



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
Vineyard City Hall, 240 East Gammon Road, Vineyard, Utah
Wednesday, July 19, 2017 at 6:30 p.m.**

PUBLIC NOTICE is hereby given that the Planning Commission of Vineyard, Utah, will hold a regular planning commission meeting, on Wednesday, July 19, 2017 at 6:30 p.m. The meeting will be held at City Hall, 240 East Gammon Road, Vineyard, Utah. The public is invited to participate in all planning commission meetings. The agenda will consist of the following:

1. CALL TO ORDER

2. INVOCATION – Individuals are invited to volunteer.

3. OPEN SESSION – This is a Public Comment period (see definition below).

4. MINUTES REVIEW AND APPROVAL – There are no minutes for review.

5. BUSINESS ITEMS:

5.1 Utah Valley Home Builders Association Site Plan

The Utah Valley Home Builders Association will present their proposed site plan for an office building located at 707 E Mill Road.

5.2 Phase 3 of Zoning Ordinance Amendment: Site Planning, Landscaping, and Parking

5.3 General Plan Diagnostic Update

6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE

7. STAFF REPORTS

- Morgan Brim, Planning Director
- Don Overson, City Engineer

8. ADJOURNMENT

- **OPEN SESSION** – Open Session is defined as time set aside for the public to express their views. Each speaker is limited to three (3) minutes. If action is necessary, the item will be listed on a following agenda. However, the Planning Commission may elect to discuss the item if it is an immediate matter of concern.
- **SPECIAL ACCOMMODATION** – In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Elizabeth Hart, Community Development Technician, at least 24 hours prior to the meeting by calling (801) 226-1929.
- **ELECTRONIC OR TELEPHONE PARTICIPATION** – One or more members of the Vineyard Planning Commission may participate electronically or by phone.

The foregoing notice and agenda was posted on the Utah Public Notice Website, posted on the Vineyard Website and at the Vineyard City Office, delivered to each member of the Vineyard Planning Commission, and emailed to the Daily Herald and surrounding entities.

AGENDA NOTICING COMPLETED ON: July 14, 2017

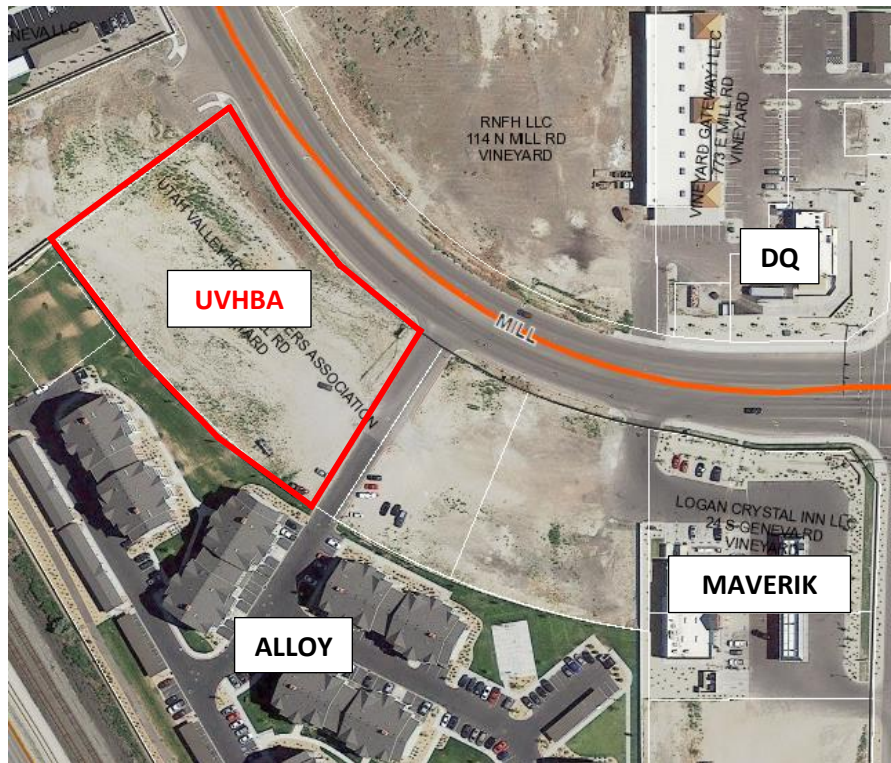
CERTIFIED (NOTICED) BY: /s/ Elizabeth Hart

Elizabeth Hart, Community Development Technician



Community Development

Date: July 19, 2017
From: Elizabeth Hart, Planner
To: Planning Commission
Item: Utah Valley Home Builders Association Site Plan Application
Address: 707 E. Mill Rd
Applicant: Davies Design Build, Inc & Knight West Builders



INTRODUCTION:

The proposed site plan application is for the Utah Valley Home Builders Association site, located at 707 E. Mill Road. The applicant is proposing to construct a new office building, the development consists of a 3-story office building and parking areas on approximately 2 acres. The proposed project is located in the Regional Mixed Use (RMU) Zone. The surrounding properties consist of a vacant lot and the Maverick convenience store to the East and The Alloy at Geneva to the South.

ANALYSIS:

The project includes a 3-story office building on 2 acres of land. The proposed building is 30,000 sq. ft. (gross floor area). The site includes 146 parking spaces, 3 of which are ADA. The site includes approximately .63 acres of landscaping which includes a plaza area to the North of the building. Improvements to Mill Road will be made with the addition of a sidewalk. Access to the site is from Mill Road, the access road was constructed to give access to the Alloy at Geneva development and will also give access to the adjacent vacant lot.



Community Development

The RMU district promotes the goals of the general plan in areas of the city that are designated by the general plan for a combination of land uses in a mixed-use development pattern either horizontal or vertical design. Commercial and employment uses are permitted in this district.

CH. 7 Section 730 Regional Mixed Use District			
Compliance	CATEG	Standard	Comments
☒ Yes ☐ No ☐ N/A	733 Use Regulations	Uses are identified in the District Use Table	Office uses are a permitted use in the RMU district.
☐ Yes ☐ No ☒ N/A	734.1. Non-Residential Density	There is no limit on the intensity of non-residential units as long as each development complies with the development standards of the approved development plan and requirements herein.	
☒ Yes ☐ No ☐ N/A	734.5. Building Height	The maximum allowable building height shall be fifty-two (52) feet. The maximum number of stories shall be four (4) for non-residential or vertical mixed-use buildings.	The proposed building has 3 stories
☒ Yes ☐ No ☐ N/A	734.6. Setbacks	Arterial – 25 feet Collector – 20 feet Local – 15 Feet	The proposed project is located on Mill Road which is an Arterial Road which puts the setback at 25 feet. It has a proposed setback from the property line of 40 feet.
☒ Yes ☐ No ☐ N/A	734.10.1 Open Space	At least one major private or public space, such as a plaza, park, town square, or other gathering space. These spaces should be designed and located for substantial use. The gathering space should include a significant public amenity, such as water features and/or public art.	A proposed plaza is located in front of the North side of the proposed building. Staff has recommended that outdoor seating be added to the plaza area. This has been recommended to meet other requirements laid out below, staff finds this acceptable for the site and location of the plaza.
☒ Yes ☐ No ☐ N/A	734.10.4	A minimum of ten (10) percent of the site area of the non-residential development shall be set aside for open space. Such areas shall be used for plaza areas, outdoor seating areas. The minimum size of an open space areas shall be 2,000 sq. ft.	A plaza area of approximate 2,000 sq. ft. is located in front of the north side of the proposed building.

Community Development

Chapter 18 Project Site Planning and Building Design Requirements			
☒ Yes ☐ No ☐ N/A	1803.1. Subdivision and Project Features	All projects shall include project features that add visual interest and attractiveness to the project area and the City. Such features may include project entry features, public art pieces, streetscape designs, pedestrian and biking facilities and trails, consistency in design features, and useable parks and open spaces.	Staff has recommended outdoor seating in the plaza area and for bicycle parking facilities to be added.
☒ Yes ☐ No ☐ N/A	1803.5.4 Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	Internal sidewalks around the building will be provided for pedestrian connectivity to the parking areas and public streets.
☐ Yes ☒ No ☐ N/A	1803.8.2 Building Finishes	High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.	Aluminum is used in the building material. Staff has recommended that the aluminum be buffered.
☒ Yes ☐ No ☐ N/A	1803.9.1.2. Site Design and Layout	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing, or planned.	There are internal sidewalks that provide connection to the proposed plaza area and other landscaped areas around the site.
☒ Yes ☐ No ☐ N/A	1803.10. Site Access	The location and number of access points to the site, the interior circulation pattern and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.	There is one access point that comes from a side road off of Mill Rd that runs north and south, it also provides access to the Alloy development.
☐ Yes ☐ No ☒ N/A	1803.17.3. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exists. All parking area lighting shall be integrated with a landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.	A parking lot lighting plan has been requested by staff.
☒ Yes ☐ No ☐ N/A	1803.18. Sign Standards	Signs shall be provided as an integral site and building design element and shall be compatible with the style of the building in terms of location, scale, color, and lettering style.	No sign plan has been submitted. The Alloy has an existing sign on the property.

Community Development

Chapter 19 Parking and Loading Requirements									
☐ Yes ☒ No ☐ N/A	1903.4. Accessible Parking	Accessible parking for non-residential developments shall be provided in conformance with the Americans with Disabilities Act (ADA), Utah Americans with Disabilities Act (Utah ADA) and International Building Code (IBC).	To meet the ADA requirements 2 additional ADA parking stalls will need to be added.						
☐ Yes ☒ No ☐ N/A	1903.5. Parking Stall Dimensions	Minimum parking stall size: <table border="1"> <thead> <tr> <th>Type</th> <th>Width</th> <th>Length*</th> </tr> </thead> <tbody> <tr> <td>Standard</td> <td>9 feet</td> <td>20 feet</td> </tr> </tbody> </table> * The front of the parking space may overhang two (2) feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a four (4) foot wide clearance for pedestrian access (a total of six (6) feet from the curb face to the opposite edge of the walkway).	Type	Width	Length*	Standard	9 feet	20 feet	Staff has requested that parking spaces meet the 20-foot length requirement or have a 2-foot overhang into a landscape strip or pedestrian walkway.
Type	Width	Length*							
Standard	9 feet	20 feet							
☒ Yes ☐ No ☐ N/A	1903.6. Parking Aisle Dimensions	<table border="1"> <thead> <tr> <th>Parking Angle</th> <th>Two-Way Aisle</th> </tr> </thead> <tbody> <tr> <td>90 Degrees</td> <td>24 Feet</td> </tr> </tbody> </table>	Parking Angle	Two-Way Aisle	90 Degrees	24 Feet			
Parking Angle	Two-Way Aisle								
90 Degrees	24 Feet								
☐ Yes ☒ No ☐ N/A	1903.14. Screening	All off-street parking lots of four (4) or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3) feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of two and one-half (2.5) feet back from the edge of the parking stall.	There is a 3-foot high retaining wall located on the north side of the site. There are parking spaces that abut this wall and staff has requested that the wall be installed to meet the 2.5-foot setback from the edge of the parking stalls. (a graphic has been attached at the end of this report)						
☒ Yes ☐ No ☐ N/A	1903.15.a Parking Area Landscaping	Five percent (5%) of the gross parking surface area shall be of dispersed interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area..	Landscaping covers approximately 24% of the gross parking surface area.						
☒ Yes ☐ No	1903.15.b.	Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average	A fence is in place between the Alloy and proposed project site. A retaining wall is proposed adjacent to the Mill Road						

Community Development

☐ N/A		headlight height. Screening methods may include landscaped berms, low walls, and hedges.	
☒ Yes ☐ No ☐ N/A	1903.15.d.	In projects greater than 1 acre, every parking space should be no greater than one hundred fifty (150) feet from a walkway leading to a building entrance.	All parking spaces are within 150 feet from a building entrance.
☒ Yes ☐ No ☐ N/A	1903.15.g.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.	Mill Road currently has street lights which illuminate the streets and public sidewalks. The proposed office building will have decorative lighting on the building. Any parking lighting proposed will be directed downward as to no be a nescience to the adjacent property. Staff has requested a parking lot lightings plan as well.
☒ Yes ☐ No ☐ N/A	1903.B. Off street parking requirements	Professional/Unspecified Offices: Facilities for general office work providing professional, business administrative, informational services or facilities that house governmental agencies and similar uses.	1 space per 200 sq. ft. of gross floor area. The proposed building has 30,000 sq. ft. which requires 150 parking spaces. The proposed project shows 146 parking spaces. Staff has requested for additional spaces to be added or that bicycle parking facilities be added accommodate this requirement.
Chapter 20 Landscaping			
☒ Yes ☐ No ☐ N/A	2008.1.b General	All required deciduous trees shall be a minimum of two-inch caliper in size. All evergreen tress shall be a minimum of 6-feet in height. All shrubs shall be a minimum of 5-gallon in size.	Proposed landscaping trees and shrubs meet this requirement and can be found on the landscaping page in the plan set.
☒ Yes ☐ No ☐ N/A	2008.2.b. Onsite Landscaped Areas	Landscaped areas shall be provided on the site in an amount equal to or greater than twenty (20) percent of the net site area. For the purposes of this section, landscape areas shall also include plazas.	34% of the site area is landscaped.
☐ Yes	2008.2.d.	The landscaping of all street right-of -ways contiguous with the proposed development site	Staff has requested additional landscaping be added.

Community Development

☒ No ☐ N/A		not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.	
☒ Yes ☐ No ☐ N/A	2008.3.a Landscaped Buffers	A minimum ten-foot- wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial or industrial uses when such property lines are contiguous with any residential development or residential zoning district	A ten-foot buffer along the south side of the property abutting the Alloy property has been provided.
☐ Yes ☒ No ☐ N/A	2008.3.b	The landscape buffer areas shall be improved with a minimum of one (1) screening tree space at each fifteen (15) foot interval of the property boundary being screened.	The proposed landscaping has 1 tree per ~40 feet along the 10-foot buffer. Staff has requested for additional landscaping to be added. A graphic for this requirement has been provided at the end of this report.
☐ Yes ☒ No ☐ N/A	2008.6. a Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial Streets: 25 feet	There is approximately 7 feet between the sidewalk and the retaining wall. Staff has requested that additional landscaping be provided between this space and more landscaping be added between the building and retaining wall. A graphic has been provided at the end of this report.
☐ Yes ☒ No ☐ N/A	2008.6.d.	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.	Currently the landscaping of the street frontage is all turf.
☐ Yes ☒ No ☐ N/A	2008.6.e	The installation of street trees, shrubs and vegetation groundcover shall be required for all applicable projects in an amount equal to or greater than one (1) tree and ten (10) shrubs for every twenty (20) feet of street frontage.	Staff has requested additional landscaping to meet this standard.



Community Development

FINDINGS:

With the proposed conditions, the proposed plats meet the following findings:

- It meets the goals and objectives of the General Plan
- It is in conformance with the Zoning Ordinance.

RECOMMENDATION:

Staff recommends the Planning Commission approve the preliminary plat subject to the following conditions:

1. The applicant adds additional landscaping to meet the requirements listed in this report.
2. The applicant meets the minimum length or 2-foot overhang requirement for parking stalls.
3. The applicant provides a 2.5-foot space between the parking stalls and retaining wall.
4. The applicant adds additional parking stalls or bicycle parking facilities.
5. The applicant adds outdoor seating to the landscaped areas.
6. The applicant pays any outstanding fees and makes any redline corrections.

PROPOSED MOTION:

"I move to approve the proposed site plan for the Utah Valley Home Builders Association with the proposed conditions listed above.

Attachments:

Application
Proposed Site Plan Set
Landscaped Buffer Graphic
Landscaped Street Frontage Graphic
District Use Table



240 East Gammon Road
Vineyard, Utah 84058
Phone (801) 226-1929
Community Development Department

SITE PLAN APPLICATION

STAFF USE ONLY

Application Date: ____ / ____ / ____ Application Number: ____ Fee Owed: \$ ____
Received by: ____ Receipt #: ____ Cash/Card/Check#

PROJECT INFORMATION

Name: Utah Valley Home Builders Association

Address: 707 E. Mill Road

Acreage/Property Size: _____

APPLICANT INFORMATION

Name: Joint Venture
Davies Design Build, Inc & Knight West Builders, LC

Mailing Address: Davies--240 N 1200 E Lehi, UT 84043 Knight West--451 E 1000 S Ste A Pleasant Grove, UT 84062

Phone #: Davies--801-592-6044 Knight West--801-785-8025 #: _____

Email Address: arnim@daviesdevelopment.com kim@knightwest.com

Owner Information

Owner Name: Utah Valley Home Builders Association / Steve Caldwell (President)

Owner Address: 1443 800 N #202, Orem, UT 84057

Owner Phone #: 801-225-8893 Owner Email Address: steve@uvhba.com

Owner's Signature: _____

Steve Caldwell



PROPERTY OWNERS AFFIDAVIT

I (we) Steve Caldwell / UHBA, being first duly sworn, depose and say that I (we) am (are) the current owner of the property involved in this application; that I (we) have read the application and attached plans and other exhibits and are familiar with its contents; and that said contents are in all respects true and correct based upon personal knowledge.

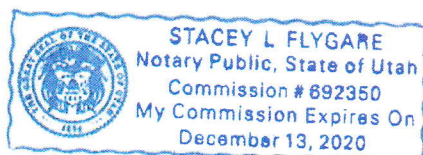
Steve Caldwell
Owner's Signature

Owner's Signature (co-owner, if any)

State of Utah

County of Utah

Subscribed and sworn to (affirmed) before me this 20th day of June, 2017.



Stacey Flygare
Notary Public

AGENT AUTHORIZATION AFFIDAVIT

I (we), Steve Caldwell / UHBA, owner(s) of the real property located at 107 East Mill Road, in Vineyard City, Utah, do hereby appoint Knight West Bldg. & Design Build, as my (our) agent to represent me (us) with regard to this application affecting the above described real property.

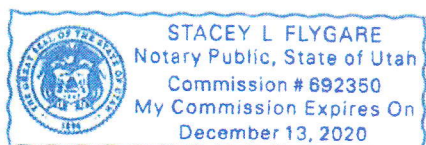
Steve Caldwell
Owner's Signature

Owner's Signature (co-owner, if any)

State of Utah

County of Utah

Subscribed and sworn to (affirmed) before me this 20th day of June, 2017.



Stacey Flygare
Notary Public



PLANTING DATA SHEET

PROJECT NAME: Utah Valley Home Builders Association

PROPOSED USE: Office

TO BE COMPLETED BY APPLICANT

REQUIRED LANDSCAPING	PROVIDED	ADDITIONAL INFORMATION



PROJECT DATA SHEET – RESIDENTIAL/COMMERCIAL

PROJECT NAME: Utah Valley Home Builders Association
 PROPOSED USE: Office

TO BE COMPLETED BY APPLICANT

COMMERCIAL	RESIDENTIAL	CALCULATIONS	TO BE COMPLETED BY CITY
86,962		NET LOT AREA	
		GROSS LOT AREA	
30,000		GROSS BUILDING AREA	
N/A		NUMBER OF UNITS OR LOTS	
N/A		NET DENSITY ALLOWED	
N/A		NET DENSITY PROVIDED	
N/A		MINIMUM LOT SIZE ALLOWED	
N/A		MINIMUM LOT SIZE PROVIDED	
		BUILDING HEIGHT ALLOWED	
		BUILDING HEIGHT PROVIDED	
116		MINIMUM PARKING SPACES REQUIRED	
146		PARKING SPACES REQUIRED	

SETBACKS (Provide table for each building, labeled to match site plan)

REQUIRED	PROVIDED	CALCULATIONS	TO BE COMPLETED BY CITY
		NORTH ELEVATION	
		SOUTH ELEVATION	
	40'	EAST ELEVATION	
	64.60	WEST ELEVATION	
		PARKING (from streets & abutting residential property)	

SITE NARRATIVE
UTAH VALLEY HOME BUILDERS ASSOCIATION
VINEYARD, UTAH
JUNE 2017

INTRODUCTION

The Utah Valley Home Builders Association (UVHBA) is planning to construct a new office building project located at about 707 East Mill Road in Vineyard, Utah beginning in the Summer/Fall of 2017. The development consists of a 3-Story office building and parking areas on a vacant parcel of property of approximately 2 acres.

GENERAL

The proposed project is located in a Regional Mixed Use (RMU) Zone and therefore an office building is an approved use and is in compliance with the current Development Code and all other city codes and regulations. The surrounding properties consist of a Maverick convenience store to the East and High density housing West and South.

AREA LIGHTING

Mill Road currently has street lights which illuminate the streets and public sidewalks. The Proposed office building will have decorative lighting on the building. Any parking area lighting proposed will be directed downward as to not be a nuisance to the adjacent property.

ACCESS

The proposed site will have access to Mill Road through an existing 68' Access Easement which was granted as part of the Final Plat. The proposed parking areas will have ingress and egress from the said Access Easement. The access into the parking areas is approximately 60 feet from Mill Road and the access is currently constructed.

INTERNAL ACCESS

All internal vehicular circulation for everyday vehicles, delivery, garbage and emergency will have city standard drive isles, parking spaces and back-up areas need for smooth circulation throughout the development.

PEDESTRIAN ACCESS

Internal sidewalks around the building will be provided for pedestrian connectivity to the parking areas and public streets.

TRAFFIC VOLUMES

Due to the nature of the office building, the majority of the traffic will most likely be in the early mornings and late afternoons as working hours begin and end.

DEVELOPMENT IMPACT

The impact to public utilities is relatively small. The number of restrooms and fixtures are small due to the design and functionality of the office building. There will be no impact to schools and or recreation in the area.

SCREENING

With the exception of landscaping and fencing required by the city code, there will be no screening of buffering proposed.

OUTDOOR ACTIVITIES

At the entrance of the building there is proposed a small patio area. We are not planning on any large outdoor activities. There is no area designated for any outside storage.

BUSINESS INFORMATION

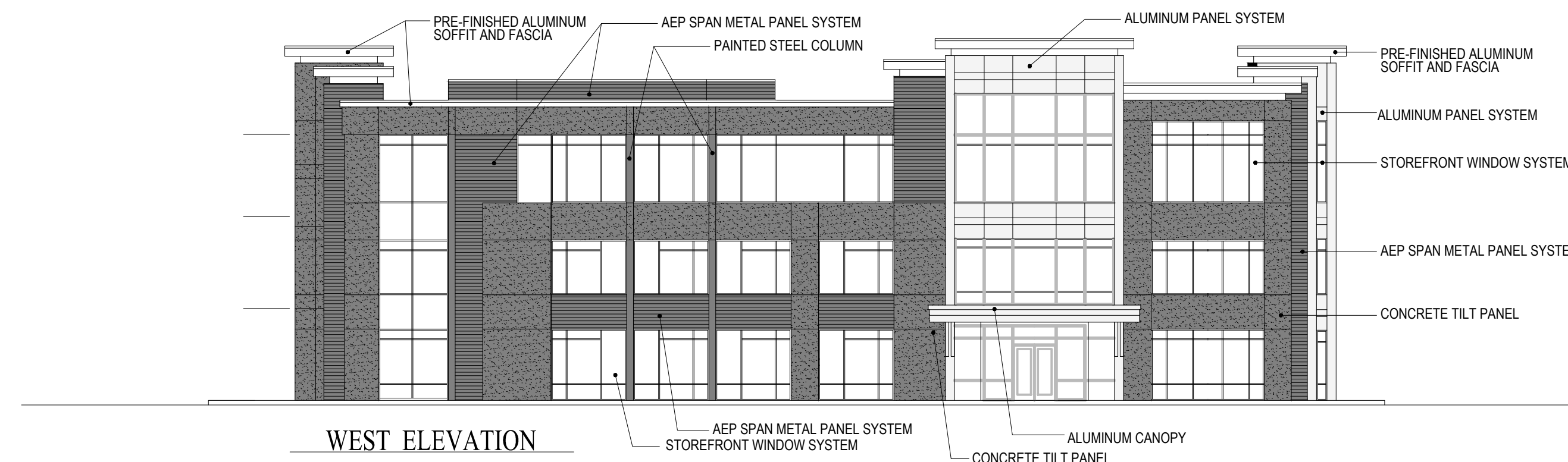
The hours of operation will be by the typical business hours. The number of employees is unknown at this time. Different types of tenants produce different amounts of employees. Our parking requirements comply with the city code for this type of building.

ENVIRONMENTAL CONCERNS

We do not envision any type of excessive noise, smoke, odor, dust, vibration or illumination that will be created by the proposed office building.

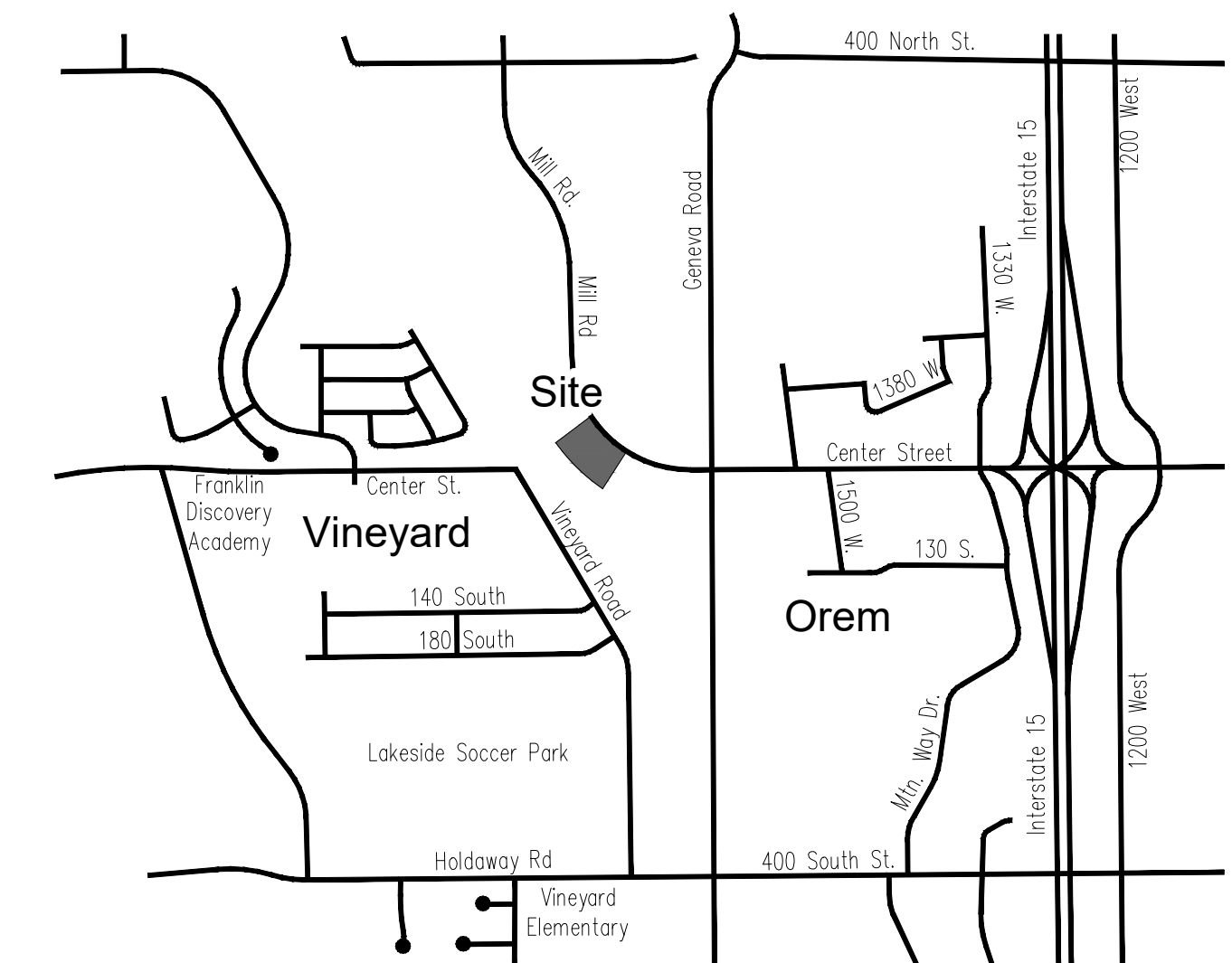
Utah Valley Home Builders Association

Legend	
Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Existing Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
ta	top of asphalt
tw	top of sidewalk
boc	back of top of curb
bos	back of top of sidewalk
SSMH	Sanitary Sewer Manhole
SDMH	Storm Drain Manhole
WV	Water Valve
GV	Gas valve
WM	Water Meter
eo	edge of existing asphalt
PUE	Public Utility Easement



NOTES:

1. The fire protection items (fire hydrant, water mains, access roads, etc.) shown on this site plan are preliminary only. Detailed fire protection plans shall be submitted with the building plans. Plan reviews by the fire Prevention Bureau shall be completed prior to the issuance of a building permit. The plan reviews by the Fire Prevention Bureau may identify additional fire protection requirements mandated by the International Fire Code. Fire hydrant foot valves shall be installed at the connection point with the main water lines.
2. All landscaped areas shall have an automatic, underground sprinkling system with a back-flow device to the building. Back-flow devices shall be installed and tested in accordance with the Town Code. Water meters shall be located at the back of sidewalk or curb in an area that is accessible for reading and servicing. Water meters shall not be located within areas enclosed with fences or within 10 feet (10') of any existing or proposed structure.
3. If required by the Town Code or by the applicant's permit for Industrial Wastewater Discharge, a sampling manhole and fat and oil separator/grease trap shall be installed I.A.W. City standards and specifications.
4. All signage shall comply with the requirements of the Town Code.
5. All utilities, including water and sewer laterals, water and sewer mains, storm water drains, storm water sumps, sewer manholes, water valves, etc., shall not be located under covered parking areas and shall be installed according to the Town Code.
6. All roof drainage shall be routed through on-site storm water management facilities.
7. At the time of construction, the Town of Vineyard may determine based on professional experience and judgment and at its sole discretion, the need for the Owner/Developer to put, remove, and replace any existing substandard improvements such as curbs, gutters, sidewalks, drive approaches, driveways, decorative concrete, wheelchair ramps, etc., or any unused drive approaches.
8. All construction shall conform to the Town of Vineyard construction standards and specifications unless the improvement is within the UDOT right-of-way, in which case the construction shall conform to UDOT construction standards and specifications.



Vicinity Map

Planning Department

240 East Gammon Rd
Vineyard, Utah 84058
Phone (801) 226-1929

Community Development Director -
Morgan Brim 385-248-7029

Public Works Department

Phone (801) 766-6506

Public Safety

Emergency 911
Utah County Animal Shelter 801-785-3442

Building Inspection

Building Inspector
George Reid
801.226.1929

Gas

Questar
1640 North Mountain Springs Parkway
Springville, Utah 84663
Phone (801) 853-6585
Brad Mattinson

Electricity

Rocky Mountain Power
70 North 200 East
American Fork, Utah 84003
Phone (801) 756-1220
Fax (801) 756-1274
Mark Steele

Telephone

Qwest
75 East 100 North
Provo, Utah 84606
Phone (801) 356-7050
Cell (801) 473-3385
Kasey Lunt

Cable T.V.

Comcast Cable Communications, Inc.
1350 East Miller Avenue
Salt Lake City, Utah 84106
Phone (801) 485-0500
Fax (801) 487-1887

Developer:

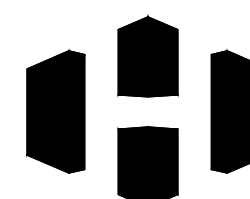
Utah Valley Home Builders Association
1443 West 800 North Suite 202
Orem, Utah 84057
801-225-8893

Site Data:

Zone = RMU (Regional Mixed Use)
Total Area = 86,962 sq.ft. or 2.00 Acres
Total Building Area = 30,000 (gross)
23,175 sq.ft. (net)

Parking Requirements = 1 space/200 sq.ft.
 Spaces required = 116 (net space)
 150 (gross space)
 Spaces provided = 146 parking stalls (3 ADA spaces)

DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252



HARRIS ARCHITECTURE

3520 N UNIVERSITY AVENUE #200, PROVO UT 84604 | 801-377-6303 | WWW.HARRIS-ARCHITECTURE.COM

Property Description

All of Lot 5, Geneva Gateway Subdivision as shown in the office of the Utah County Recorder, Utah County, Utah.

	Square Footage	Acreage	Percent of total
Total Area	86,962	2.00	100%
Total Building / Pad Area	10,000	0.23	11%
Total Hard Surface Area	49,562	1.14	57%
Total Impervious Area	59,562	1.37	68%
Total Landscaped Area	27,400	0.63	32%

Tabulation Table

Sheet Index

1.0	Cover Sheet
1.1	General Notes
1.2	Demolition Plan
2.0	Site Plan
3.0	Utility Plan
4.0	Grading and Drainage Plan
5.0-5.2	Detail Sheets



Sheet No.
C - 1.0

UTILITY GENERAL NOTES

1. All installation and materials shall, at a minimum, conform to standards, specifications, and plans.
2. The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
3. Contractor shall coordinate with all utility companies for installation requirements and specifications.
4. All necessary inspections and/or certifications required by codes and/or utility service companies shall be preformed prior to announced building possession and the final connection of service.
5. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
6. Underground utilities shall be installed, inspected and approved before backfilling.
7. Contractor shall notify Engineering inspectors 72 hours before connecting to any existing utility.
8. All fill material is to be in place and compacted before installation of proposed utilities.
9. Existing utilities shall be verified in field prior to installation of any new lines.
10. All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-104 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
11. Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
12. All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
13. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
14. All concrete for encasements shall have a minimum 28 day compression strength at 4000 PSI.
15. Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
16. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
17. Drawings do not purport to show all existing utilities.
18. Contractor shall verify utility locations prior to subsurface work for light poles (boring etc.) and similar structures.
19. See notice requirement under general project notes.
20. The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sags, etc.) prior to scheduling close-out meetings with the Town.
21. All utilities shall be pre-tested prior to the Town witnessing the test to ensure that said utilities will pass during Town witness of testing.

SURVEY CONTROL NOTE:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA Survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SANITARY SEWER GENERAL NOTES

1. See this sheet for general project notes.
2. All sanitary sewer construction shall be in conformance with the standards and specifications.
3. All gravity sanitary sewer lines shall be in conformance with the standards and specifications.
4. Sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
5. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
6. All sanitary sewer main testing shall be accordance with the standards and specifications copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
7. Compaction of all trenches within the project site must be attained and compaction results submitted to Department of Public Works.
8. The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
9. The contractor is responsible for the following:
 - (A) Obtaining all required permits from the Town or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the Town and engineer.
 - (E) All permitting, development, location, connecting and inspection.
 - (F) Verifying all standard details conform to the current standards and specifications.
- (G) For obtaining and understanding all Town, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
- (H) Reference architectural plans for all connections to building services and verify locations as shown.
10. The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
11. The contractor shall pothole the existing sewer main and provide an as-built elevation of the main to the engineer prior to any new construction.
12. Sanitary sewer pipes shall be bedded in accordance with standards.

STORM DRAIN GENERAL NOTES

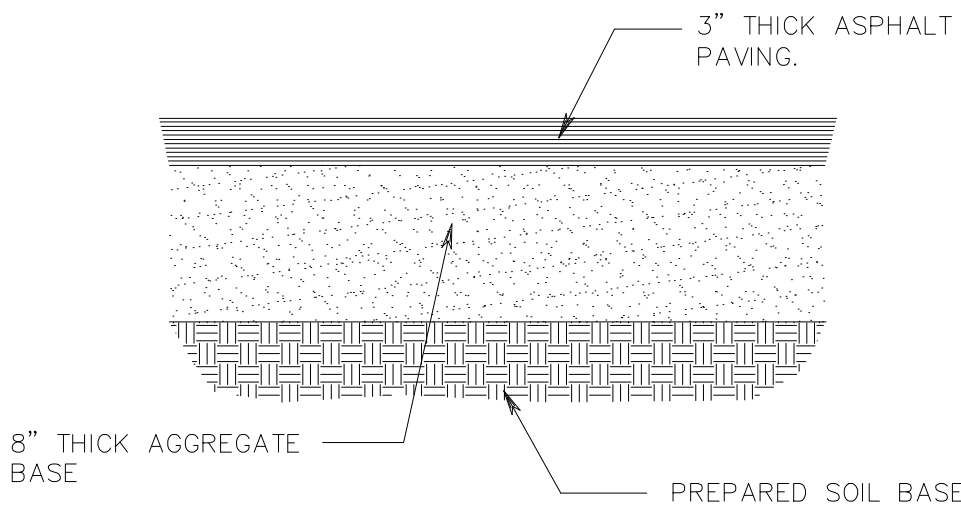
1. The contractor shall be responsible for the following:
 - (A) Obtaining all required permits from the Town or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the Town and engineer.
 - (E) All permitting, development, location, connection and inspection.
 - (F) Scheduling all required inspections.
2. All storm drain construction shall be in conformance with standards, specifications, and plans.
3. Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
4. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
5. Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
6. Storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
7. All storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
8. All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
9. Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction.
10. Storm drains shall be bedded in accordance with the Town standards.

GRADING PLAN GENERAL NOTES

1. Contours shown are for finished paving, sidewalk, slab, or ground adjustment to sub-grade is the contractor's responsibility.
2. All disturbed areas that are un-surfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
3. If during the overall grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
4. Unless otherwise shown, not proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
5. If stripped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
6. On-site materials suitable for fill beneath drives and asphalt areas beyond 5' (five) of the building shall be compacted in accordance with guidelines presented in the soils report.
7. Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
8. Benchmark verification: Contractor shall use benchmarks and datums shown hereon to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
9. All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
10. All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
11. The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
12. Grades within asphalt areas shall be constructed to within 0.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Curbs or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
13. Spot elevations represent flow line or top of asphalt unless otherwise noted.
14. The contractor is responsible for providing his own estimate of earthwork quantities.
15. All landscaped islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
16. New curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply: Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
17. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
18. Pre cast structures may be used at contractor's option.
19. Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove
20. Existing grade contour intervals shown at 1 foot intervals.
21. Proposed grade contour intervals shown at 1 foot intervals.
22. If any existing structures to remain are damaged during construction, it shall be the contractor's responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
23. The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
24. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
25. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
26. Topographical information taken from a topographic survey by (Dudley & Associates). If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
27. All unsurfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with Town/county specifications and maintain until a healthy stand of grass is obtained.
28. Construction shall comply with all applicable governing codes and be constructed to same.
29. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
30. Site work shall meet or exceed site specifications.
31. All concrete to have a minimum 28 day compression strength of 4000 PSI.

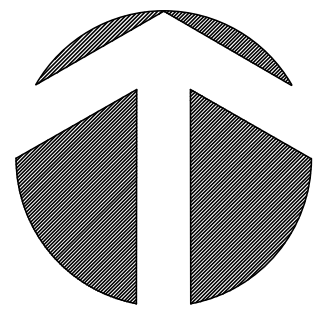
GENERAL NOTES

1. All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the Town Public Works, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the Town Public Works Inspector and/or UDOT. Inspection services and construction certification to be provided by engineer of record.
2. The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
3. The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the Town Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
4. The contractor shall coordinate with Town and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
5. The contractor shall have one (1) signed copy of the approved plans, one (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
6. The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
7. If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
8. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
9. The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (Town, county or state) for approval, prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required buy the construction activities.
10. The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
11. The contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.
12. The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the Town Public Works Inspector at all times.
13. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
14. All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
15. The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
16. All work within the public right-of-way is subject to the jurisdiction of the Town Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
17. The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to the Town before beginning any work on these streets. Contractor shall begin work only after Town approves the phasing plan, and a preconstruction meeting is held between the Town, the engineer and the contractor.
18. All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the Town.
19. It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
20. Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding tap fees and system development fees, referring to the geotechnical report prepared by (EarthTec Testing and Engineering P.C.)
21. In general, limits of site work are up to (and excluding) constructing sidewalks.



ASPHALT PAVING
not to scale

Sheet No.
C - 1.1



NORTH
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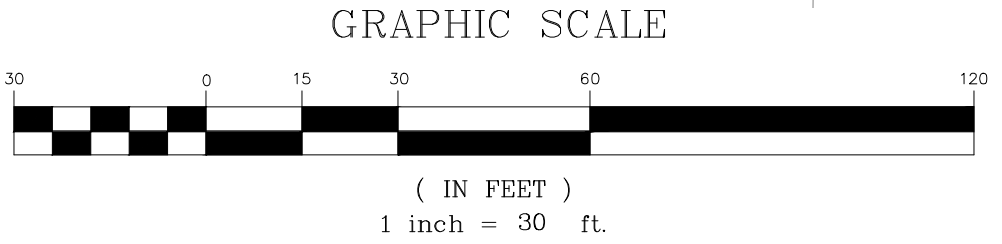
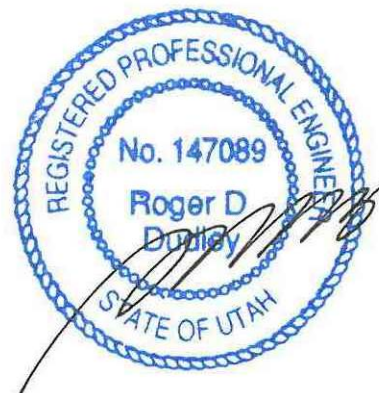
CAUTION!!! Notice to contractors

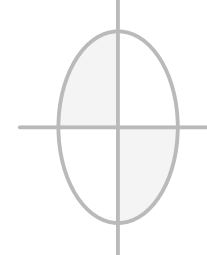
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1-800-662-4111




DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

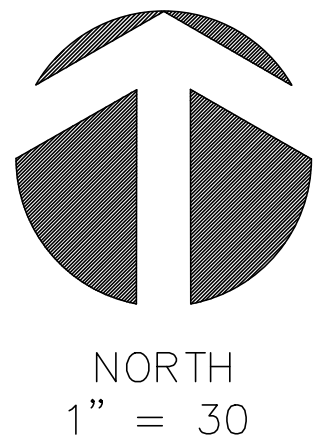
Utah Valley Home Builders Association
Site Plan
Utah
Vineyard

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Revisions

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6-12-2017
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Sheet No.
C - 2.0



CAUTION!!! Notice to contractors

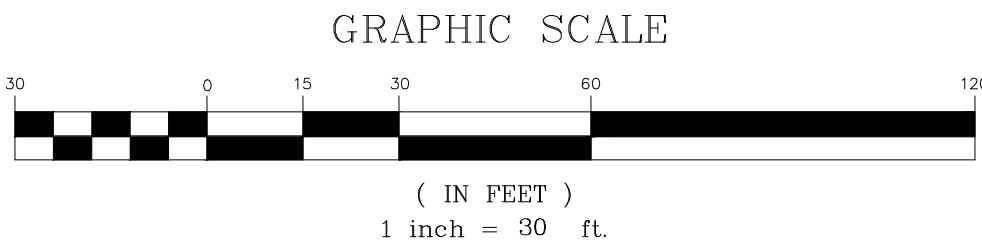
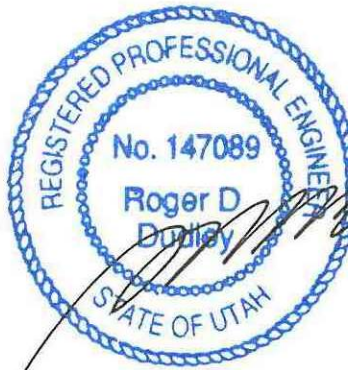
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ENGINEERS PLANNERS SURVEYORS

353 EAST 1200 SOUTH, OREM, UTAH

801-224-1252

Utah Valley Home Builders Association

Utility Plan

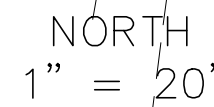
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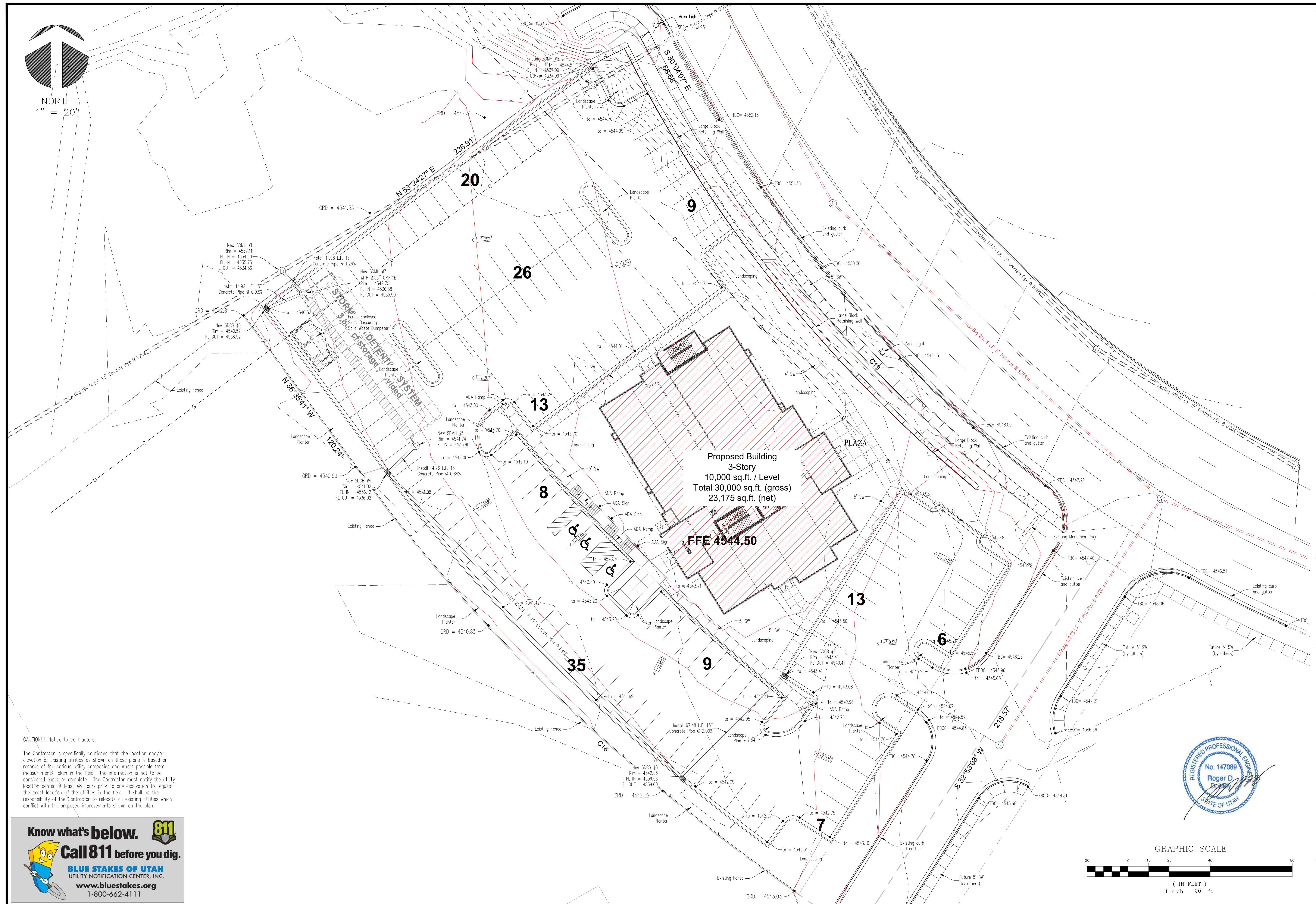
Revisions

Date
6-2-2017
Scale
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By
TD
Tracing No.
L -

Sheet No.
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NORTH
1" = 20'



CAUTION!!! Notice to contractors

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353 EAST 1200 SOUTH, OREM, UTAH
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Utah Valley Home Builders Association

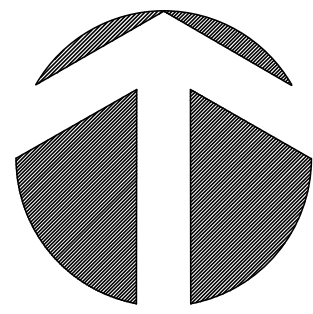
Grading and Drainage Plan

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NORTH
1" = 30'



PLANTING SCHEDULE

SYMBOL	SPECIES	SIZE	CONDITION	SPACING
EVERGREEN TREES				
	Dwarf Blue Spruce	7'-9' HT (EQUAL MIX)	B & B	
DECIDUOUS TREES				
	ACER PLATANOIDES 'EMERALD QUEEN' Emerald Queen Maple	2" CAL.	B & B	
	MALUS SPRING SNOW Spring Snow Crab Flowering Crab	2" CAL.	B & B	
	PYRUS CALLERYANA 'CAPITAL' Capital Flowering Pear	2" CAL.	B & B	
SHRUBS				
	COTONEASTER DAMMERI 'CORAL BEAUTY' Coral Beauty Cotoneaster	5 Gal.	Cont.	
	JUNIPERUS SABINA 'BROADMOOR' Broadmoor Juniper	5 Gal.	Cont.	
	PINUS MUGO MUGUS PUMILIO Shrubby Swiss Mountain Pine	5 Gal.	Cont.	
GROUNDCOVERS				
	AEGOPODIUM PODAGRARIA VARIATUM Bishop's Weed	1 Gal.	Cont.	24" O.C.
	AJUGA Bugleweed	1 Gal.	Cont.	24" O.C.
	GALLIUM ODORATA Sweet Woodruff	1 Gal.	Cont.	24" O.C.
	Grass Area			

Landscaping Notes:

All common area shall be permanently landscaped with trees, shrubs, or ground cover and maintained in accordance with good landscaping practice.

All area not covered by buildings or driveways shall be landscaped and watered with an automatic sprinkling system.

All Evergreen trees provided = 2" Caliper in size.
All Deciduous trees provided = 2" Caliper in size.
All shrubs provided = 5 gallon in size.

All trees and shrubs placed near any entrance shall be of the nature not to obstruct the sight onto the street.

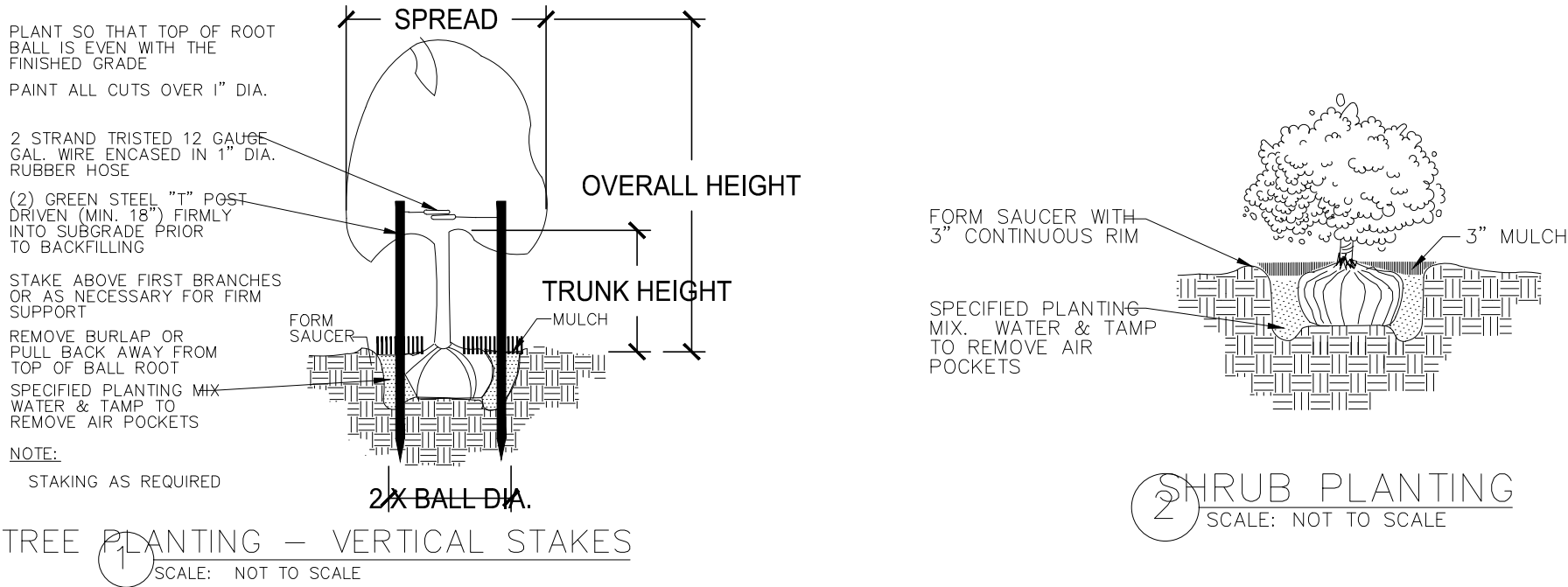
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GRAPHIC SCALE

(IN FEET)

1 inch = 30 ft.

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353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Utah Valley Home Builders Association

Landscape Plan

Utah Vineyard

Revisions

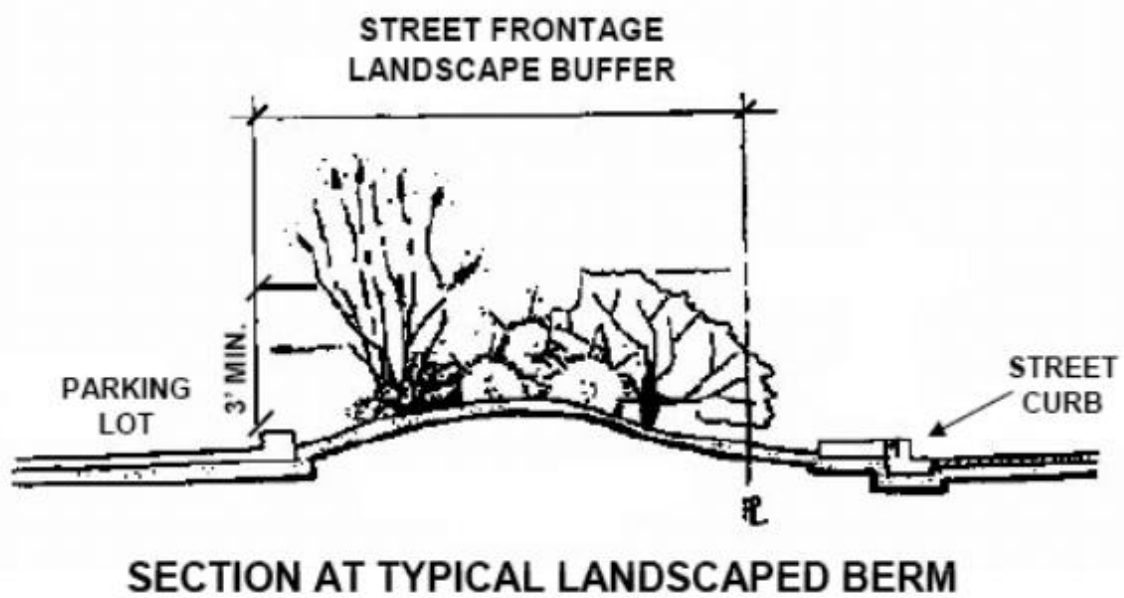
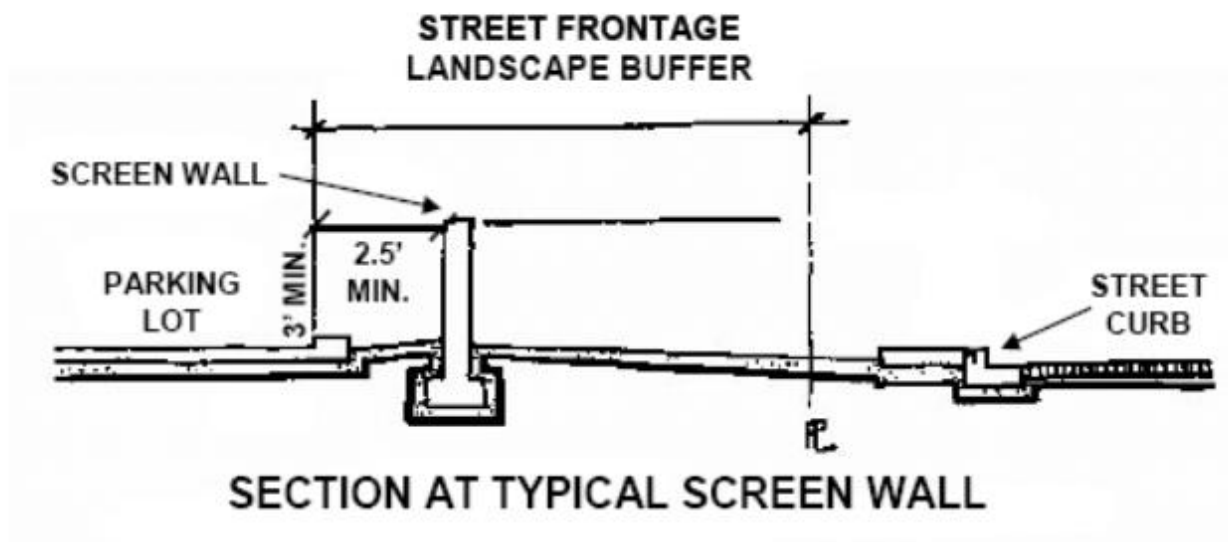
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6-22-2017

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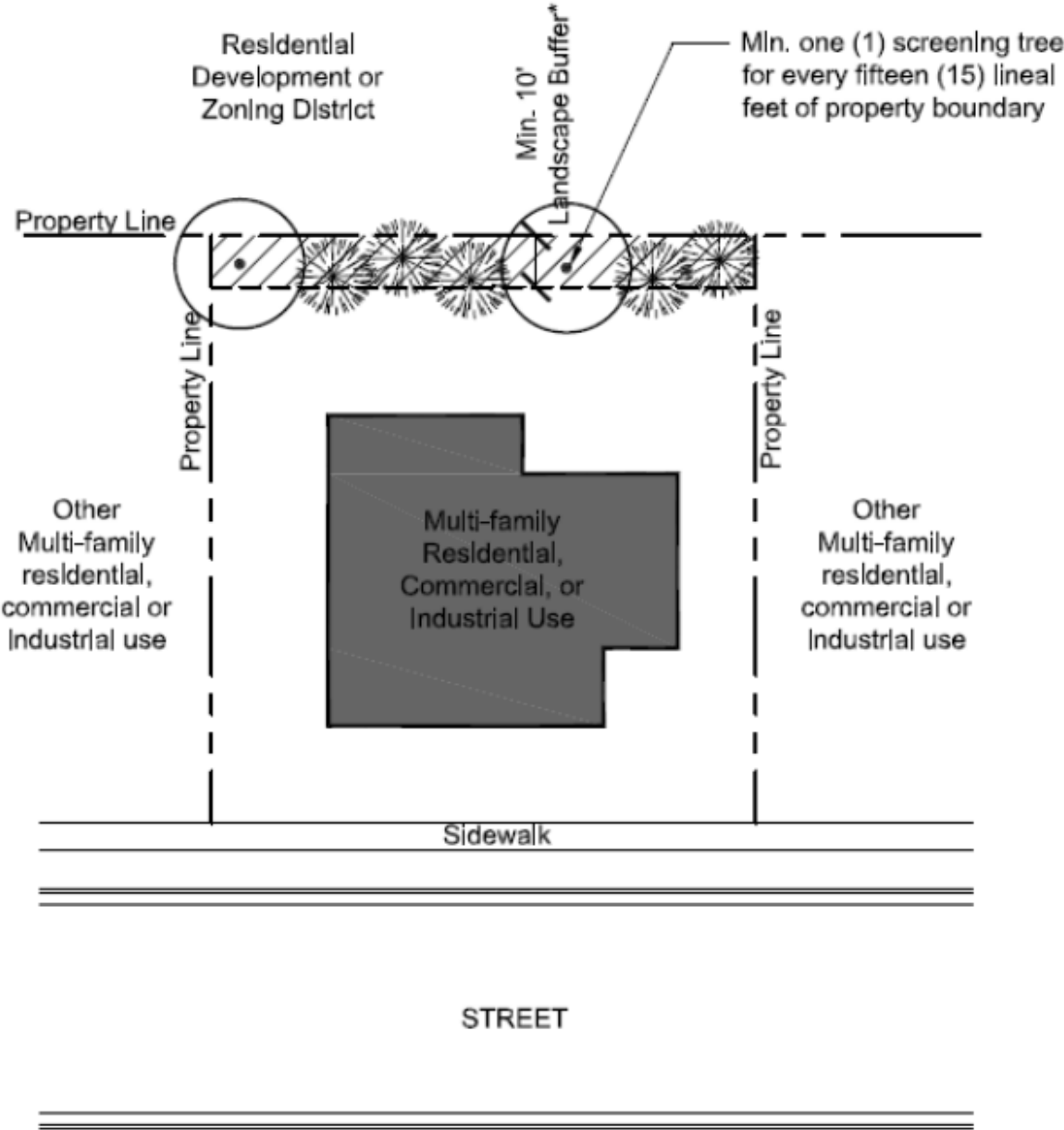
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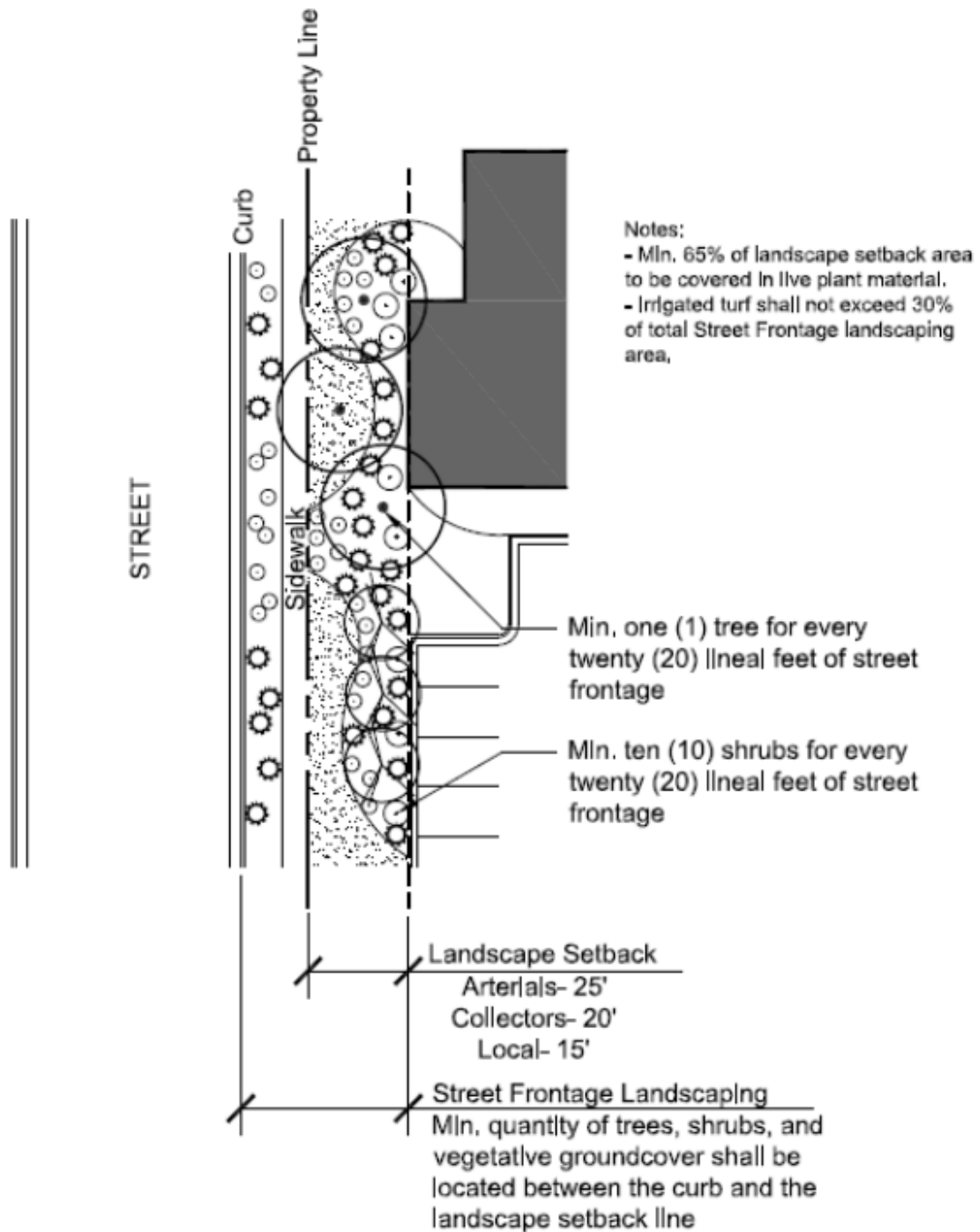
Sheet No.
C - 2.1



Landscaped Buffers



Street Frontages



P = Permitted Use; C = Conditional Use; T = Temporary Use; N = Non-Permitted Use; X^X = Indicates Additional Standards Below

ZONING DISTRICT USES		OS	A-1	R&A-5	RE-20	R-1-15	R-1-10	R-1-8	R-2-15	HDR-1	HDR-2	RMU	FMU	BP	RC	FOI	M	PF
RESIDENTIAL	Dwelling, Multiple-Family	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	N	N
	Dwelling, Single-Family	N	P	P	P	P	P	P	P	P	N	P	N	N	N	N	N	N
	Dwelling, Two-Family	N	N	N	N	N	N	N	P	P	N	P	P	N	N	N	N	N
	Model Home	N	P	P	P	P	P	P	P	P	P	P	P	N	N	N	N	N
	Residence for Persons with a Disability	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Residence for Persons with a Disability that are Substance Abuse Facilities located within 500 feet of a school.	N	C ⁵	C ⁵	C ⁵	C ⁵	C ⁵	C ⁵	C ⁵	C ⁵	C ⁵	N	N	N	N	N	N	N
	Residential Facility for Elderly Persons	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
COMMERCIAL	Agriculture, Commercial	P	P	P	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Animal Hospital	N	N	N	N	N	N	N	N	N	N	P	N	N	P	P	P	N
	Financial Institution	N	N	N	N	N	N	N	N	N	N	P	P	C	P	P	N	N
	Billboard	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Car Wash	N	N	N	N	N	N	N	N	N	N	C	N	N	C ³	C	P	N
	Chemical Manufacture, Storage, and Distribution (Existing)	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Commercial Day Care/Preschool Center	N	N	N	N	N	N	N	N	N	N	C	C	C	C	C ³	N	N
	Commercial Plant Nursery	N	C	C	N	N	N	N	N	N	N	C	N	N	P	P	P	N
	Commercial Recreation, Indoor	N	N	N	N	N	N	N	N	N	N	C	C	C	P	N	N	N
	Commercial Recreation, Outdoor	N	C	C	N	N	N	N	N	N	N	C	N	C	C	N	N	N
	Composting Facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Construction Sales and Service	N	N	N	N	N	N	N	N	N	N	P	N	N	C	C	P	N
	Contractor's Office/Storage Yard	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
	Distribution Center	N	N	N	N	N	N	N	N	N	N	C	N	C	N	N	P	N
	Drive-thru Facility	N	N	N	N	N	N	N	N	N	N	C	C	N	C	N	P	N
	Dry Cleaning	N	N	N	N	N	N	N	N	N	N	P	P	N	P	P	N	N
	Flammable Liquids or Gases Manufacture, Storage and Distribution	N	N	N	N	N	N	N	N	N	N	C	N	N	N	N	C	N
	Funeral Home/Mortuary	N	N	N	N	N	N	N	N	N	N	C	N	C	N	N	N	N
	Golf Course	C	C	C	N	C	N	N	N	N	N	N	N	N	N	N	N	N
	Health and Fitness Facility	N	N	N	N	N	N	N	N	N	N	P	P	P	P	N	N	N
	Hotel	N	N	N	N	N	N	N	N	N	N	C	C	C	C	N	N	N
	Hybrid Production Facility	N	N	N	N	N	N	N	N	N	N	C	C	N	C	P	N	N
	Kennel, Commercial	N	N	N	N	N	N	N	N	N	N	N	N	N	C	P ²	P ²	N
	Kennel, Outdoor Commercial	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C ²	C ²	N
	Laundry, Commercial	N	N	N	N	N	N	N	N	N	N	C	C	N	N	P	P	N
	Laundry, Self Serve	N	N	N	N	N	N	N	N	N	N	P	P	P	N	P	P	N
	Manufacturing, Heavy	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Manufacturing, Light	N	N	N	N	N	N	N	N	N	N	N	N	P	N	P	P	N
	Medical and Dental Clinic	N	N	N	N	N	N	N	N	N	N	P	P	P	N	N	N	N
	Medical or Dental Laboratory	N	N	N	N	N	N	N	N	N	N	P	P	P	N	P	P	N

COMMERCIAL	Motel	N	N	N	N	N	N	N	N	N	N	C	C	C	C	N	N	N
	Motor Vehicle Fueling Station	N	N	N	N	N	N	N	N	N	N	C	N	N	C	C	N	N
	Nightclub	N	N	N	N	N	N	N	N	N	N	C	C	N	C	N	N	N
	Nursing Care Facility	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	N
	Nursing Home, Convalescent Care	N	C	C	C	C	C	C	C	C	C	N	N	N	N	N	N	N
	Office	N	N	N	N	N	N	N	N	N	N	P	P	P	p ⁴	p ⁴	N	N
	Pawnshop	N	N	N	N	N	N	N	N	N	N	C	N	N	N	N	N	N
	Personal Care Services	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
	Personal Instruction Service	N	N	N	N	N	N	N	N	N	N	P	P	C	P	C	N	N
	Private Club	N	N	N	N	N	N	N	N	N	N	C	C	C	C	N	N	N
	Restaurant	N	N	N	N	N	N	N	N	N	N	P	P	P	P	N	N	N
	Retail Sales and Services	N	N	N	N	N	N	N	N	N	N	P	P	p ³	P	p ³	N	N
	Retail Sales and Services (Community Commercial)	N	N	N	N	N	N	N	N	N	N	P	P	N	N	N	N	N
	Retail Sales and Services (Regional)	N	N	N	N	N	N	N	N	N	N	P	P	N	P	N	N	N
	Salvage Yard	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Sexually Oriented Business	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Storage - Self Service Mixed-Use Facility	N	N	N	N	N	N	N	N	N	N	C ²	N	C ²	C ²	C ²	N	N
	Storage - Self Service	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
	Storage of Recreational Vehicles	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	P	N
	Trailer/RV Camping Facilities	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Vehicle and Equipment Rental	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	N	N
	Vehicle and Equipment Repair (Major)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	P	N
	Vehicle and Equipment Repair (Minor)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	P	N
	Vehicle and Equipment Sale and Rental New or Used (Heavy)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	C	N	N
	Vehicle and Equipment Sale or Rental or Sale - New or Used (Light)	N	N	N	N	N	N	N	N	N	N	N	N	N	C	P	N	N
	Warehouse	N	N	N	N	N	N	N	N	N	N	N	N	C	N	P	P	N
	Warehouse Club	N	N	N	N	N	N	N	N	N	N	C	N	N	C	N	N	N
	Wholesale Distribution	N	N	N	N	N	N	N	N	N	N	C	N	C	N	P	P	N
C AND INSTITUTIONAL	Assembly, Place of	N	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C ¹	C	C	C	N	N	N	N
	Commuter and Light Rail Facilities and Station	N	N	N	N	N	N	N	N	N	N	P	P	C	C	C	C	C
	Earth Station (Satellite Dish Farm)	N	N	N	N	N	N	N	N	N	N	N	N	C	N	N	P	N
	Educational Facility	N	C	C	C	C	C	C	C	C	C	P	P	P	C	N	N	N
	Emergency Care Facility	N	N	N	N	N	N	N	N	N	N	P	P	C	N	N	N	N
	Environmental Remediation Activities	N	N	N	N	N	N	N	N	N	N	P	P	C	C	C	C	C
	Farmers' Market	N	N	N	N	N	N	N	N	N	N	C	C	C	N	N	N	C
	Heliport	N	N	N	N	N	N	N	N	N	N	C	N	N	C	N	C	N
	Hospital	N	N	N	N	N	N	N	N	N	N	C	C	N	N	N	N	N
	Liquor Store (State Owned)	N	N	N	N	N	N	N	N	N	N	C	C	N	C	N	N	N
	Major Facility of a Public Utility	C	C	C	C	C	C	C	C	C	C	C	N	N	C	C	C	C
	Minor Facility of a Public Utility	P	P	P	P	P	P	P	P	P	P	C	C	P	C	P	P	P
	Museum	N	N	N	N	N	N	N	N	N	N	P	P	C	C	N	N	N

PUBLIC	Open Space and Trails	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Parks and Associated Facilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Park and Ride Facility	N	N	N	N	N	N	N	N	N	N	P	N	C	N	P	P	N
	Power Plant	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Public Use	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P
	Recycling Collection Center	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	P	N
	Recycling Processing Facility	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	C	N
	Transit Passenger Hub (Intermodal)	N	N	N	N	N	N	N	N	N	N	P	P	N	C	C	C	C
	Wireless Telecommunications Site/Facility	N	C ²	C ²	N	N	N	N	N	N	N	C ²	C ²	C ²	N	C ²	C ²	C ²
ACCESSORY USES	Accessory Building	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Accessory Dwelling Unit	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Accessory Dwelling Unit for Owner or Employee	N	P	P	N	N	N	N	N	N	N	N	N	N	N	C	C	N
	Accessory Use	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
	Billboard	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Domestic Livestock and Fowl	N	P ²	P ²	N	N	N	N	N	N	N	N	N	N	N	N	N	N
	Home Day Care	N	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N
	Home Occupation	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Home Preschool	N	P	P	P	P	P	P	P	P	P	N	N	N	N	N	N	N
	Household Pets, Noncommercial	N	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N	N	N
	Open/Outdoor Display of Products or Merchandise	N	N	N	N	N	N	N	N	N	N	C	N	N	C	C	P	N
	Seasonal Use	T ⁵	N	N	N	N	N	N	N	N	N	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	N	N
	Sign - Temporary	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶	T ⁶
	Swimming Pool	P	C ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	P ²	N	N	N	N	N
	Temporary Use	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵	T ⁵
	Tennis Court/Sports Court	C	C	C	C	C	C	C	C	C	C	N	N	N	N	N	N	C

- 1 Religious institutions are allowed through the provision of a conditional use permit. No other assembly uses as defined in chapter 30 of this ordinance are permitted.
- 2 See Chapter 17 for additional use development standards.
- 3 Use is allowed as an accessory use to a principle use.
- 4 Use shall not exceed 25% of the net square footage of a single building or development.
- 5 See Chapter 13 for additional use standards.
- 6 See Chapter 24 for signage requirements.

