking cover, red brass and stainless steel, with 1" NPT inlet, 2-piece body. Acme Key with Anti-Rotation Wings.
Ⓜ Ⓟ Ⓠ	Nibco T-113 Class 125 bronze gate shut off valve with wheel handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"
Ⓜ Ⓟ Ⓠ	Buckner-Superior 3100 1-1/2" Normally Open Brass Master Valve that Provides Dirty Water Protection. Available in 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2" and 3".
Ⓜ Ⓟ Ⓠ	Buckner-Superior 3100 1-1/2" Normally Open Brass Master Valve that Provides Dirty Water Protection. Available in 3/4", 1", 1-1/4", 1-1/2", 2", 2-1/2" and 3".
Ⓜ Ⓟ Ⓠ	Fabco 825V or Approved Equal 1" Reduced Pressure Backflow Preventer
Ⓜ Ⓟ Ⓠ	Baseline BL-3200X-CM Two-wire controller in large 16-gauge powder-coated wall mount cabinet, expandable to 200 stations. Cell modem for BaseManager2 remote access.
Ⓜ Ⓟ Ⓠ	Baseline BL-S315 10 bSensor Soil Moisture Sensor
Ⓜ Ⓟ Ⓠ	Baseline BL-PFS100 Baseline 1" PVC Flow Sensor with Integrated Flow Decoder, Flow Sensor is two-wire ready with a Flow bCoder built into the tee insert.
Ⓜ Ⓟ Ⓠ	2 Wire Grounding Point Install as per plan detail and or manufacturers requirements.
Ⓜ Ⓟ Ⓠ	Water Meter 1"
Ⓜ Ⓟ Ⓠ	Water Meter 1"
Ⓜ Ⓟ Ⓠ	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe. Only lateral-irrigation pipe sizes 1" and above are indicated on the plan, with all others being 3/4" in size.
Ⓜ Ⓟ Ⓠ	Irrigation Mainline: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe.
Ⓜ Ⓟ Ⓠ	Pipe Sleeve: PVC Schedule 40 Irrigation Pipe Sleeve. Sleeve to be 2X the size of the pipe within the sleeve. Extend sleeves 12" beyond the landscape edge.
Ⓜ Ⓟ Ⓠ	Valve Cabinet
Ⓜ Ⓟ Ⓠ	Valve Number
Ⓜ Ⓟ Ⓠ	Valve Flow
Ⓜ Ⓟ Ⓠ	Valve Size

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Irrigation system water source to be a 1" service line from the water main to a 1" water meter and 1" RPZ backflow preventer. System requirements are 22 gpm at 70 psi. Verify available flow and static pressure prior to construction. If either are insufficient notify the owners representative.
2	Install Master Valve(MV) and Flow Sensor(FS) as per plan detail and manufacturers installation instructions.
3	Coordinate exact location of the controller with the owners representative. Provide 120vac 10 amp power to the controller from a dedicated electrical circuit. Install controller as per plan notes, details and manufacturers requirements.
4	Install 1-1/4" SCH 40 PVC electrical conduit and 2-wire control wire from zone A16 to zone Axx for extension of 2-wire cable from controller "A".
5	Irrigation system water source to be a 1" service line from the water main to a 1" water meter and 1" RPZ backflow preventer. System requirements are 18 gpm at 65 psi. Verify available flow and static pressure prior to construction. If either are insufficient notify the owners representative.
6	Provide 2 year Baseline BaseManager2 cloud subscription with Remote Access. Program BaseManager2 to provide full remote access to the controller and all functions of the controller. Provide Venn Underrill at Urban Forestry access codes to the controller to monitor soil moisture levels on the Live Oak trees.
7	Soil moisture sensor for parking lot island zones.
8	Soil moisture sensor for general landscape planting area zones.
9	Soil moisture sensor for turf zones.
10	Soil moisture sensor tree spray head zone. Install sensor horizontally in the side of the root ball 24" below FS as per the direction of Urban Forestry staff.
11	PVC lateral dripline header, see plan details. Typical for all lateral pipe to dripline connections.
12	Pipe location is diagrammatic. Install all pipe as per plan notes and details.



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PREPARED FOR

FLAGSHIP HOMES

SHEET STATUS

MARK	DATE	BY	RELEASE
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C	11.11.2025	NM	REVISION 2

SHEET TITLE:

OVERALL IRRIGATION PLAN

PROJECT NUMBER:

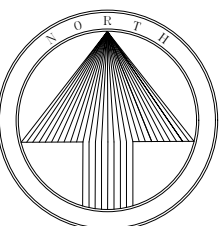
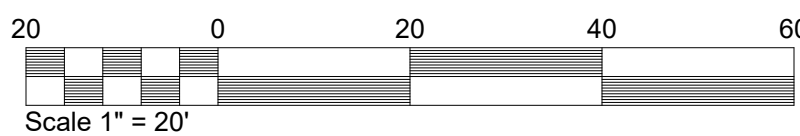
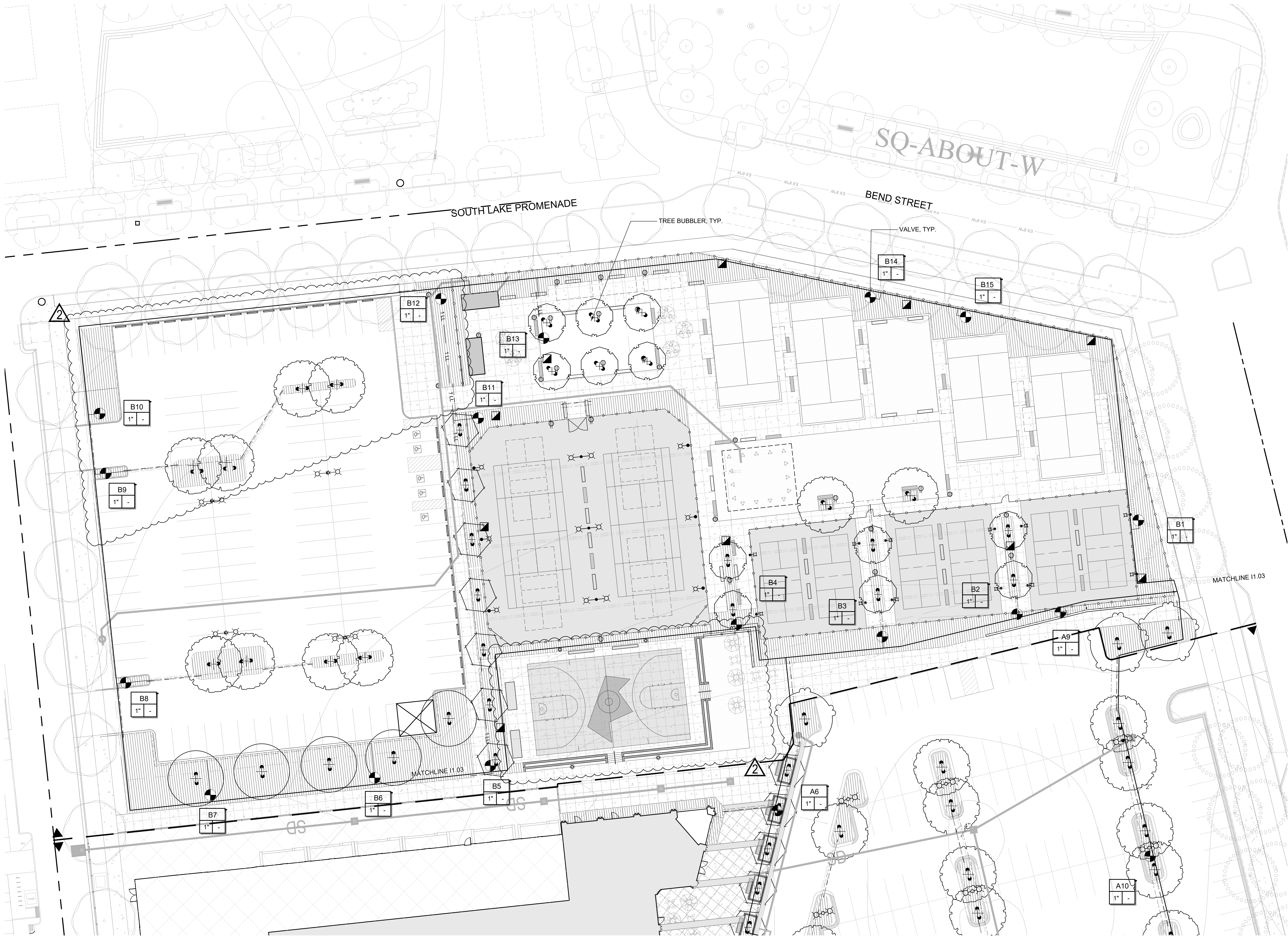
24022.00

11.01

DATE: - 08.29.2025

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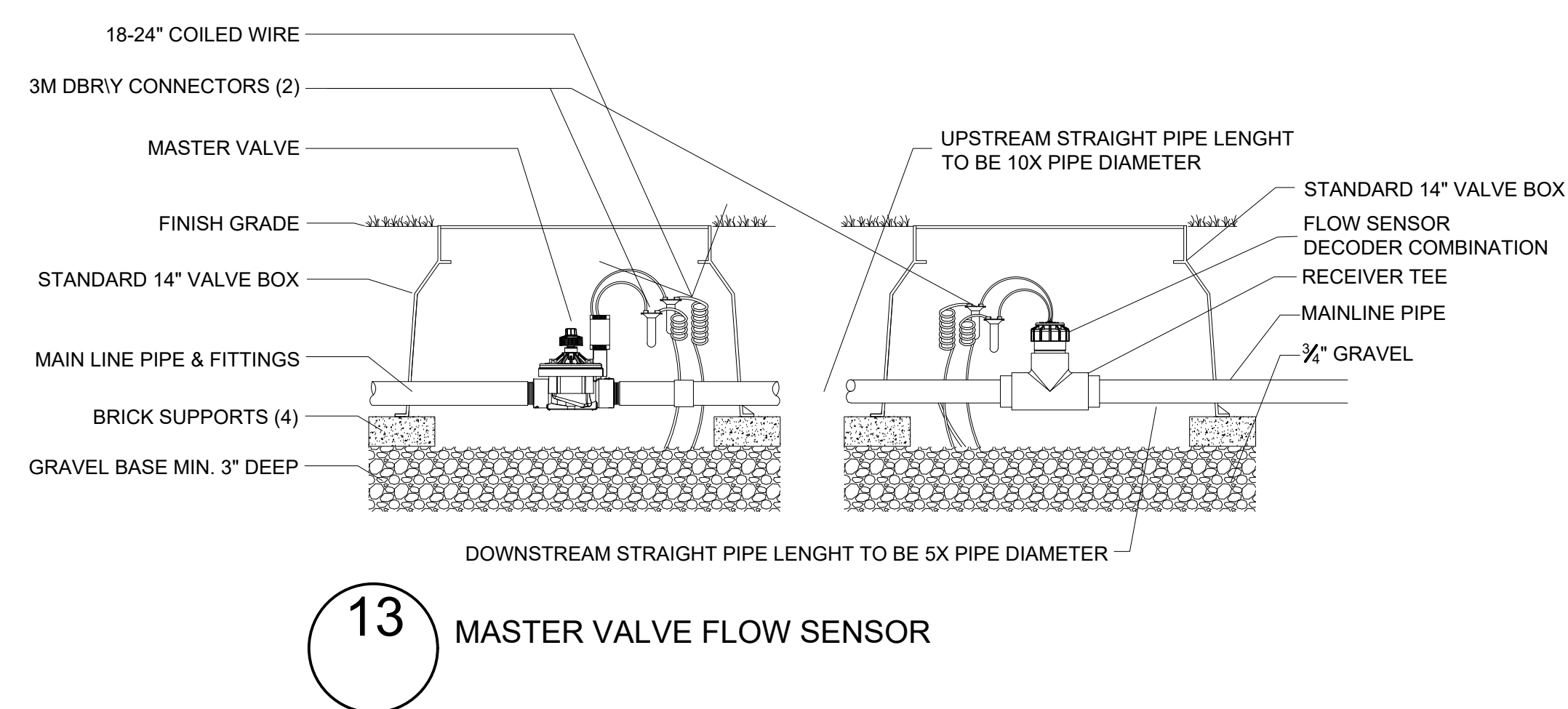
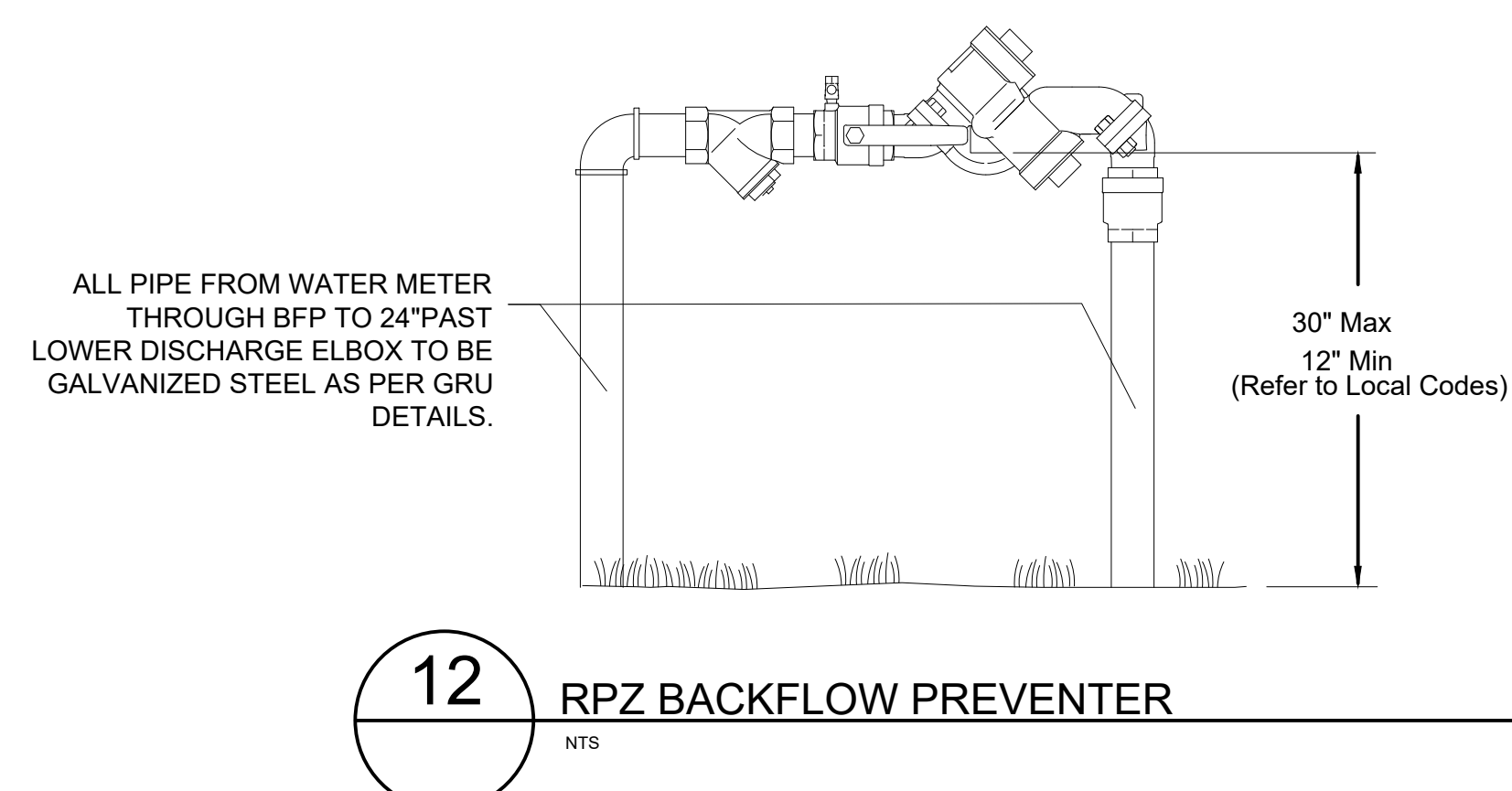
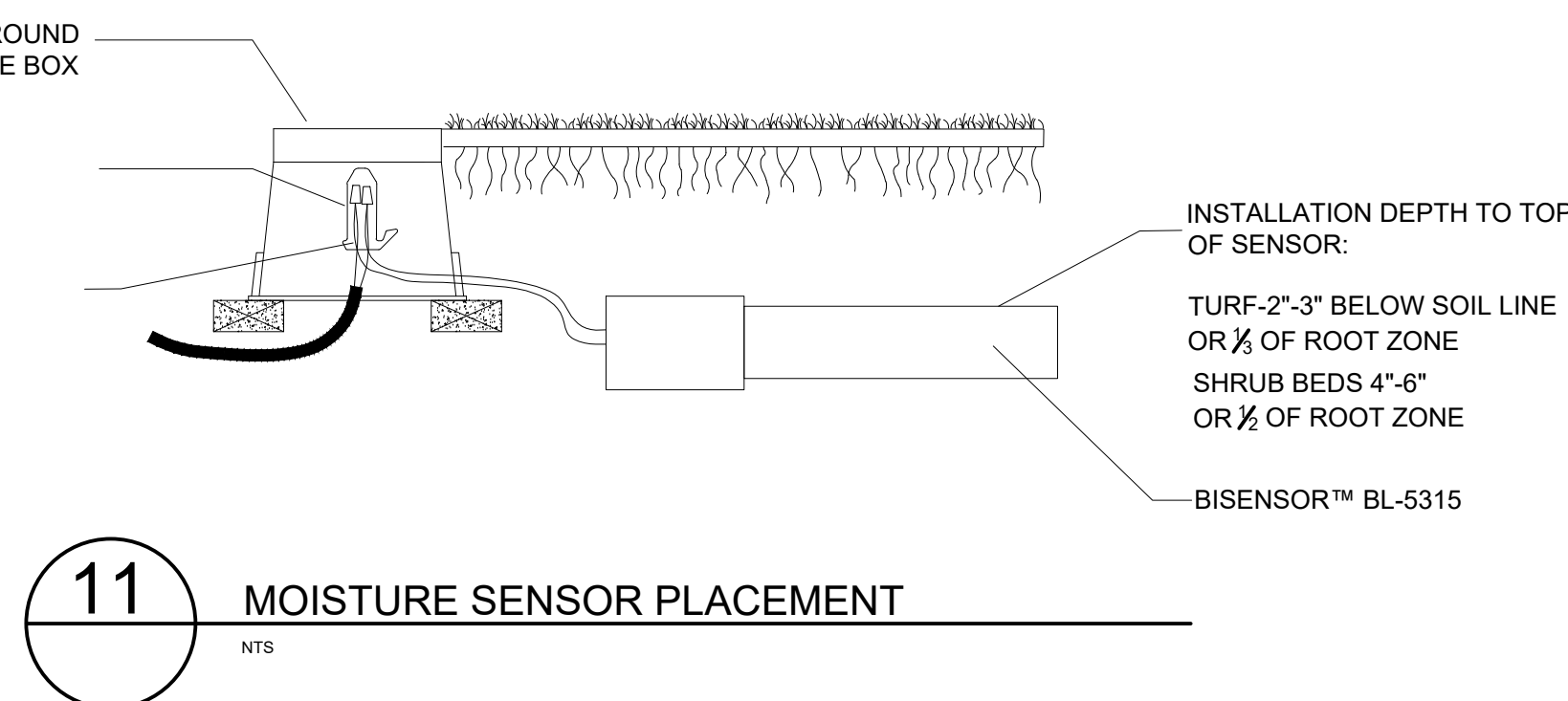
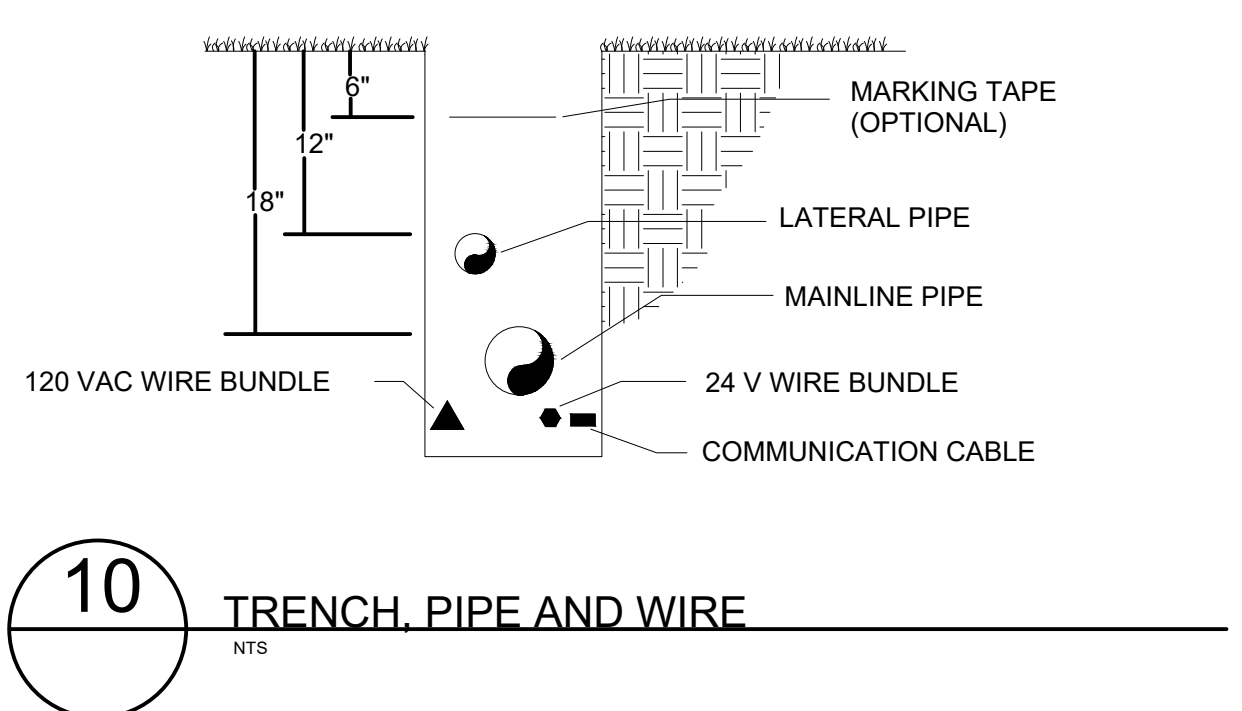
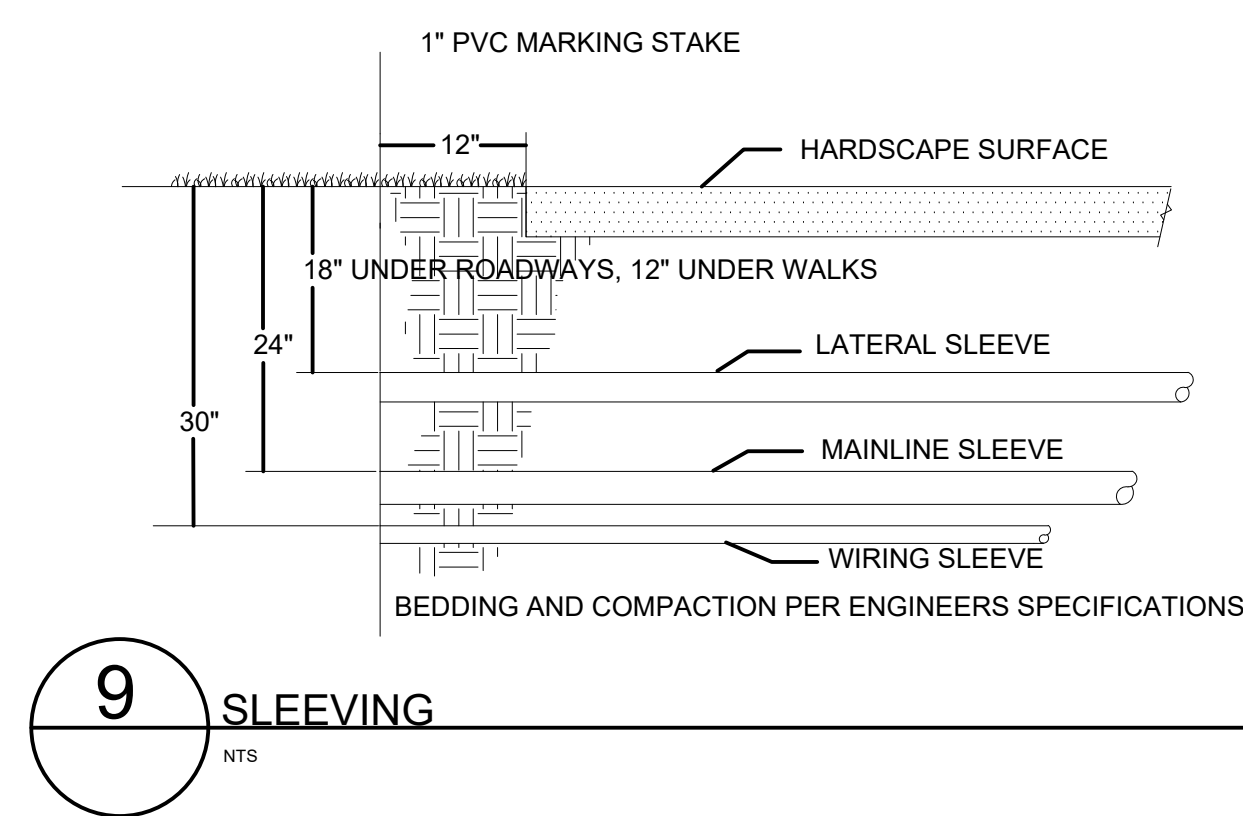
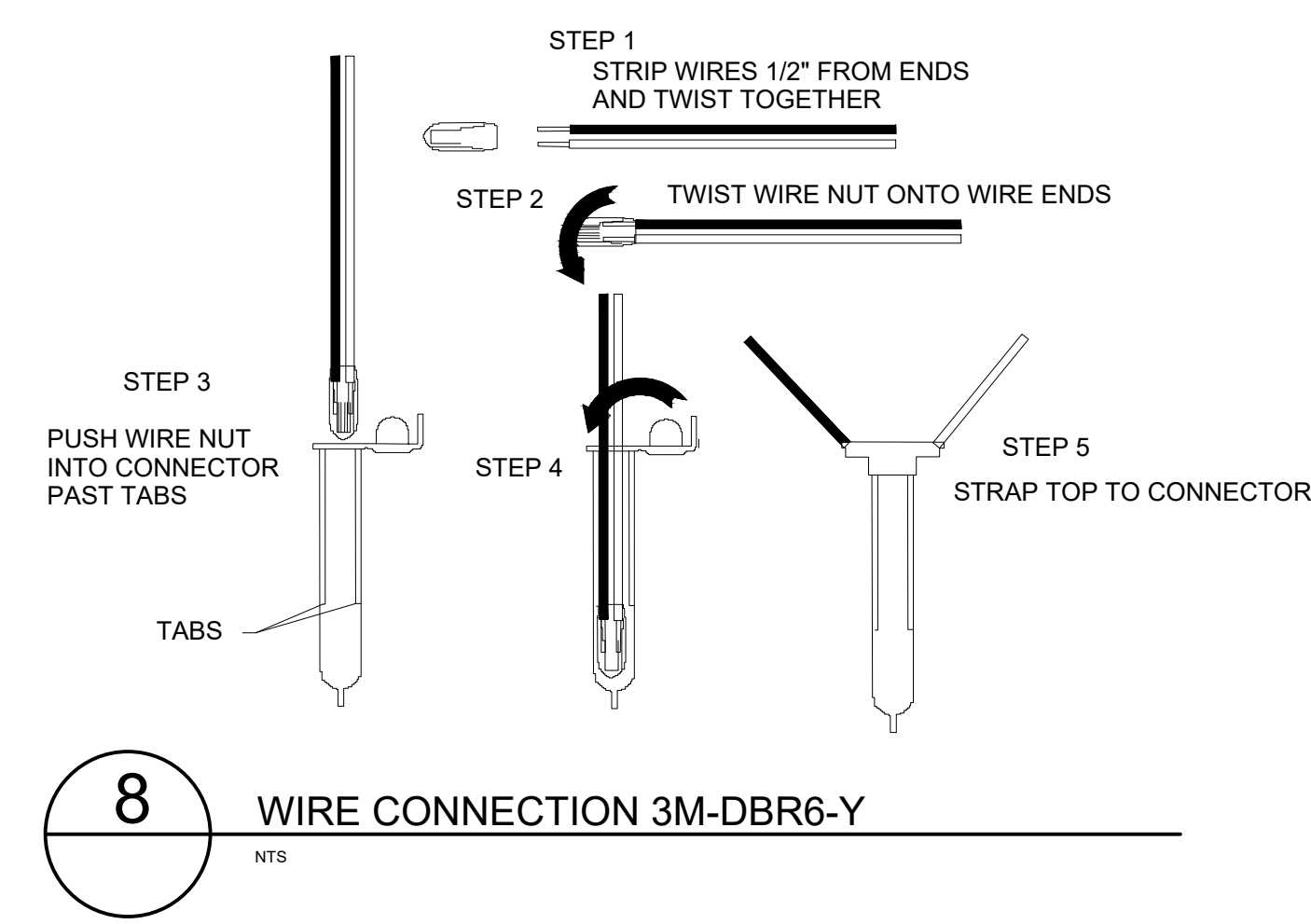
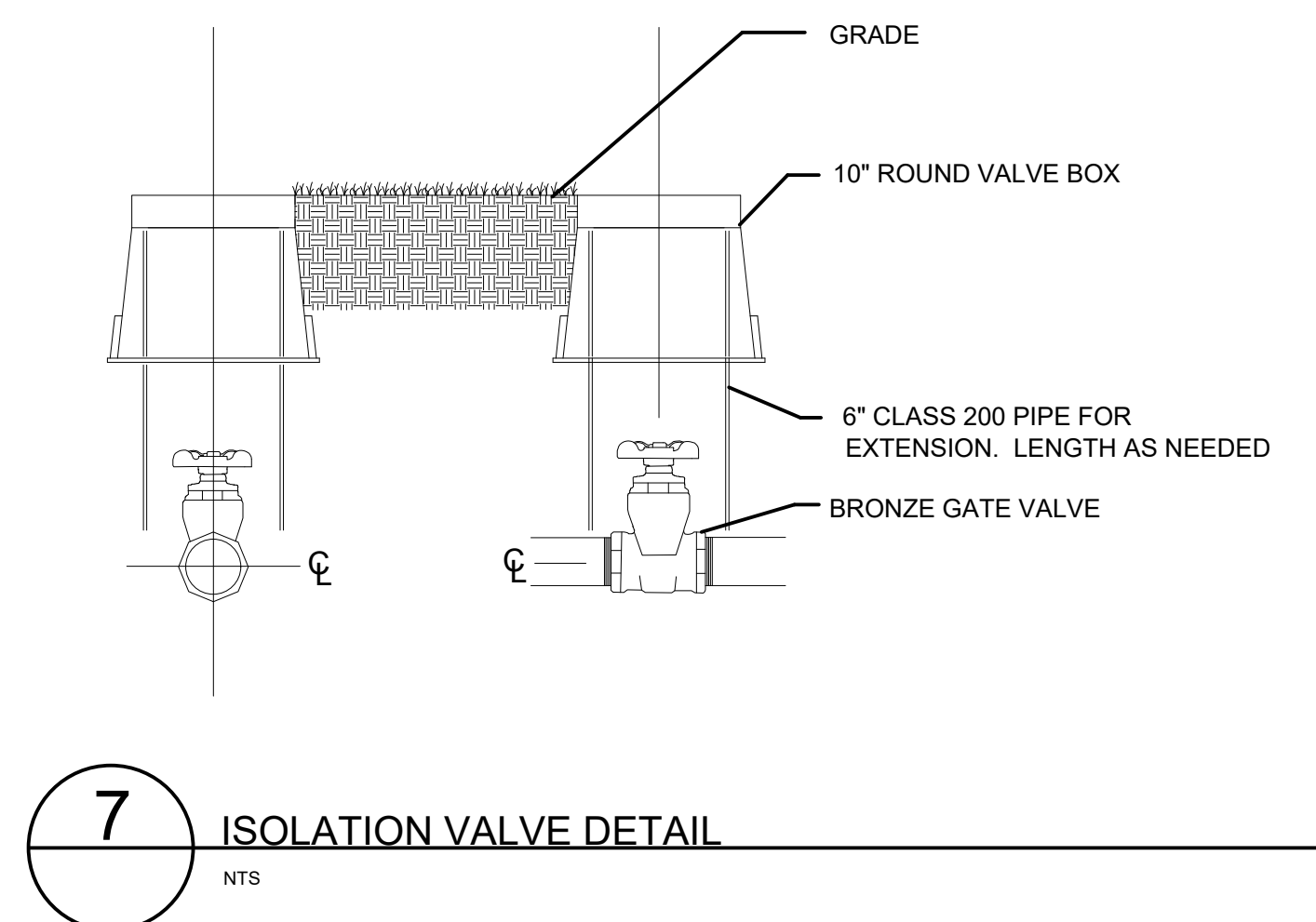
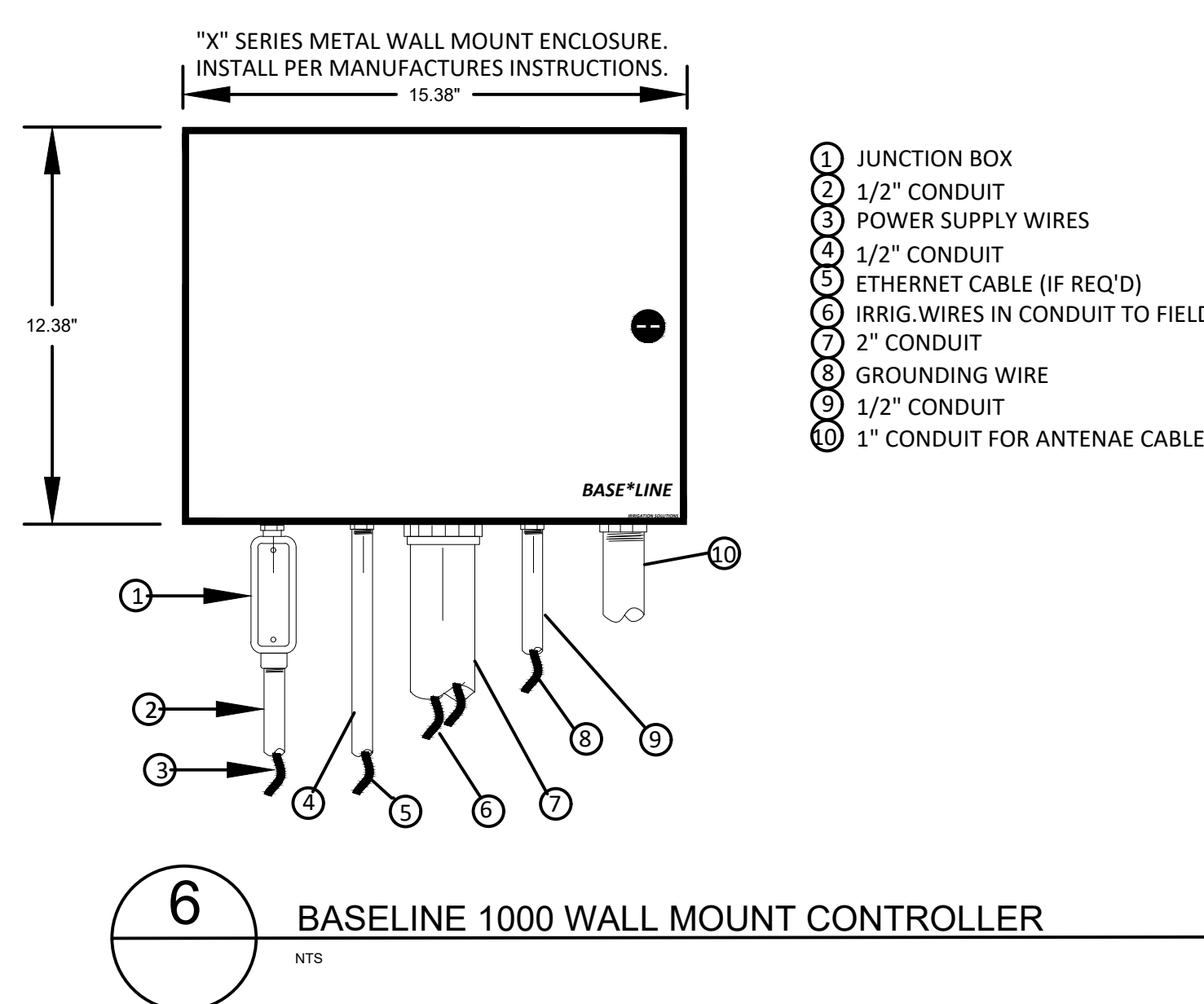
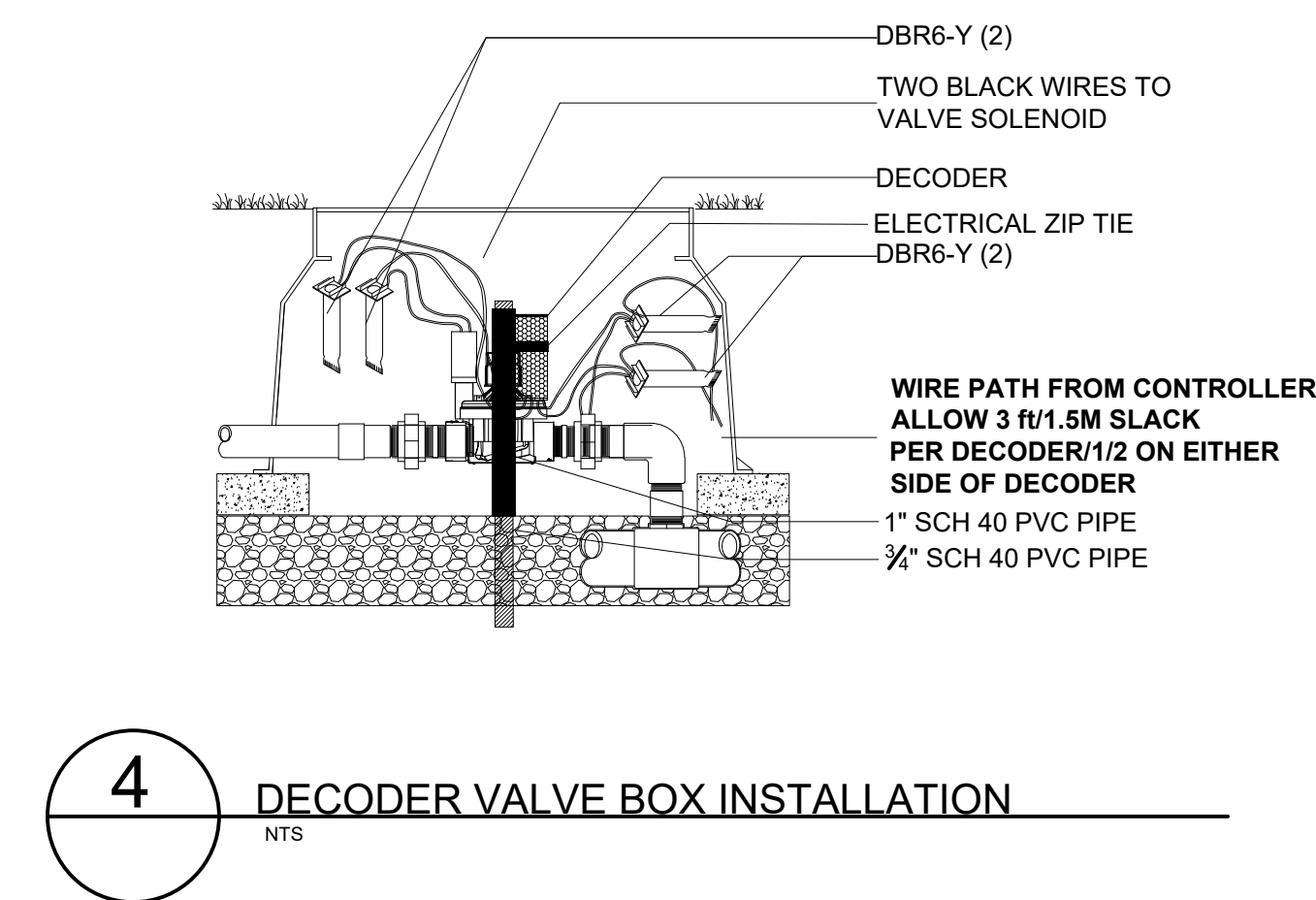
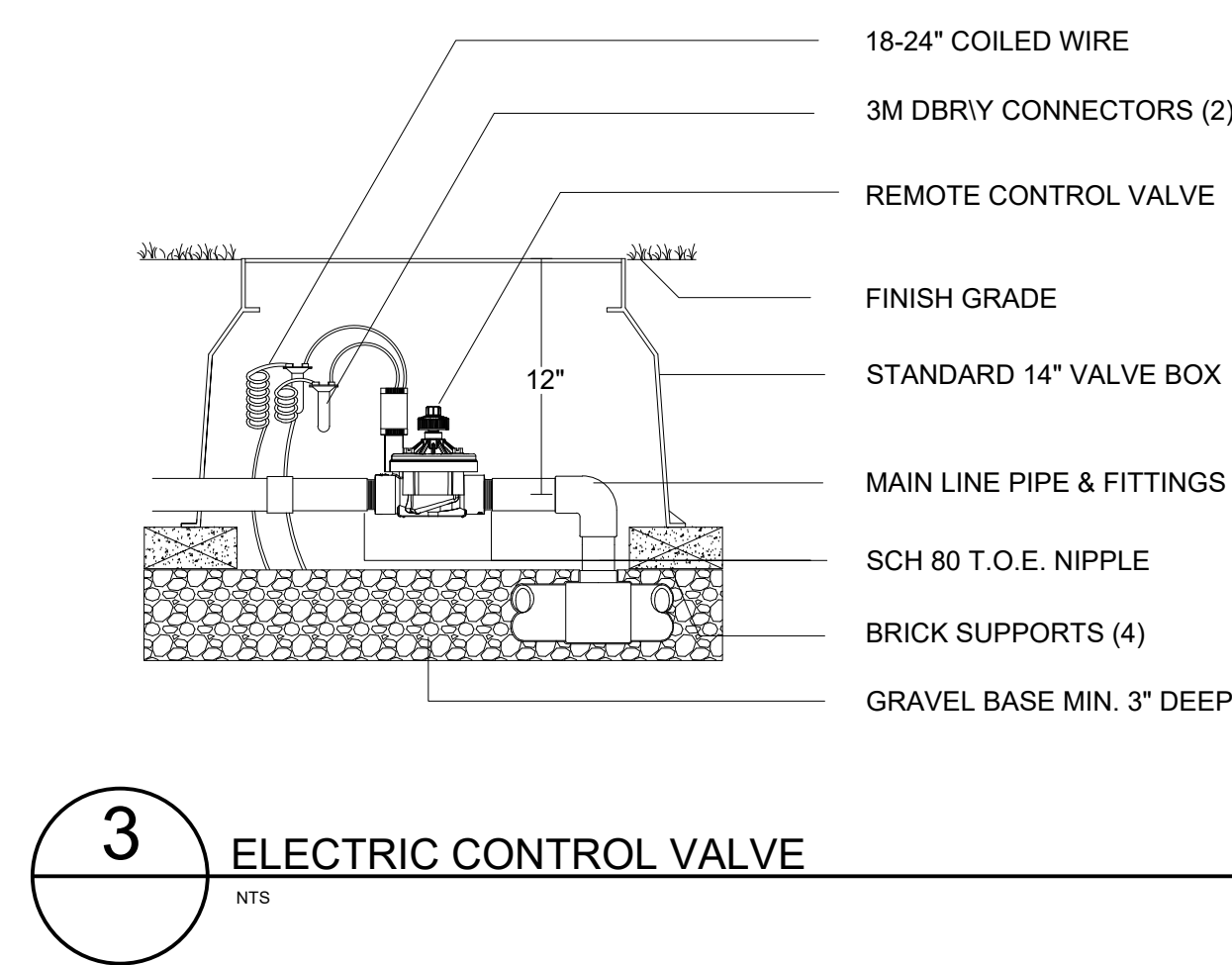
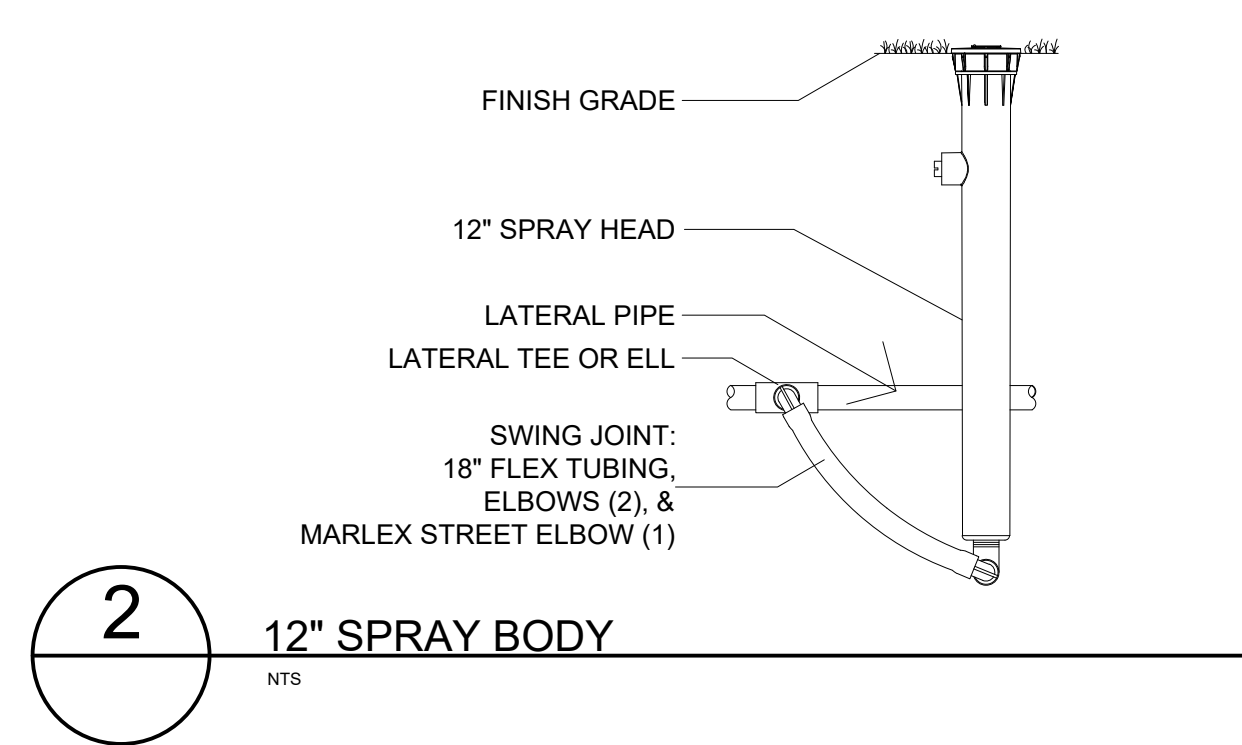
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**IRRIGATION
PLAN**

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24022.00

11.02

DATE: - 08.29.2025
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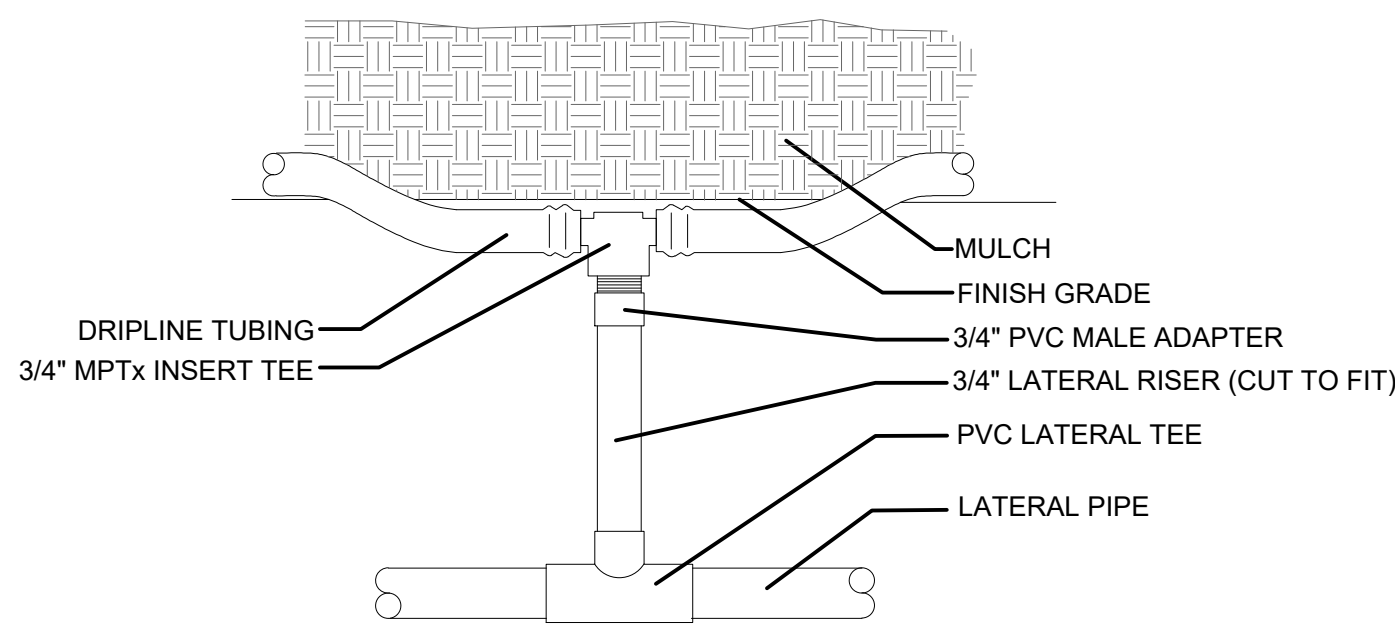
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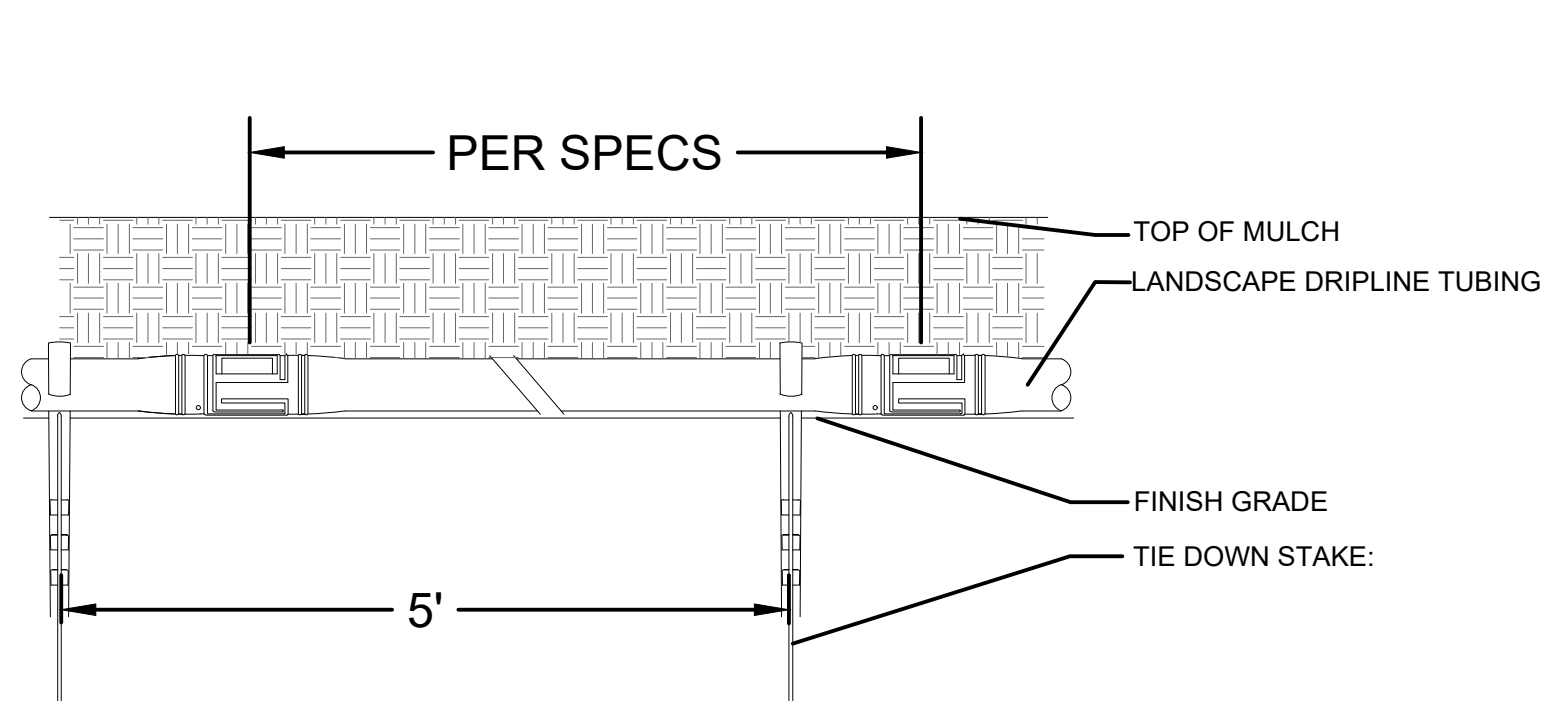
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DATE: - 08.29.2025

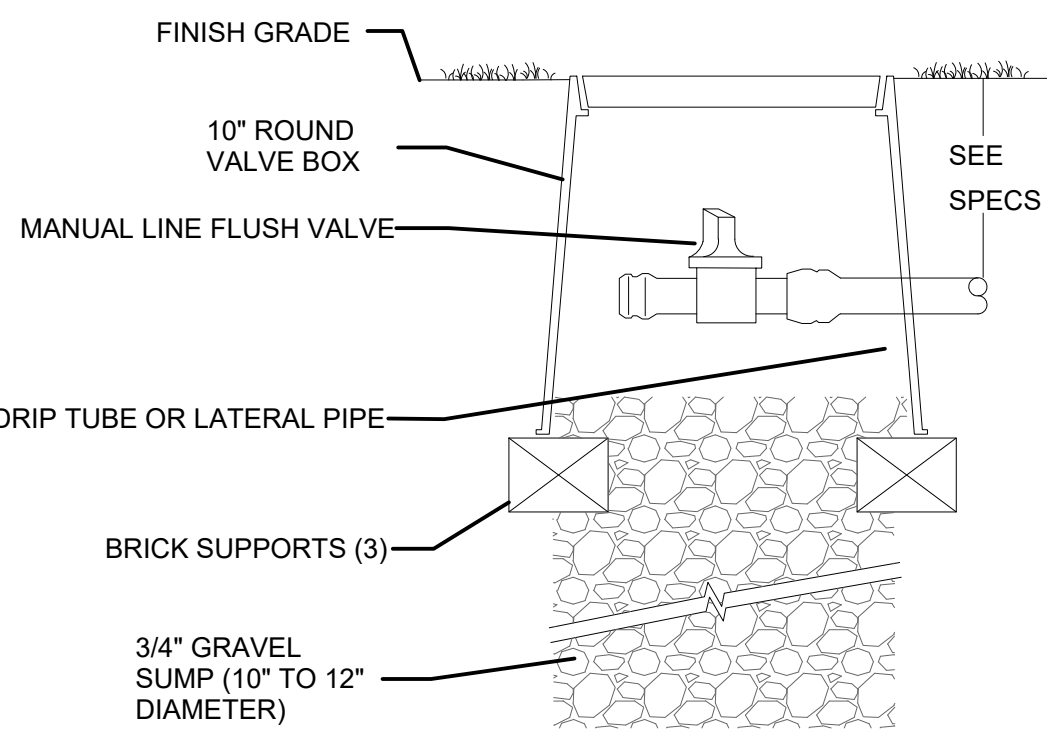
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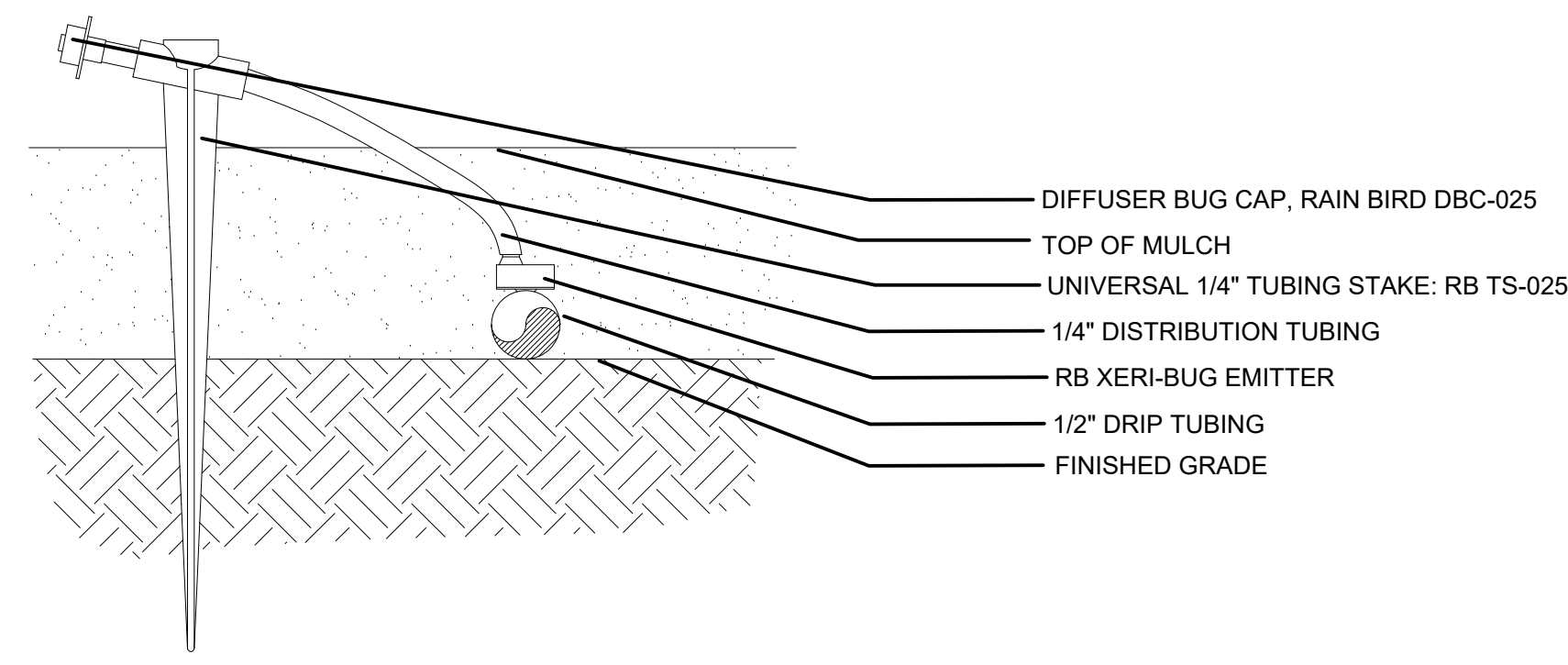
14 DRIPLINE START CONNECTION (W/ PVC LATERAL RISER)



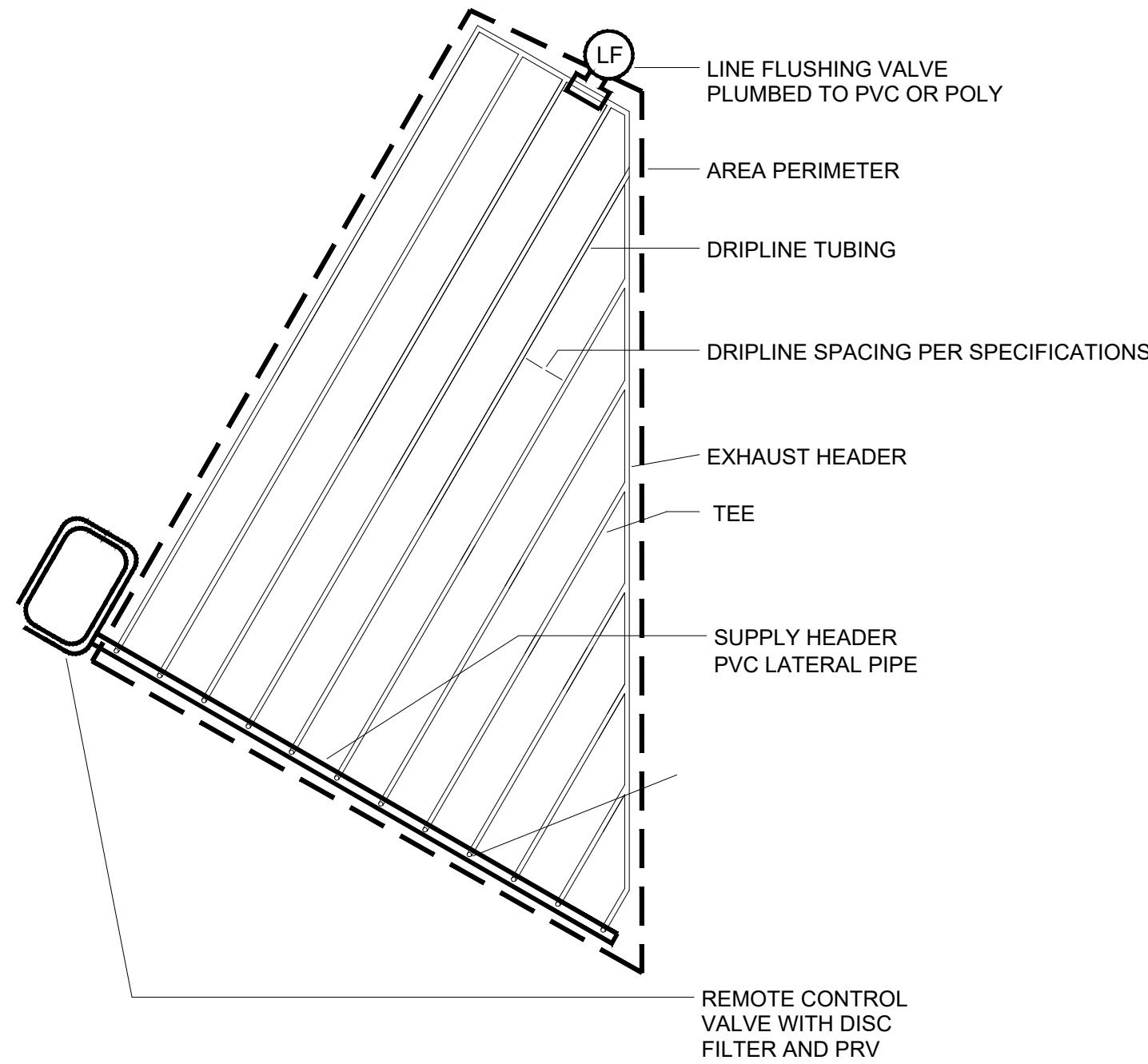
15 DRIPLINE ON GRADE WITH MULCH COVER



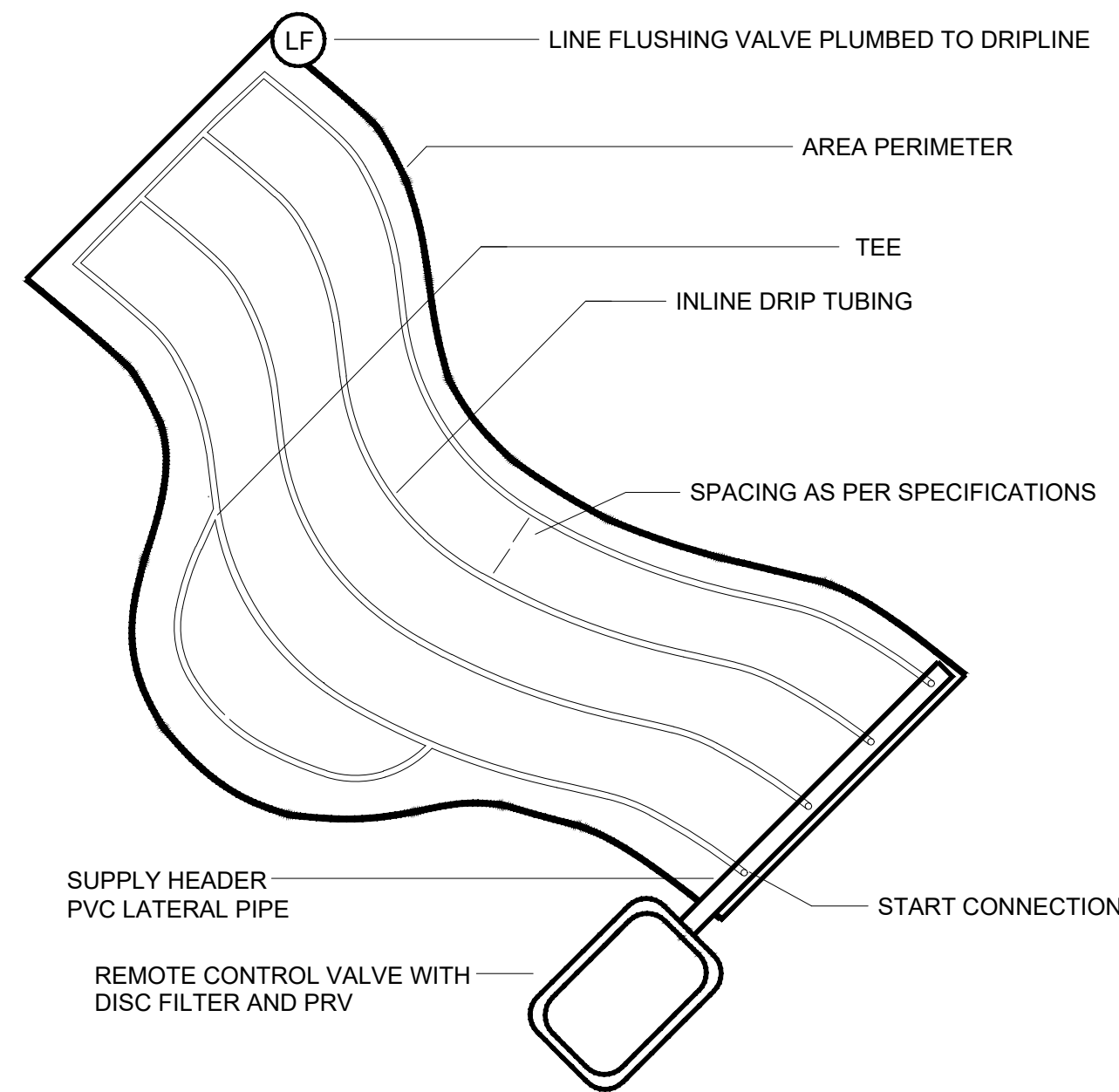
16 MANUAL LINE FLUSHING VALVE



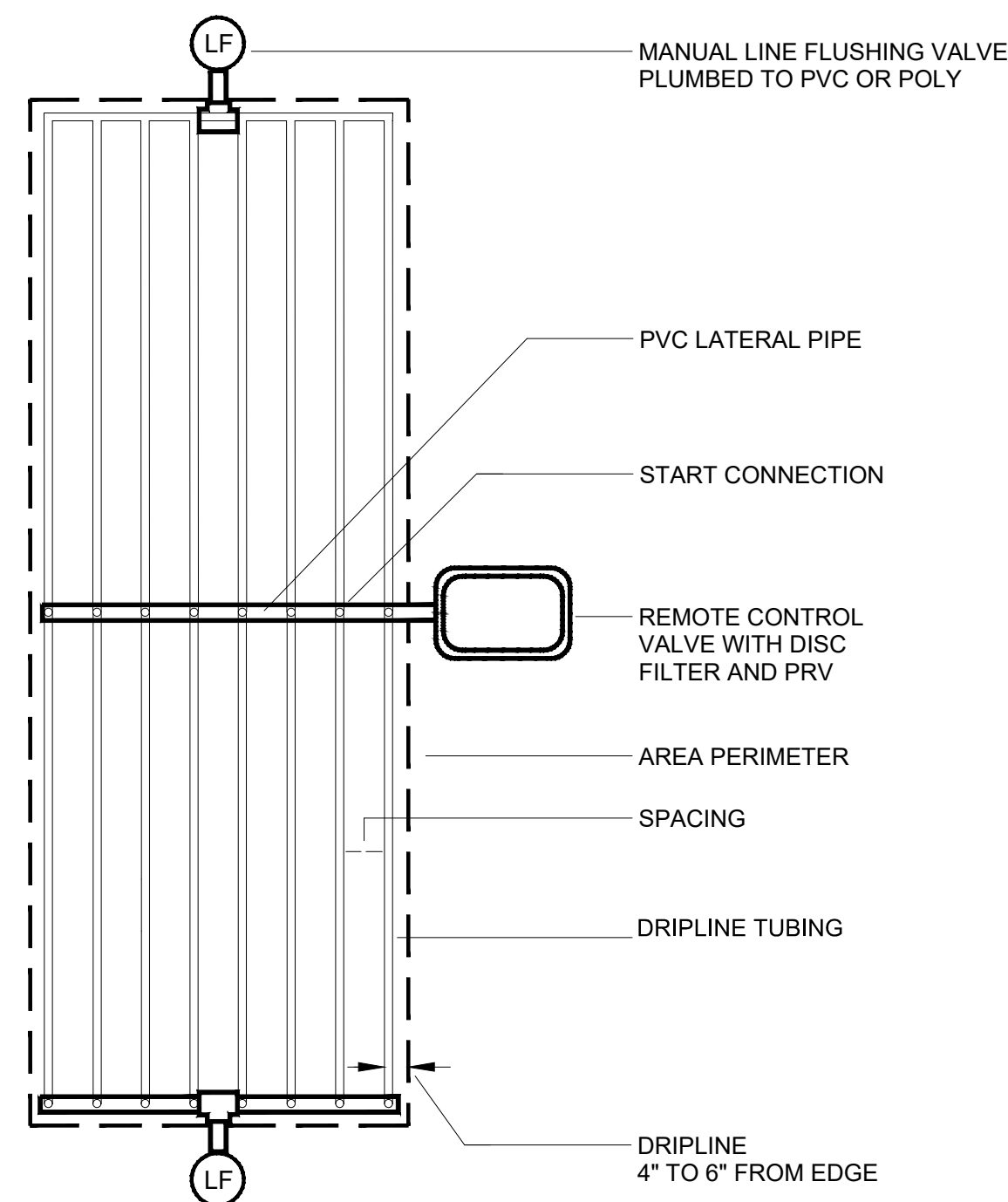
17 XERI-BUG INTO 1/2" TUBING WITH 1/4" TUBING, STAKE AND BUG CAP



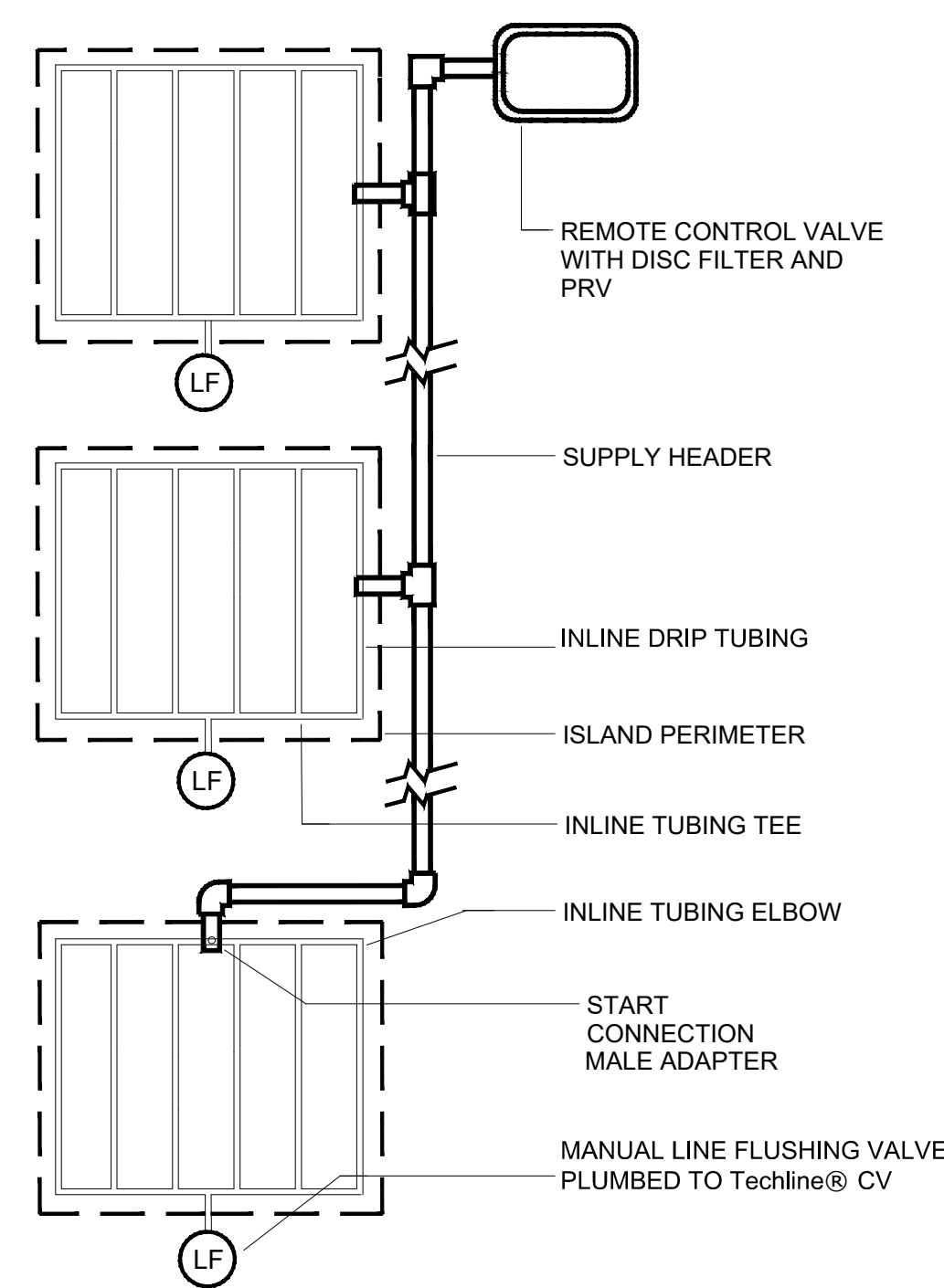
18 IRREGULAR AREA



19 IRREGULAR AREA

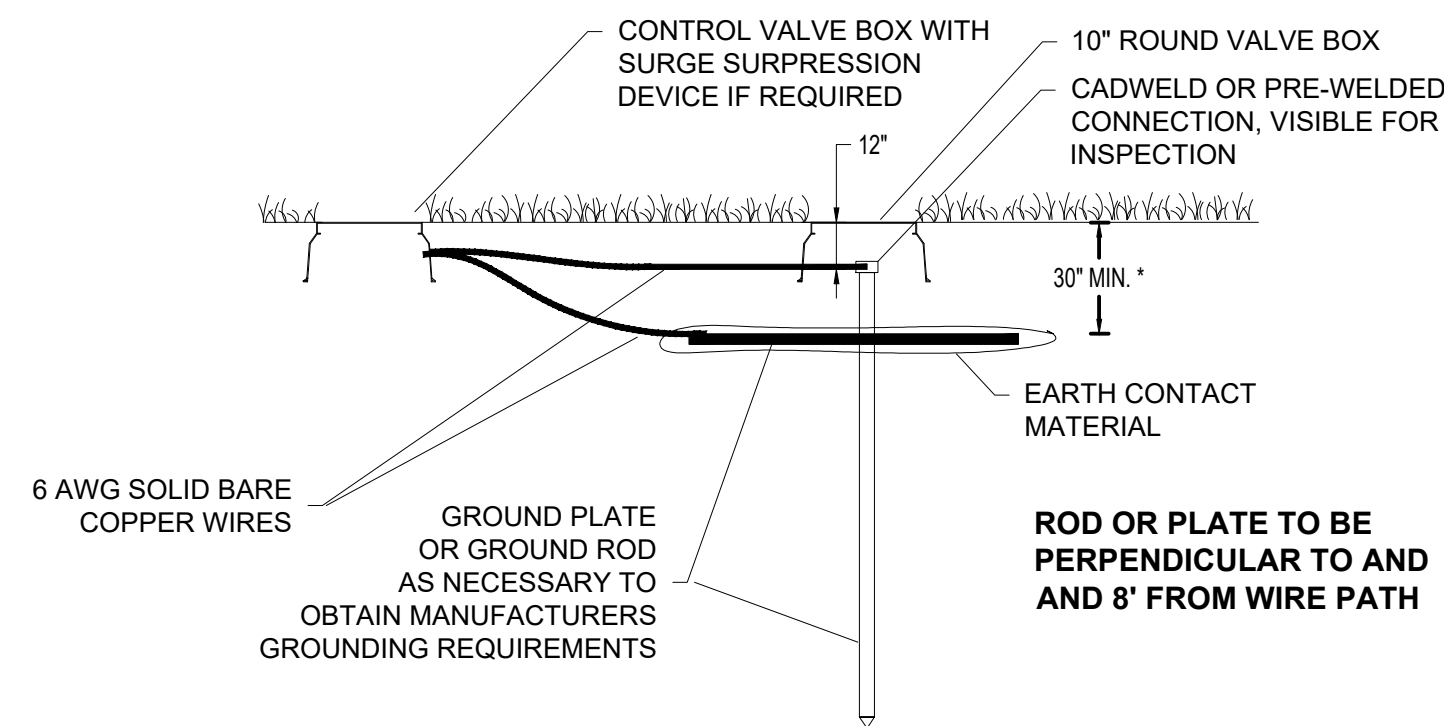


20 CENTER FEED LAYOUT



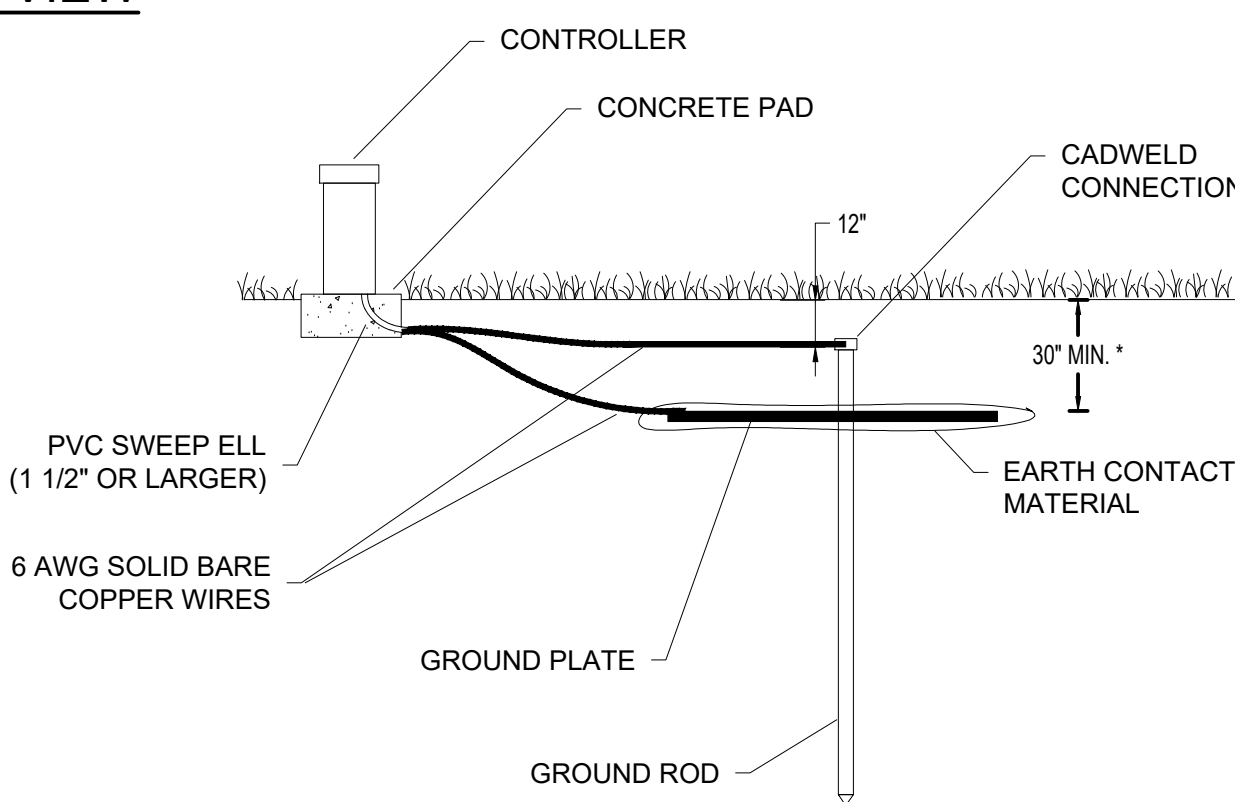
21 ISLAND LAYOUT

SIDE VIEW



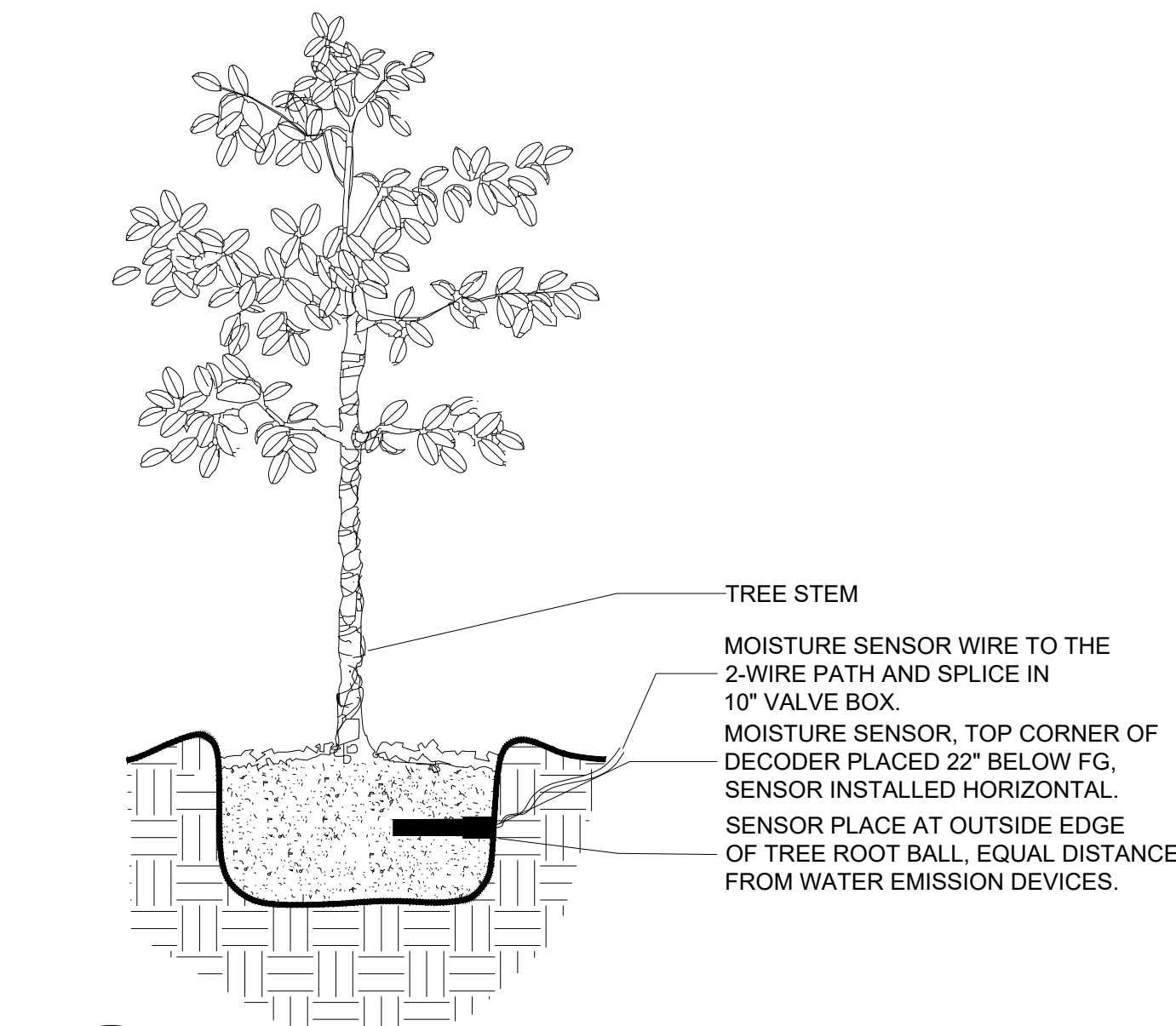
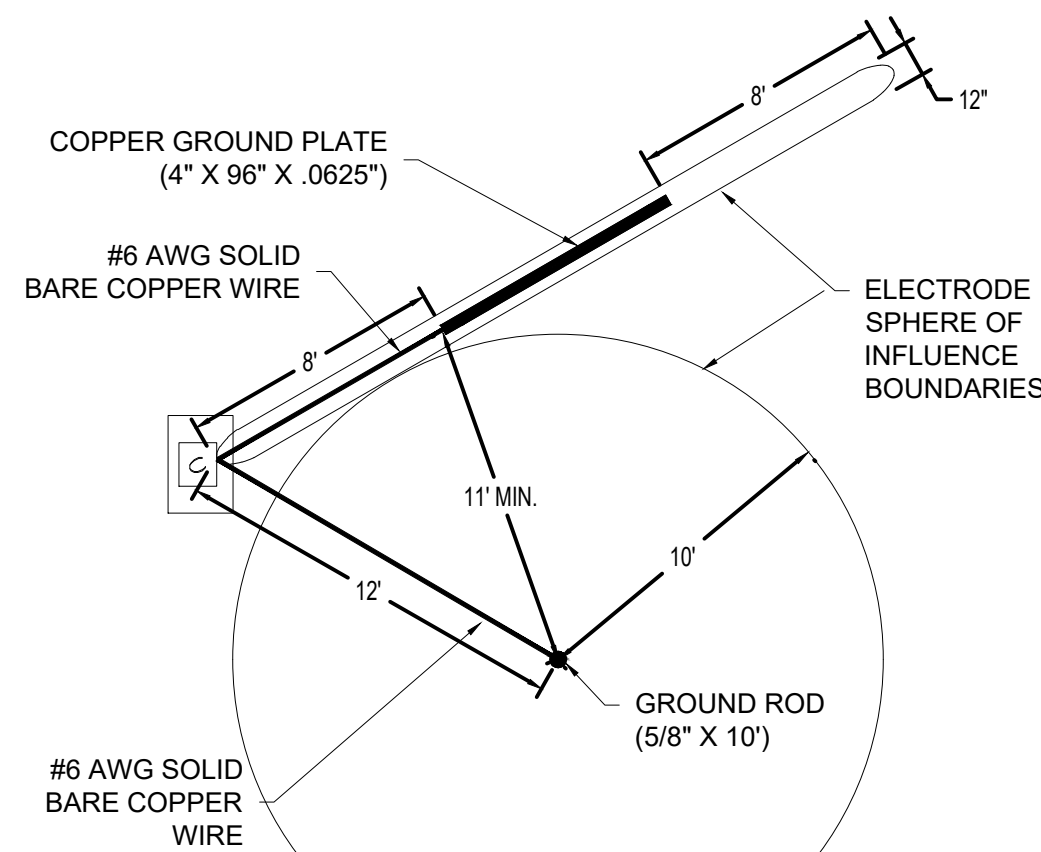
22 TWO WIRE GROUNDING POINT DETAIL

SIDE VIEW



23 CONTROLLER GROUNDING DETAIL

TOP VIEW



24 MOISTURE SENSOR LOCATION FOR TREES

SHEET STATUS

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A	08.29.2025	NM	IFC SET
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SHEET TITLE:

IRRIGATION DETAILS

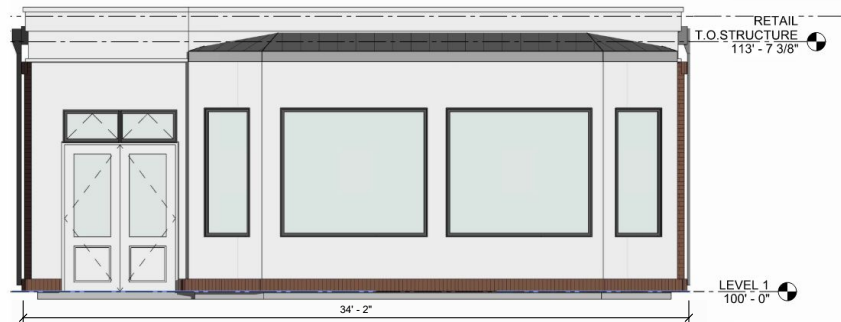
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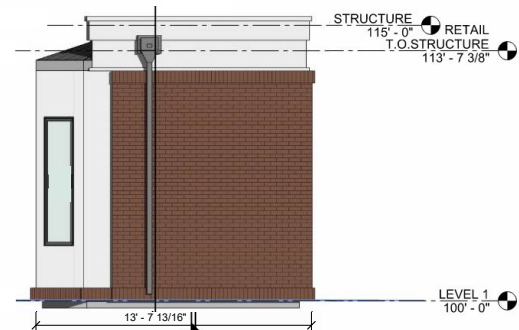
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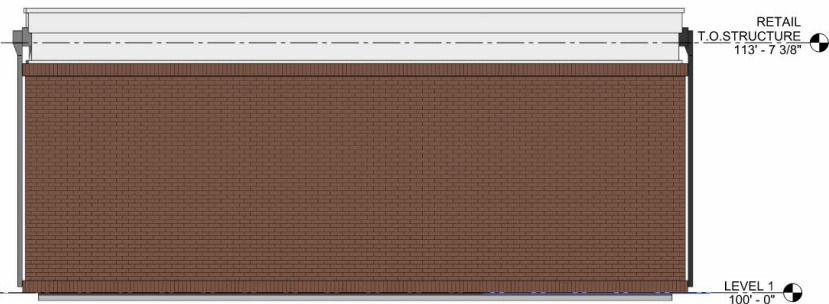
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South Elevation (Front)



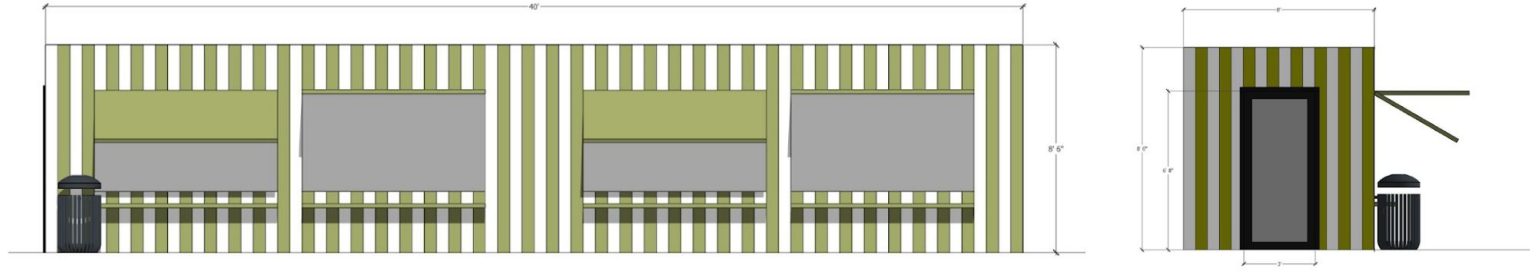
East Elevation (Side)



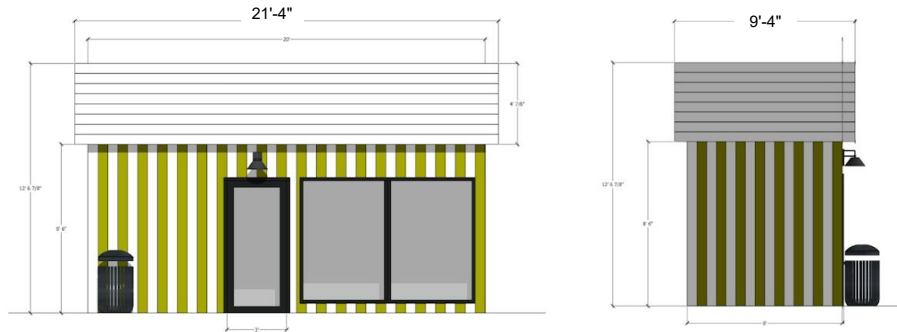
North Elevation (Rear)



West Elevation (Side)



Concessions



Clubhouse





VINEYARD PLANNING COMMISSION STAFF REPORT

Meeting Date: August 5, 2026

Agenda Item: Land-use application review policy timelines

Department: Planning

Presenter: Paul Douglass

Background/Discussion:

The purpose of this work session is to discuss potential improvements to the Planning Department's review processes and meeting procedures to enhance operational efficiency and the effectiveness of application reviews. Staff will present proposed process improvements for discussion and feedback.

As the Planning Commission transitions to a single meeting each month, these proposed changes are intended to provide staff and Planning Commissioners with additional time to review application materials in advance of meetings. The goal is to support more thorough evaluations, informed decision-making, and meaningful discussion during Planning Commission meetings.

Fiscal Impact:

NA

Recommendation:

NA

Sample Motion:

NA

Attachments:

None