



**VINEYARD**  
STAY CONNECTED

**REGULAR MEETING  
OF THE VINEYARD PLANNING COMMISSION,  
Wednesday, February 17, 2021 at 6:00 p.m.**

*This meeting will be held electronically because of the gathering restrictions in force due to the COVID-19 Pandemic.*

Join Zoom Meeting

<https://zoom.us/j/97402586907?pwd=clZpb1V6UDJQVmNIdEdwbmVhcWt3Zz09>

Meeting ID: 961 5923 3126

Passcode: 457228

One tap mobile

+13462487799,,96159233126#,,, \*457228# US (Houston)

+16699006833,,96159233126#,,, \*457228# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 6833 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 929 436 2866 US (New York)

+1 301 715 8592 US (Washington DC)

Meeting ID: 961 5923 3126

Passcode: 457228

Find your local number: <https://zoom.us/u/admps6CdXH>

You can also view this meeting on our [live stream channel](#).

**CALL TO ORDER**

**1. WRITTEN DETERMINATION**

*This meeting will be an electronic meeting according to Vineyard Municipal Code Section 3.08.030.*

I, Bryce Brady, as the Chair of the Vineyard Planning Commission, do hereby find and declare as follows:

1. Due to the Emergency conditions which currently exist in the State of Utah, and specifically in Utah County and Vineyard City as a result of the COVID-19 Pandemic and the recent surge in COVID-19 infections across the state and in Utah County, the holding of public meetings with an anchor location as defined in the *Utah Open and Public Meetings Act*, presents a substantial risk to the health and safety of those who may be present at the anchor location; and
2. The risk to those who may be present at an anchor location can be substantially mitigated by holding public meetings of the Planning Commission pursuant to electronic means that allow for public participation via virtual means; and
3. The City has the means and ability to allow virtual participation in the public meetings in accordance with the *Utah Open and Public Meetings Act*;

**NOW THEREFORE, BASED UPON THE FOREGOING,**

For thirty days from the date of this Order, meetings of the Vineyard Planning Commission shall be conducted by virtual means without an anchor location.

**2. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE**

**3. OPEN SESSION**

“Open Session” is defined as time set aside for citizens to express their views for items not on the agenda. Each speaker is limited to three (3) minutes. Because of the need for proper public notice, immediate action cannot be taken in the Planning Commission Meeting. If action is necessary, the item will be listed on a future agenda. However, the Planning Commission may elect to discuss the item if it is an immediate matter of concern.

**4. MINUTES REVIEW AND APPROVAL:**

**5. BUSINESS ITEMS**

**5.1 Central Utah Water Conservancy District Well Site 17, Conditional Use Permit**

The Planning Commission will hold a public hearing regarding a Conditional Use Permit for a public utility. The applicant is proposing a new well site and pump house. Well drilling work will consist of drilling a 24-inch diameter drinking water production well, including drilling, casing, developing and testing the completed well. The property is located at 349 North Geneva Road, Vineyard, Utah.

**5.2 Eastlake Lot 05, Site Plan**

MSI Properties is requesting approval for a new warehouse/industrial building. This building will be located at 71 E 1750 N within the Manufacturing (M) District. Parcel Number: 38:559:0005.

**6. WORKSESSION**

**7. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE**

**8. ADJOURNMENT**

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Cache Hancey, Planning Technician, at least 24 hours prior to the meeting by calling (801) 226-1929 or email at [cacheh@vineyardutah.org](mailto:cacheh@vineyardutah.org).

The foregoing notice and agenda were emailed to the Salt Lake Tribune and Daily Herald, posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices and City Hall, delivered electronically to city staff and each member of the planning commission.

**AGENDA NOTICING COMPLETED ON:** February 10, 2021

**NOTICED BY:** /s/ Cache Hancey

Cache Hancey, Planning Technician

**ORDER ON PUBLIC MEETINGS OF THE  
VINEYARD CITY PLANNING COMMISSION**

I, Bryce Brady, as the Chair of the Vineyard City Planning Commission, do hereby find and declare as follows:

1. Due to the Emergency conditions which currently exist in the State of Utah, and specifically in Utah County and Vineyard City as a result of the COVID-19 Pandemic and the recent surge in COVID-19 infections across the state and in Utah County, the holding of public meetings with an anchor location as defined in the *Utah Open and Public Meetings Act*, presents a substantial risk to the health and safety of those who may be present at the anchor location; and
2. The risk to those who may be present at an anchor location can be substantially mitigated by holding public meetings of the Planning Commission pursuant to electronic means that allow for public participation via virtual means; and
3. The City has the means and ability to allow virtual participation in the public meetings in accordance with the *Utah Open and Public Meetings Act*;

**NOW THEREFORE, BASED UPON THE FOREGOING,**

For thirty days from the date of this Order, meetings of the Vineyard City Planning Commission shall be conducted by virtual means without an anchor location.

DATED this 1 day of FEBRUARY, 2021.

By: \_\_\_\_\_

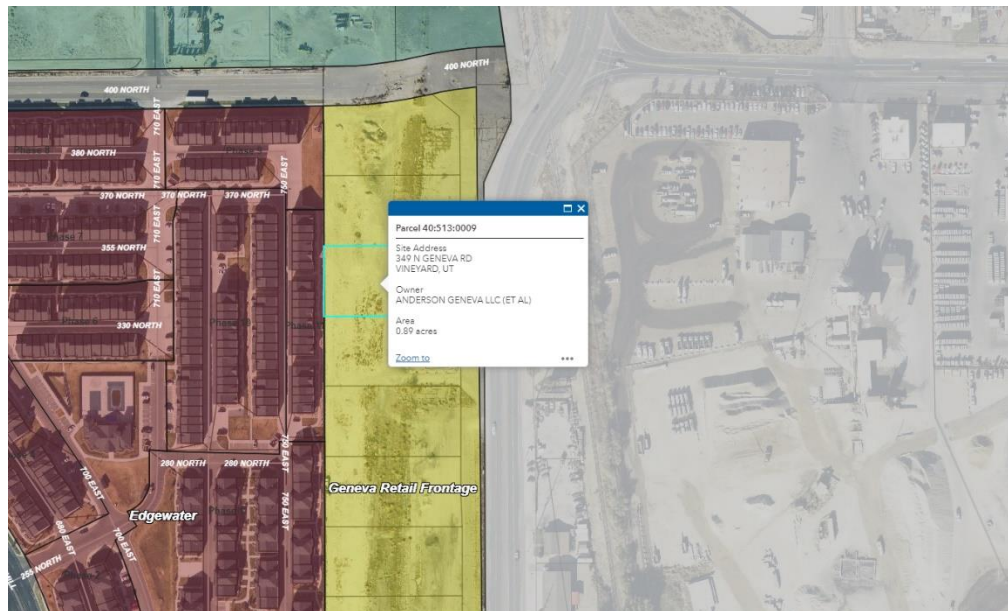
Bryce Brady, Chair

ATTEST:

  
Pamela Spencer, City Recorder

# Community Development

Date: February 17, 2021  
 From: Morgan Brim, Community Development Director  
 To: Planning Commission  
 Item: Central Utah Water Conservancy District Well Site 17, Conditional Use Permit  
 Address: 349 North Geneva Road, Vineyard, Utah  
 Applicant: Shaun Hilton, Project Engineer, Central Utah Water Conservancy District (CUWCD)  
 Owner: Anderson Geneva, LLC



## ANALYSIS

The applicant, CUWCD is proposing a new well site on 349 North Geneva Road. This property was platted as lot nine of the Geneva Retail Frontage Subdivision Plat in March of 2018. The property is zoned Regional Mixed Use (RMU) which allows “public utility” facilities through the provision of a conditional use permit. This proposal does not include a site plan or well house design. Prior to constructing those elements, the applicant will be required to submit a conditional use permit amendment and site plan application. Approval of this conditional use permit, would limit CUWCD to construction/drilling of the well site only and does not allow for structures or other site elements.

The proposed construction plan shows the well site area, construction easement zone and indicates the placement of a 40-foot sound wall on the north, south and west sides of the construction site. The area labeled as well site is located in close proximity to the existing townhomes of Edge Water Townhome Community. Similar mitigation efforts, including the sound wall utilized in the construction of previous well sites near the apartment complexes on Mill Road, will be implemented in this location. Staff recommends the Planning Commission discuss hours of operation with the applicant and consider a condition to ensure appropriate hours to safe guard adjacent neighbors from noise impacts.

**STAFF RECOMMENDATION**

Staff is recommending approval of the conditional use permit for a public utility. A site plan will be required prior to construction of the well house or other site improvements.

**PROPOSED MOTION**

"I move to approve the conditional use permit for well site 17 as requested by Shaun Hilton with Central Utah Water Conservancy District with a condition that site plan and building permit approvals be achieved prior to the installation or construction of above grade elements such as the well house building, landscaping and other site elements."

**ATTACHMENTS**

Construction Plan

FILE NAME: PROJECTS\207 - CUWCD\27.100 - WELLS 16 & 17\CAD\WORKING\FIGURES\PW 16\_17 FIGURES SET 1V2\_6.DWG  
FILE DATE: 1.27.2021 15:51:52 (BKC)



NOTES:

1. DISCHARGE SITE "A" WILL TAKE UP TO 6,000 GPM.
2. DISCHARGE SITE "B" WILL TAKE UP TO 2,500 GPM WITHOUT SURCHARGE.

NOT TO SCALE

JANUARY 2021



**Date:** February 11, 2021

**Prepared By:** Briam Amaya Perez

**To:** Planning Commission

**Item:** Eastlake Lot 05, Site Plan

**Address:** 71 E 1750 N

**Applicant:** MSI Properties



### **Introduction**

The applicant, MSI Properties, is requesting a site plan approval for the Eastlake Lot 05 development. The project will be an addition to the Eastlake Industrial Park in the northern part of Vineyard. The subject property is located within the Manufacturing (M) Zoning and is situated across the street and east of the Pacificorp Power Plant. The 12.4-acre site fronts the recently constructed 1750 N roadway. The applicant is proposing 16,000 SF of manufacturing, 125,000 SF of warehouse, and 15,000 of office space across four separate buildings. Their plan is to start constructing the two larger buildings and site work within one consecutive schedule, and the two

smaller buildings once they have secured a lease tenant. The anticipated value of the project is about nine million dollars and will take about 10 months to build.

### **General Analysis**

The purpose of the 'M' District is to recognize and provide for established manufacturing and industrial uses existing in the city and also provide an environment for larger and more intensive industrial uses that do not require, and may not be appropriate, for a nuisance free environment. This site plan abides by the dictates of this zoning district.

| <b>General Analysis</b>        |                           |                                          |                   |
|--------------------------------|---------------------------|------------------------------------------|-------------------|
| <b>Category</b>                | <b>Proposed</b>           | <b>Staff Comments</b>                    | <b>Compliance</b> |
| Lot Size                       | 539.791 SF (12.39 Acres)  |                                          | YES               |
| Development Size               | Manufacturing (16,000 SF) |                                          | YES               |
|                                | Warehouse (125,000)       |                                          | YES               |
|                                | Office Space (15,000)     |                                          | YES               |
|                                | <b>Total (156,000 SF)</b> |                                          | YES               |
| Maximum Building Height: 60 FT | 36 FT                     |                                          | YES               |
| Minimum Front Yard: 25 FT      | 50 FT                     |                                          | YES               |
| Minimum Side Yard: 30 FT       | 29' 4" (west side)        | Condition: must meet the 30' requirement | NO                |
| Minimum Rear Yard: 30 FT       | 107' 10"                  |                                          | YES               |

| <b>VZC 15.36 Site Planning and Building Design Requirements</b> |                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                        |                                                                                                        |
|-----------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| <b>Category</b>                                                 | <b>Standard</b>                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Staff Comments</b>                                                                                                  | <b>Compliance</b>                                                                                      |
| 15.36.030.1<br>Subdivision and Project Features                 | All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and | Sensitive land features, including wetland areas, are protected. The site plan provides useable open space throughout. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                                |                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                   |
|------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
|                                                | wetlands areas, and useable parks and open spaces.                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                   |
| 15.36.030.1.a<br>Building Design               | The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures blend harmoniously with the natural environment.                                                                                          | The buildings provide variations in architectural forms. Form refers to the shape or configuration of a building. In addition, the buildings have been designed to coordinate with each other on site. The chosen style consistently ties these buildings together as well as the contemporary material choice.                                                                              | <input checked="" type="checkbox"/> Yes<br><input checked="" type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.1.a.i View Protection                | Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.                                                                         | Variations in panels and rooflines have been incorporated into this project. Each plane is separated with decorative insets made by scoring, jointing, and banding, as well as physical insets and variation from one panel to another. The roofs have also been given a lot of consideration. The main entry points have been crowned by a full pyramidal, terra cotta-colored, metal roof. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |
| 15.36.030.1.a.ii<br>Building massing           | In order to maximize the integration of all man-made structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures | Please see comment above.                                                                                                                                                                                                                                                                                                                                                                    | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |
| 15.36.030.1.a.ii.1<br>Coherent building design | All sides of a building may have a visual or other impact and shall be coherently                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                              | <input checked="" type="checkbox"/> Yes                                                                           |

|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                             |                                                                                                        |
|------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                          | designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                             | <input type="checkbox"/> No<br><input type="checkbox"/> N/A                                            |
| 15.36.030.1.a.ii.2                       | Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                             | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.1.a.iii<br>Reduced roof mass   | The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)                                                                                              |                                                                                                                                                                                                                                                                             | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.1.a.iv<br>Varying Roofline     | Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                             | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.1.a.v<br>Architectural details | <p>Surface details, ornaments, and other building elements that enrich the character of a building are encouraged. Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged:</p> <ul style="list-style-type: none"> <li>- Stonework</li> <li>- Exposed beams and columns</li> <li>- Cornices, moldings, bands, pop-outs, decorative vents,</li> </ul> | Thick, horizontal bands, vertical column bands, and stylized windows compliment the industrial hanging eyebrow over the entry points. This design gives a powerful and sleek industrial form, while the colors give a natural and inviting appeal to viewers at a distance. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                |                                                                                                        |
|------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                                | <p>cast or sculpted features</p> <ul style="list-style-type: none"> <li>- Covered entries, patios, walkways, breezeways, bays, and balconies</li> <li>- Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs</li> <li>- Accessories such as art features, benches, pots, lamps, artwork, and sculptures.</li> </ul>                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                |                                                                                                        |
| 15.36.030.2. Building Additions                | Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.36.030.3 Accessory Buildings and Structures | Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.4 Mechanical Equipment               | <p>Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If</p> | <p>Rooftop units will be virtually invisible to a visitor on site. Only from a great distance could these units be viewed, but at that distance, they would be unrecognizable as an appendage to the structure. HVAC units will be set back toward the center line of the building. Mechanical equipment will not be visible from the public right-of-way.</p> | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                     |                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                       |                                                                                                        |
|-------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                     | located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.                                                                                                      |                                                                                                                                                                                                       |                                                                                                        |
| 15.36.030.5.a.<br>Building Location | All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.          |                                                                                                                                                                                                       | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.36.030.5.b<br>Building Location  | All project and building plans shall provide for the integration of the existing, or planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.                                          | From designated parking areas, direct access to the desired unit is made possible from a five-foot wide sidewalk. Consideration for ADA access was given highest priority.                            | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.5.c<br>Building Location  | All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable                                                                                                                                       | MSI Properties will take this into consideration adding a connection to the existing Lindon Heritage Trail on the north and west sides of their property. They will discuss this in further meetings. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.5.d<br>Building Location  | All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians. |                                                                                                                                                                                                       | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                  |                                                                                                        |
|---------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
| 15.36.030.6<br>Pedestrian Scale             | Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.                                                                                                                                                                                                                                    | See comments regarding Building Massing.                                                                                                                                                         | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.7 Building Materials and Textures | Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.                                                      | Building materials include metal, stucco, terracotta, and glass—all in earth tone finishes. Materials selected are compatible with a rural setting. A materials board/palette has been provided. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.8.a<br>Building Material Color    | All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and muted colors that blend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings. |                                                                                                                                                                                                  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.8.a<br>Building Finishes          | High gloss paints, factory finished metals or other materials which increase visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the                     |                                                                                                                                                                                                  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                                       |                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                        |
|-------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                                       | building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                        |
| 15.36.030.9<br>Subdivision and Site Design and Layout | All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable | <p><b>This site plan exceeds the minimum required amount of parking. Parking calculations have been provided:</b></p> <p><b>Manufacturing: 22</b><br/> <b>Warehouse: 125</b><br/> <b>Office Space: 75</b></p> <p><b>Total Spaces Required: 222</b></p> <p><b>Total Spaces Provided: 234</b></p> <p><b>ADA Spaces Required: 7</b><br/> <b>ADA Spaces Provided: 8</b></p> | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.9.a.i.                                      | All buildings and structures shall be arranged to preserve and provide open space and to protect views. The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.                                     |                                                                                                                                                                                                                                                                                                                                                                         | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.9.a.ii.                                     | Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                         | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                           |                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                     |                                                                                                        |
|-------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                           | existing, or planned to be located on adjacent properties.                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                     |                                                                                                        |
| 15.36.030.10 Site Access                  | The location and number of access points to the site, the interior circulation pattern, and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience, and should be harmonious with proposed and neighboring buildings.                                                                                                           |                                                                                                                                                                                                                     | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.11 Noise Impact                 | Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts. | Compared to a steel building, tilt-up buildings are inherently sound isolating. A secondary plan of using landscape and fencing is being considered.                                                                | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.12 Views                        | Due to the community quality and character created by surround scenic beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake                                                                                          |                                                                                                                                                                                                                     | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.13 Landscaping Design Standards | Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-                                                                                                       | The proposed landscaping plan features a variety of appealing and water-friendly plant materials. The plan incorporates deciduous trees, shrubs, evergreens, perennials, and grasses which provide visual interest, | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                                 |                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                        |
|-------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                                 | round site beautification, blend with the natural landscape and highlight building design features.                                                                                                                                                                                                                                                     | year-round beautification, and continuity with the surrounding landscape.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                        |
| 15.36.030.13.a<br>Landscape Buffers             | Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.                                                                                                                                    | This site plan shall be approved only on the condition that the applicant provided screening of all parking areas from the public right-of-way.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.13.b<br>Transitional Landscaped Areas | Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.13.c<br>Landscape Materials           | All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant “xeriscape” landscaping is encouraged. Landscaping improvements may also include berming, contouring, rocks, and boulders. | The natural habitat has been left preserved near the perimeters of the property. Inside the property lines—between the property lines and the structures, gravel or other porous material will infill spaces. Near parking egress paths and high-density pedestrian areas, a native sod material will be placed, as well as trees and other coverings. Xeriscape shall be installed throughout the site. Proposed landscaping is consistent with existing landscaping at other properties along 1750 N. A large percentage of the plants specified are drought tolerant species with rock mulch used as a top dressing of planter beds. Use of drip irrigation of | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                     |                                                                                                        |
|------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | all trees, shrubs, ornamental grasses, and perennials will be incorporated in the final irrigation construction drawings. Also, use of an irrigation controller that uses a rain shut-off device will be specified. |                                                                                                        |
| 15.36.030.13.d Plant Size, Spacing, and Scale        | The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.                                                                                                                                                                   |                                                                                                                                                                                                                     | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.13.e Streetscape Landscape Treatments      | All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.                                                                                                                                                                                 |                                                                                                                                                                                                                     | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.14 Wall, Fences, and Other Visual Barriers | Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be | There shall be no fences on site.                                                                                                                                                                                   | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |

|                                          |                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                        |
|------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                          | constructed of materials that are compatible with the residence.                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                        |
| 15.36.030.15 Non-vegetative Ground Cover | Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.                                                              | A porous gravel will be placed in regularly unoccupied areas. Use of crushed rock mulch over weed barrier fabric has been called out on the plans.                                                                                                                                                                                                                                        | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.16 Landscape Maintenance       | All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.                             | Water consumption information will be provided in the final set of plans using the formula or Irrigated Area [IA] x Annual Evapotranspiration [ET] x conversion factor from inches of water to gallons per year. This strategy achieves low maintenance and efficient water consumption.                                                                                                  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.17 Site Light Standards        | To protect views of the night sky, all outside shall be "down lighting" so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties. | The applicant is proposing to add new, flush-mounted LED down lights above all entrances to the buildings. These will provide excellent lighting above entrances and adequate lighting in parking areas but will not create light pollution to neighboring sites. Parking spaces will not be far enough from the buildings to need to incorporate lighting on the perimeters of the site. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.36.030.17. a.                         | Warming lighting colors are encouraged. Blue white colors or fluorescent and mercury vapor lamps are prohibited.                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                           | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |

|                                                              |                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                        |                                                                                                                   |
|--------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| 15.36.030.17. b.                                             | All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.                                                                                                                                                                       |                                                                                                                                                                                                        | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |
| 15.36.030.17. c.<br>Parking Lot Lighting                     | Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits. All parking area lighting shall be integrated with landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet. |                                                                                                                                                                                                        | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |
| 15.36.030.17.a.<br>Project, Site and Building Sign Standards | The placement and design of all allowed signs shall be found to be compatible with the development project and with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.  | No signs are shown or indicated on the site plan. The applicant does not anticipate any street or building signage. If future tenants require signage, they will go through the appropriate approvals. | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A            |
| 15.36.030.17.b                                               | Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein                                                                                                                                                                                                                          |                                                                                                                                                                                                        | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A            |
| 15.36.030.17.c                                               | All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.                                                                                                                       |                                                                                                                                                                                                        | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| <b>VZC Chapter 15.38 Parking and Loading Requirements</b>    |                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                        |                                                                                                                   |
| <b>Category</b>                                              | <b>Standard</b>                                                                                                                                                                                                                                                                                                                     | <b>Staff Comments</b>                                                                                                                                                                                  | <b>Compliance</b>                                                                                                 |

|                                                |                                                                                                                                                                                                                                                                                                                                                                                      |               |               |                                                                                                          |                                                                                                                   |
|------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|---------------|----------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| 15.38.030.1.e<br>Parking Stall<br>Dimensions   | Type                                                                                                                                                                                                                                                                                                                                                                                 | Width         | Length        | Parking stalls are 9 FT<br>wide by 18 FT deep, and<br>have 2 FT overhangs into<br>the landscaped strips. | <input checked="" type="checkbox"/> Yes<br><input checked="" type="checkbox"/> No<br><input type="checkbox"/> N/A |
|                                                | Standard                                                                                                                                                                                                                                                                                                                                                                             | 9 ft          | 20 ft         |                                                                                                          |                                                                                                                   |
|                                                | Parallel                                                                                                                                                                                                                                                                                                                                                                             | 8 ft          | 24 ft         |                                                                                                          |                                                                                                                   |
|                                                | The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4 foot wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).                                                                  |               |               |                                                                                                          |                                                                                                                   |
| 15.38.030.1.f.<br>Parking Aisle<br>Dimensions  | Angle                                                                                                                                                                                                                                                                                                                                                                                | 1way<br>Aisle | 2way<br>Aisle |                                                                                                          | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |
|                                                | 90 deg.                                                                                                                                                                                                                                                                                                                                                                              | 24 ft         | 24 ft         |                                                                                                          |                                                                                                                   |
| 15.38.030.1.g.<br>Parking Lots                 | Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings, plazas, or significant landscaped areas oriented for pedestrian use.                                                                                                                                                                                               |               |               |                                                                                                          | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |
| 15.38.030.1.h.<br>Within Structures            | The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section |               |               |                                                                                                          | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A            |
| 15.38.030.1.i.<br>Circulation Between<br>Bays. | Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street                                                                                                                                                                                                                            |               |               |                                                                                                          | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A            |

|                                       |                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                               |                                                                                                        |
|---------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                       | or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.                                                                                                                                                                                                                                                               |                                                                                                               |                                                                                                        |
| 15.38.030.1.j.<br>Surfacing           | All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.                                             |                                                                                                               | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.k.<br>Striping            | Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide                                                                                                                                                                                                                                                                           |                                                                                                               | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.l.<br>Lighting            | Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public right-of-ways and shall be a maximum of 25 feet in height above the surface parking for non-residential uses and 16 feet for residential uses. |                                                                                                               | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.m.<br>Protruding Vehicles | All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.                                                                                                                                                                                                                                                                          |                                                                                                               | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.38.030.1.n.<br>Screening           | All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped                                                                                                                                                                                                                                                              | A condition of approval shall include the screening of all parking spaces from the public ROW. This screening | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                              |                                                                                                        |
|----------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                              | berm, decorative wall, vertical landscaping, or combination thereof at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | must be 3 FT high and continuous measured at the finished grade adjacent to the parking area to be screened. |                                                                                                        |
| 15.38.030.1.o.i.<br>Parking Area Landscaping | 5% of the gross parking surface area shall be of disperse interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this requirement. Acceptable interior landscaping designs: <ol style="list-style-type: none"> <li>1) 5' by 5' tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90 degree parking spaces.</li> <li>2) Min. 5' wide landscape medians with trees planted 40 feet apart</li> <li>3) Min. 5' wide landscape islands and peninsulas with at least 1 tree</li> <li>4) Other similar designs that disperse landscaping throughout a parking</li> </ol> |                                                                                                              | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                    |                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |                                                                                                        |
|--------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------|
|                    | area, to be determined by the Planning Commission.                                                                                                                                                                                                                                                                                                                                                                                    |  |                                                                                                        |
| 15.38.030.1.o.ii.  | Parking areas should be buffered from adjacent residential property and screened from streets so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges                                                                                                                                                                                                   |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.iii. | Access drives, internal circulation drives, parking area, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface. |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.iv.  | In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.                                                                                                                                                                                                                                                                                                |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.v.   | Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should related to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required                                                                                                                 |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |

|                                 |                                                                                                                                                                                                                                                                                                                           |                                                 |                                                                                                        |
|---------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                 | based on city approved parking studies.                                                                                                                                                                                                                                                                                   |                                                 |                                                                                                        |
| 15.38.030.1.o.vi.               | The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.                                                                                                                                                                                                                             |                                                 | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.vii.              | Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.                                                                                                                                                                                                  |                                                 | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.38.030.1.o.viii.             | All sites shall meet the requirements of the Americans with Disabilities Act ("ADA")                                                                                                                                                                                                                                      | All requirements have been met and or exceeded. | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.ix.               | Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to improve traffic circulation and to enhance public safety.                                                                                                                                     |                                                 | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.x.                | Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available. |                                                 | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.o.xi.               | A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.                                                                                                                                                                                                                        |                                                 | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.p.i.<br>Maintenance | It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways,                                                                                                                            |                                                 | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                                                                           |                                                                                                                                                                                                                                        |  |                                                                                                        |
|-------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------|
|                                                                                           | striping, landscaping, and required fences or screening.                                                                                                                                                                               |  |                                                                                                        |
| 15.38.030.1.p.ii. Maintenance                                                             | Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation. |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.q. Use of Required Parking Areas for Parking Only                             | Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.                                       |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.r. Signs                                                                      | No sign shall be located as to restrict the sight lines and orderly operation and traffic movement within any parking area.                                                                                                            |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses | Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.                                                                    |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.38.030.1.s.ii                                                                          | Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.                                                                                            |  |                                                                                                        |
| 15.38.030.1.s.iii.                                                                        | Height of such structures shall be limited to 10 feet                                                                                                                                                                                  |  |                                                                                                        |
| 15.38030.1.s.iv.                                                                          | All canopies shall include a fascia                                                                                                                                                                                                    |  |                                                                                                        |
| 15.38.030.1.s.v.                                                                          | Setbacks are measured from property line to nearest edge of canopy.                                                                                                                                                                    |  |                                                                                                        |
| 15.38.030.1.s.vi.                                                                         | All required landscaping, parking or otherwise, shall be provided.                                                                                                                                                                     |  |                                                                                                        |

|                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                       |                                                                                                        |
|----------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|--------------------------------------------------------------------------------------------------------|
| 15.38.030.2.c. Off-street Parking Requirements Non-residential uses. | Medical Offices and Clinics: 1 space per 200 SF of floor area.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                       | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.38.030.2.d.i. Mixed Uses                                          | In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the various uses computed separately.                                                                                                                                                                                                                                                                                                                                                             |                       | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.38.030.2.d.ii. Mixed Uses                                         | A horizontal mixed use development may reduce the amount of required parking by 10% if the project is a mixed use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25 if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process. |                       | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.38.030.2.e. Calculation Spaces                                    | In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.                                                                                                                                                                                                                                                                                                                                                           |                       | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| <b>VZC Chapter 15.40 Landscaping</b>                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                       |                                                                                                        |
| <b>Category</b>                                                      | <b>Standard</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Staff Comments</b> | <b>Compliance</b>                                                                                      |
| 15.40.080.1.a. Landscape Improvements and Guarantees                 | All landscape improvements (landscape materials, irrigation system, screening walls et.) shall be installed                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                       | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                              |                                                                                                        |
|------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                          | <p>and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner may approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.</p> |                                              |                                                                                                        |
| 15.40.080.1.b. Minimum Size of Plantings | <p>Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                              | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.1.c. Plant Installation        | <p>Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                              | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.40.080.1.d. Plant Materials           | <p>Plants shall be drought tolerant and well-suited to the soil conditions at the</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <p>The applicant shall provide all water</p> | <input type="checkbox"/> Yes<br><input type="checkbox"/> No                                            |

|                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                      |                                                                                                        |
|------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|--------------------------------------------------------------------------------------------------------|
|                                                      | project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.                                                                                                                                                                    | requirements for all plant material. | <input checked="" type="checkbox"/> N/A                                                                |
| 15.40.080.1.e.<br>Limitation on the Use of Turf.     | Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.                                                                                                                                                                                                 |                                      | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.1.f.<br>Natural Topping of Landscape Areas | All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth. |                                      | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.1.g.<br>Irrigation Standards               |                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                      |                                                                                                        |
| 15.40.080.1.h.<br>Separate Connection                |                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                      |                                                                                                        |
| 15.40.080.1.i. Soil Preparation                      |                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                      |                                                                                                        |
| 15.40.080.1.j.<br>Protection of Landscaped Areas     | Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas                                                                                                                                                                                                                                                                         |                                      | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                        |                                                                                                                                                                                                                                                                                                                                                                            |  |                                                                                                        |
|----------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------|
|                                        | and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.                                                                                                                                                                                                                                                           |  |                                                                                                        |
| 15.40.080.1.k. Use of Landscaped Areas | No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.                                                                                                                                                              |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.1.l. Detention Ponds         |                                                                                                                                                                                                                                                                                                                                                                            |  |                                                                                                        |
| 15.40.080.2.a. Onsite Landscaped Areas | For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.                                                                                                                                                                            |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.2.b.                         | For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area. For the purposes of this section, landscape areas shall also include plazas.                                                                                                                          |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.40.080.2.c.                         | All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |  |                                                                                                        |
|--------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------|
|                                      | such a manner as may be approved by the City Planner.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  |                                                                                                        |
| 15.40.080.2.d.                       | The landscaping of all street rights-of-way contiguous with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.                                                                                                                                                                                                                                                                                                                                    |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.3.a.<br>Landscaped Buffers | A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of this Section. |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.40.080.3.b.                       | The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15 foot interval of the property boundary being screened.                                                                                                                                                                                                                                                                                                                                                                                                                          |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.4. Parking Lot Landscaping | Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped                                                                                                                                                                                                                                                                                                                                                                            |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  |                                                                                                        |
|-----------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------|
|                                   | area requirements set forth in this Section.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |                                                                                                        |
| 15.40.080.5. Building Foundations | For each elevation visible from a public or private street, a minimum of 5-foot foundation planting area shall be provided.                                                                                                                                                                                                                                                                                                                                                                                                                                            |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.6.a. Street Frontages   | The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows:<br>Arterial: 25 Feet<br>Collector: 20 Feet<br>Local Streets: 15 feet                                                                                                                                                                                                                                                                                                                                                                            |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.40.080.6.b. Street Frontages   | The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows:<br>Arterial: 20 feet<br>Collector: 15 feet                                                                                                                                                                                                                                                                                                                                                                                                                |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.40.080.6.c. Street Frontages   | The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs. |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |
| 15.40.080.6.d. Street Frontages   | Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall                                                                                                                                                                                                                                                                                                                                                                                                                     |  | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input type="checkbox"/> N/A |

|                                 |                                                                                                                                                                                                                                                                                                                                                                                                                            |  |                                                                                                        |
|---------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--------------------------------------------------------------------------------------------------------|
|                                 | be located between the curb and the landscape setback. The street frontage landscaping shall be designed and located to enhance the proposed development project and the streetscape.                                                                                                                                                                                                                                      |  |                                                                                                        |
| 15.40.080.6.e. Street Frontages | The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area. |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |
| 15.40.080.7. Cumulative Totals  | Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.                                                                                                                                                                  |  | <input type="checkbox"/> Yes<br><input type="checkbox"/> No<br><input checked="" type="checkbox"/> N/A |

### **Findings**

The proposed site plan application meets the requirements of the Vineyard Zoning Ordinance.

### **Recommendation**

Staff recommends approval of the site plan application with the conditions listed below.

### **Conditions**

1. The applicant/owner shall provide screening of all parking lots of four (4) or more spaces visible from the street view by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at least three (3) feet high, as measured from the finished grade

adjacent to the parking area to be screened (please see VZC 15.38.030.1.n. 'Screening').  
The applicant shall clearly label such screening on a revised site plan.

**Proposed Motion**

"I move to approve the Eastlake Lot 05 site plan with the proposed conditions."

**Attachments**

1. Site Plan Application
2. Scope of Work
3. Site Plan
4. Landscaping Plan
5. Elevation Drawings
6. Bike Rack Diagram



# Vineyard Development Permit

Application Date: 01/15/2021  
Type of Improvement: Site Plan  
Legal Description: Eastlake at Geneva Industrial Business Park Phase  
Bldg. Address: 71 East 1750 North  
City: Vineyard State: UT Zip: 84059  
Subdivision: Eastlake Phase: 3  
Block: 4 Lot #: 5 Parcel #: 38-559-0005  
Zone: industrial Sec: 5 ;T S;R W  
Property Owner: Vinyard Properties of Utah Vineyard (801) 455-5924  
City: Pleasant Grove State: Utah Zip: 84062  
Permit Contact: Marty Biljanic P:(801) 455-5924  
Email: mbiljanic@msi.properties

## CONTACT INFORMATION

Additional Owner: Vinyard Properties of Utah - MSI  
License #: Properties P: (801) 455-5924  
City: State: Zip:  
Email: mbiljanic@msi.properties

## APPLICATION DETAILS

|                    |           |             |
|--------------------|-----------|-------------|
| Valuation          | \$        | 0.00        |
| PERMIT FEES        |           |             |
| Site Plan          | \$        | 0.00        |
| <b>Total Fees:</b> | <b>\$</b> | <b>0.00</b> |

## APPROVALS

## DATE

## INFO

Corner Lot:

| Setbacks | Front: | Rear: | Left: | Right: |
|----------|--------|-------|-------|--------|
| Min.     |        |       |       |        |
| Actual:  |        |       |       |        |

APPLICATION NUMBER:

PLAN21-326

I agree to comply with all City, County, and State building laws and ordinances. I attest that all representations in this application for a building permit are true and accurate, and any misrepresentations of errors herein are the sole responsibility of the applicant, and shall in no way incur or accrue liability or obligation to enforcing officers or agents. This City does not accept any obligation or liability to have plans reviewed or approved by an Architectural Review Committee prior to the issuance of a building permit. It is the responsibility of the owner and builder to receive approval from the Architectural Review Committee. Failure to receive approval may result in civil action. This permit becomes null and void if work on construction authorized is not commenced within 180 days or if construction work is suspended or abandoned for a period of 180 days at any time after work is commenced. OCCUPANCY OF STRUCTURE IS PROHIBITED UNTIL AFTER FINAL INSPECTION AND ZONING/OCCUPANCY COMPLIANCE CERTIFICATE IS ISSUED. I HAVE CHECKED THE SEWER DEPTH OF ABOVE LOT AND WILL TAKE ALL RESPONSIBILITY FOR SETTING THE BUILDING ACCORDINGLY.

Applicant Name: Marty Biljanic

Signature of Contractor or Authorized Agent: Date:

Signature of Owner (If Owner/Company): Date:

Application Approved By: Date:

Receipt #: Date:

☐ Cash ☐ Check # [ ] ☐ Credit Card



Vineyard Properties of Utah  
Property Development

### Scope of Work

Project name: Eastlake Lot 5

Project address: 71 East 1750 North Vineyard, Utah

Owner: Vineyard Properties of Utah, LLC

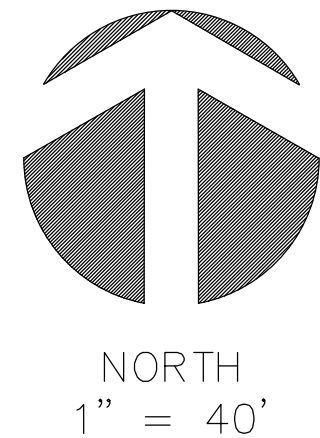
Site: 12.4 acres

The project will be another addition to Vineyard's Eastlake Industrial Park. The site is located just across the street and east of the PacifiCorp power plant. The 12.4 acre site fronts the recently constructed 1750 North roadway. The City zoning map dated April 30, 2020, identifies the area as zone M: Manufacturing district, with which our project complies.

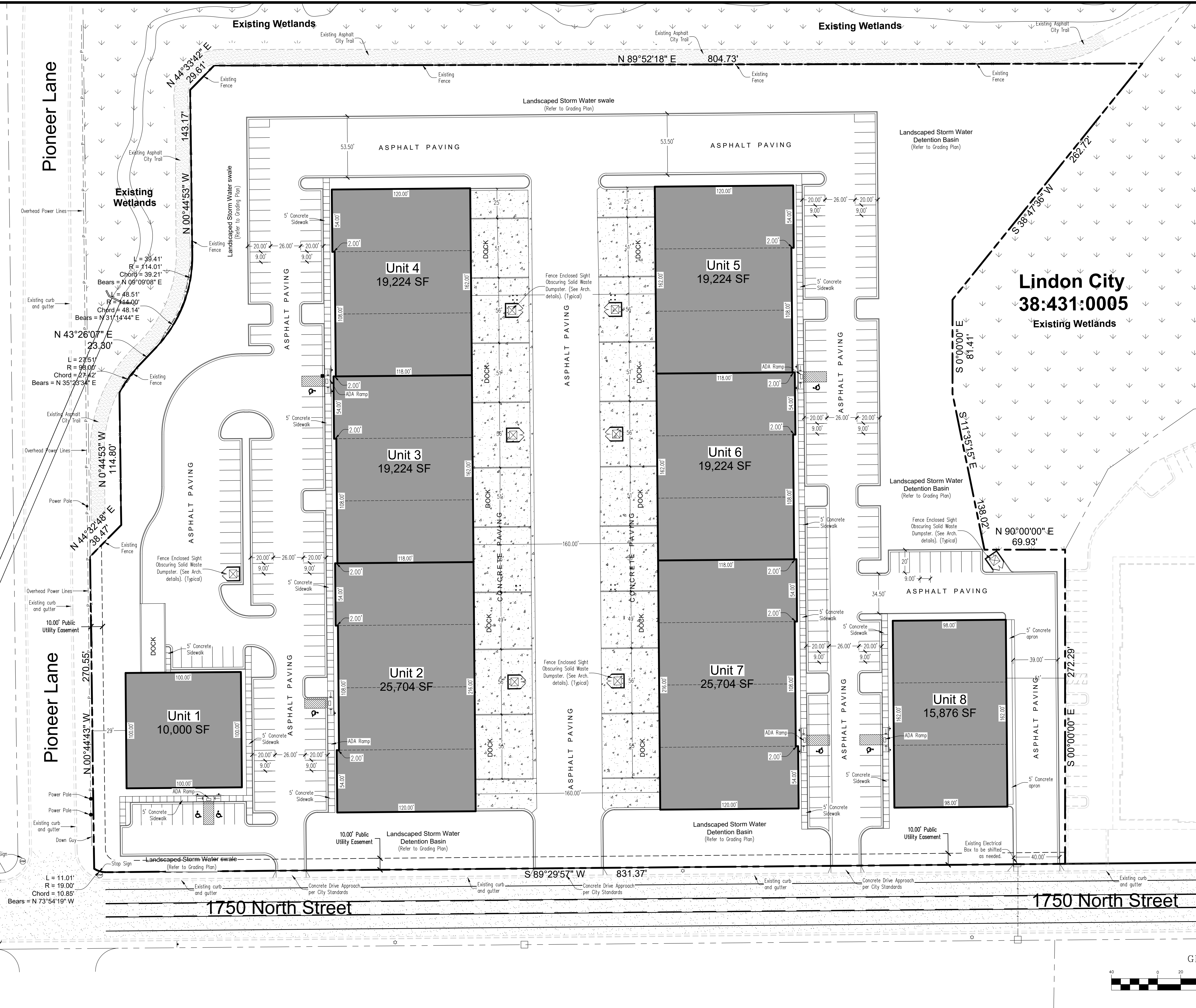
The plan, after receiving City approvals, is to start in March/April and construct approximately 154,000 square feet of leasable building space and be well parked for potential tenants use. The building design team is experienced and has completed multiple projects in the immediate area. Architectural Coalition will lead the design of the building plans, while Dudley & Associates will direct the Civil Site design. Additional team members are engaged and underway with the Landscape Architect In Site Design Group, ESP Excavation, CMT Geotech, Kimco Fire Protection, and Fincon likely our General Contractor for the project.

The Architect has designed similar buildings within Eastlake but the goal is to make these a bit distinctive while advancing modern facility market trends. The utility companies plans show infrastructure backbone was installed when 1750 North roadway was constructed. The 12.4 acre site is relatively flat and close to grade, which will keep any necessary import or export of fill material to a minimum. Once we obtain a permit to proceed, our plan is to start constructing the two larger buildings & site work within one consecutive schedule, and the two smaller buildings once we secure a lease tenant. We are excited to move forward with this project, the anticipated value of the project is about nine million, and we anticipate a 10 month build time.

Marty Biljanic  
Vineyard Properties of Utah  
801-455-5924



# Pacificorp Lake Side Power Plant



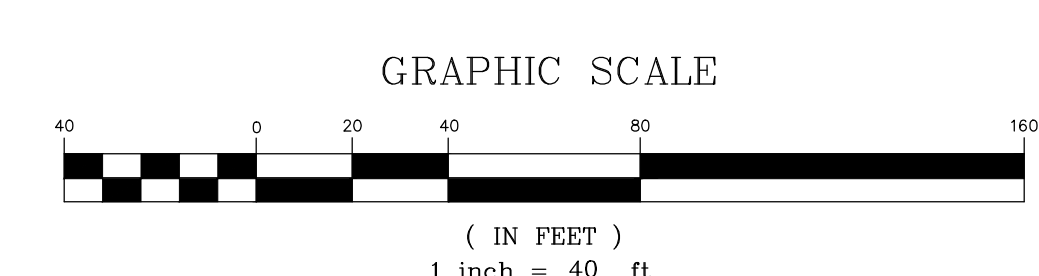
DUDLEY AND ASSOCIATES  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

71 East 1750 North  
**Site Plan - Eastlake Lot 5**  
Vineyard

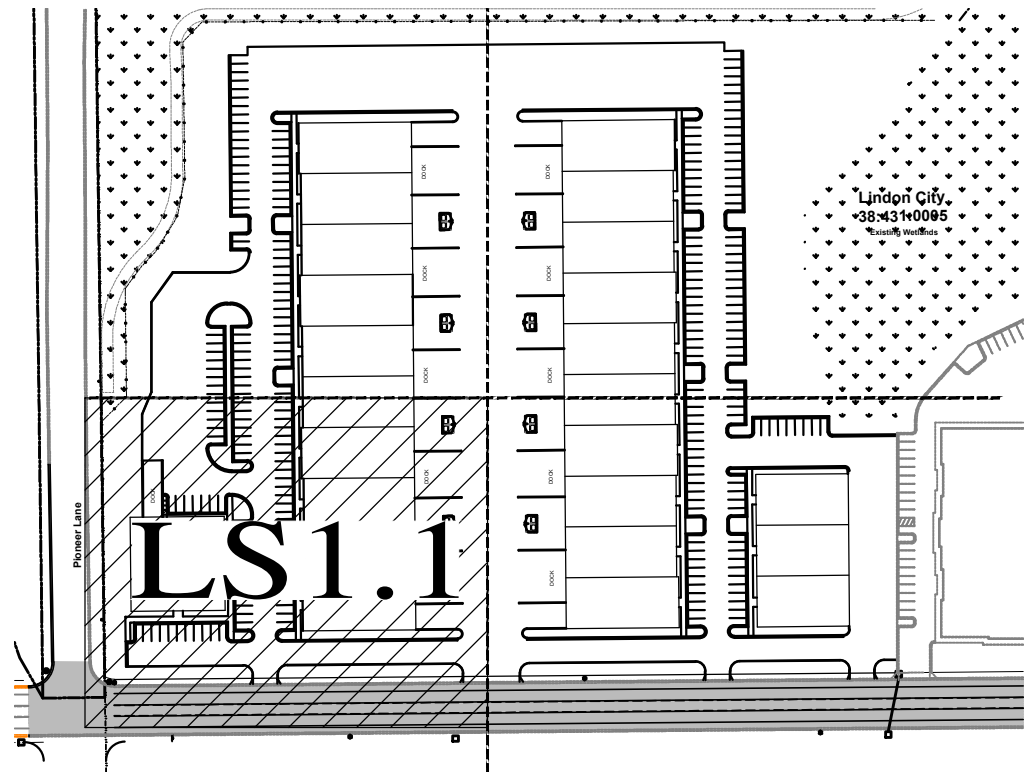
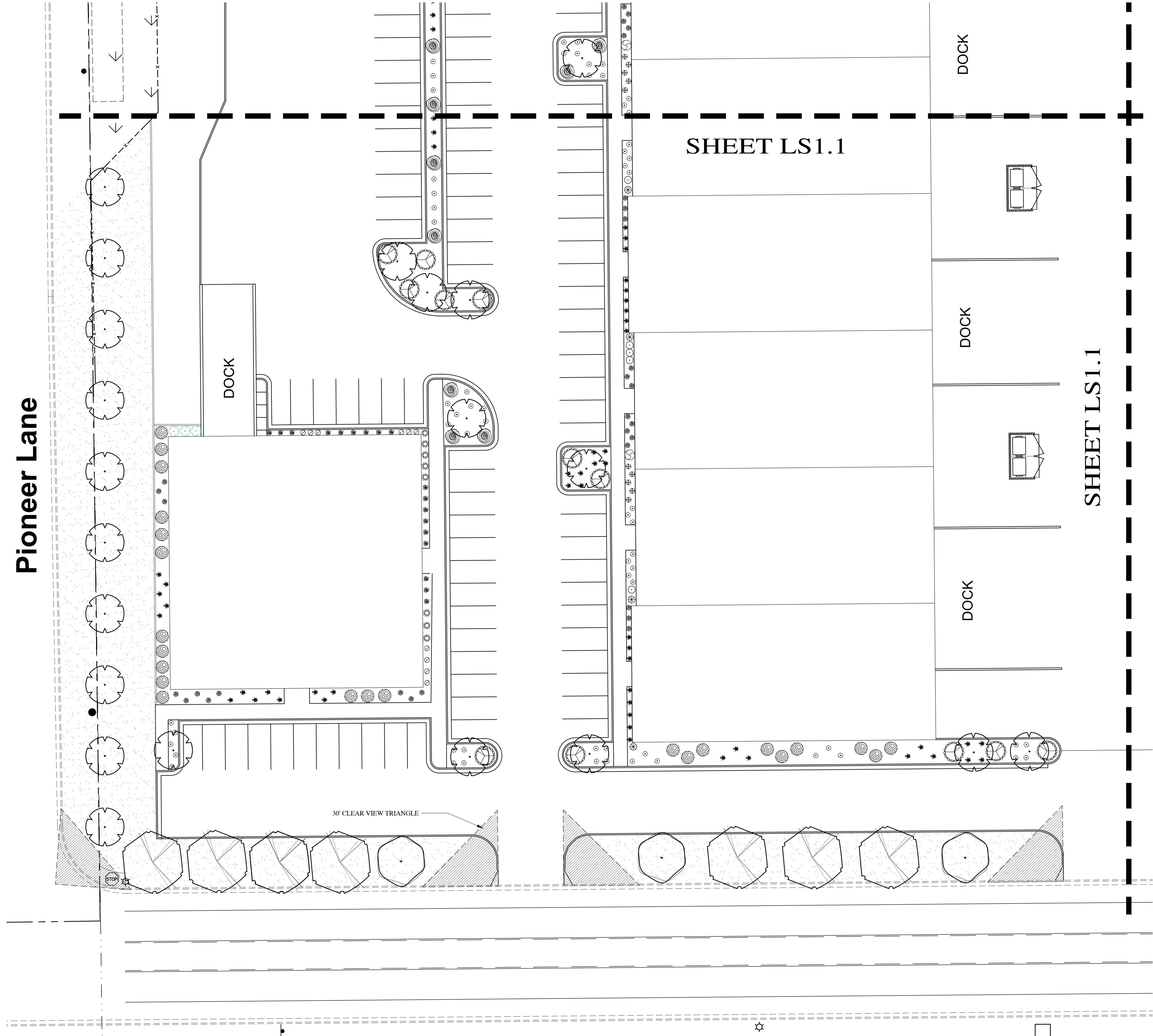
| Revisions |
|-----------|
|           |
|           |
|           |
|           |
|           |
|           |
|           |
|           |
|           |

Date  
2-10-2021  
Scale  
1" = 100'  
By  
TD  
Tracing No.  
L - 14542

Sheet No.  
**C - 2.0**



Pioneer Lane



DECIDUOUS TREE LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME                | QTY | SIZE   |
|--------|-------------------------------------------|-----|--------|
|        | OLEIFOLIA TRICANTHOS 'INDURUM' 'SUNBURST' | 13  | 2" CAL |
|        | PRUNUS PENNSYLVANICA 'NEWPORT'            | 7   | 2" CAL |
|        | ZELKOVA SERRATA 'MITSANAKA'               | 46  | 2" CAL |

DECIDUOUS SHRUB LEGEND

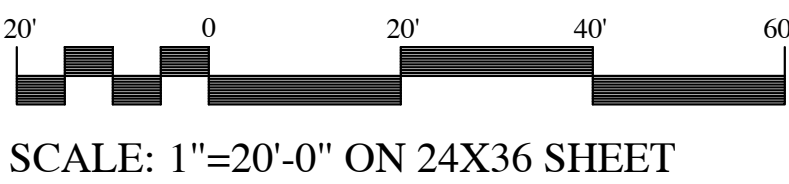
| SYMBOL | BOTANICAL NAME/COMMON NAME         | QTY | SIZE  |
|--------|------------------------------------|-----|-------|
|        | BERBERIS THUNBERGII 'NANA'         | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'NANA'         | 19  | 5 GAL |
|        | CHAENOMELES SPECIOSA 'PINK STORM'  | 22  | 5 GAL |
|        | CORNUS ALBA 'SASKIA'               | 23  | 5 GAL |
|        | PRUNUS BESSEYI 'INLILA'            | 24  | 5 GAL |
|        | RHUS AROMATICA 'GRO-LOW'           | 38  | 5 GAL |
|        | SPIRAEA NIPPONICA 'SNOWMOUND'      | 45  | 5 GAL |
|        | SYMPHORICARPOS X CHINENSIS 'DANCE' | 6   | 5 GAL |

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR ORDERING AND INSTALLATION. IF DISCREPANCIES EXIST, THE PLAN SHALL PREVAIL.
- PLANT MATERIALS TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTINGS: OVERLAPPING ROOTS MUST BE REMOVED PRIOR TO INSTALLATION. PRIOR TO PLANTING, ALL LANDSCAPE AREAS MUST BE PREPARED PER PLANTING PLANS FOR SPECIES.
- NEW LAWN AREAS TO BE SOURED WITH TOP SOIL (KENTON'S BLUEGRASS) AND 1" DEEP LAYER OF TOP SOIL. ALL AREAS PRIOR TO LAYING MUST BE PREPARED PER PLANTING PLANS FOR SPECIES.
- ANNUAL PLANTINGS TO BE INSTALLED AT THE FOLLOWING DEPTHS: 12" DEPTHS ANNUAL PLANTINGS, 18" DEPTHS PERENNIALS, 24" DEPTHS TREES. ALL AREAS PRIOR TO LAYING MUST BE PREPARED PER PLANTING PLANS FOR SPECIES.
- NEW PLANTING AREAS: INSTALL 1" DEPTHS OF SANDY LOAM TOPSOIL (18" DEPTHS PERENNIALS, 24" DEPTHS TREES). DECOMPOSED ORGANIC MATERIAL MUST BE APPLIED TO TOPSOIL PRIOR TO SPREADING IN ALL NEW LAWN AREAS.
- PLANTER BEDS TO BE INSTALLED AS NECESSARY TO ALLOW FOR TOPSOIL, AMENDMENTS AND MULCH. IN THE FUTURE, ORGANIC MATERIAL MUST BE APPLIED TO TOPSOIL PRIOR TO SPREADING IN ALL NEW LAWN AREAS.
- IDENTIFY 1" OF WEED BARRIER FABRIC TO BE INSTALLED IN ALL ROCK MULCH AREAS. DO NOT INSTALL WEED BARRIER FABRIC UNDER PERENNIALS, ANNUALS, OR GRASSES AND AREAS TO RECEIVE WOOD MULCH.
- INSTALL PRE-EMERGENT HERBICIDE TO THE TOP OF THE FABRIC, AFTER INSTALLATION OF ALL PLANTS AND PRIOR TO INSTALLING MULCH. AFTER INSTALLATION OF THE MULCH, THE CONTRACTOR SHALL EVENTUALLY BROADCAST A SECOND APPLICATION OF SLOW RELEASE PRE-EMERGENT HERBICIDE. APPLY PRE-EMERGENT HERBICIDE PER MANUFACTURER'S RECOMMENDATION.
- ROCK MULCH TO BE 2" DEPTHS (2" DEPTHS ROCK FROM STAMER & SONS COMPANY). INSTALL ROCK MULCH AT A 7" DEPTHS OVER ALL PLANTER AREAS. FULL MULCH MIN. 7" AWAY FROM BASE OF ALL PERENNIALS AND TREES AND MIN. 6" AWAY FROM ALL TREES.
- TREES LOCATED IN LAWN AREAS SHALL HAVE A 7" DIAMETER GRASS FREE RING AROUND BASE OF TREE WITH 1" DEPTHS OF WOOD MULCH.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. CUT OUT BRUISED OR OTHER DAMAGED AREAS. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER DEFECTS. AFTER REPAIRING, RE-ROLL AREAS WITH A 100-POUND SOD ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER DEFECTS. AFTER REPAIRING, RE-ROLL AREAS WITH A 100-POUND SOD ROLLER.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. CUT OUT BRUISED OR OTHER DAMAGED AREAS. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER DEFECTS. AFTER REPAIRING, RE-ROLL AREAS WITH A 100-POUND SOD ROLLER.
- WATER ALL SOURED AREAS IMMEDIATELY AFTER SOD LAYING TO PREVENT ROOTS FROM PENETRATING THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROTECT AREAS LATE PREVENTION OF SOURED AREAS. MAINTAIN THEREAFTER. DISCUSS AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SOURED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.



CONSULTANTS:



STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

PROJECT:

**PLANTING PLAN**

SHEET TITLE:

DRAWN BY: **LCS**  
CHECKED: **DGW**  
DATE: **12-28-2020**  
REVISIONS:  
JOB NO. **20-150**

SHEET:

**LS1.1**

This architectural site plan depicts a building complex with several docks, parking areas, and landscaped zones. The plan is oriented with a north arrow pointing towards the top right. Key features include:

- Docks:** Three docks are labeled "DOCK" along the left side of the building. Two docks are also labeled "DOCK" along the top side of the building.
- Parking:** A large parking area is located in the center of the plan, with a smaller parking area to the right of the building.
- Landscaping:** The plan shows various landscaping elements, including trees, shrubs, and a "30' CLEAR VIEW TRIANGLE" at the intersection of the main road and the driveway.
- Building Footprint:** The building footprint is shown with a dashed line, indicating its location relative to the docks and parking areas.
- Driveway:** A driveway is shown leading from the main road to the building complex.
- Access:** A "30' CLEAR VIEW TRIANGLE" is marked at the intersection of the main road and the driveway, ensuring clear visibility for vehicles.

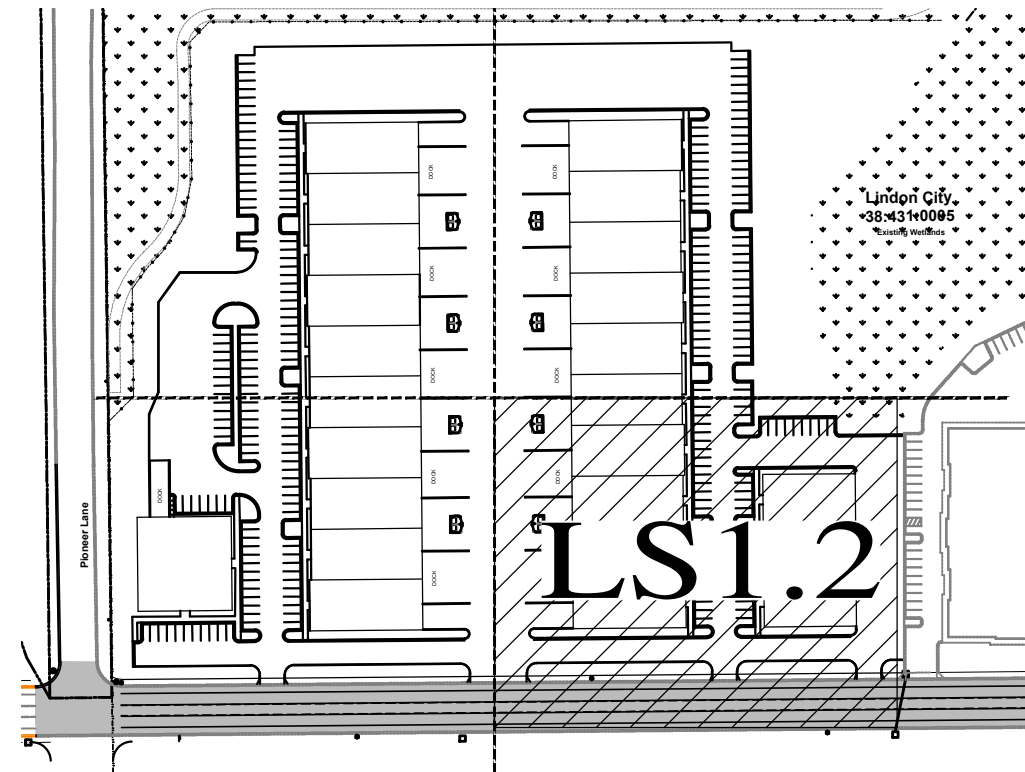
The plan is divided into sections by dashed lines, with labels "SHEET LS1.2" and "SHEET LS1.1" indicating the sheet numbers. The drawing is a technical representation of the site layout, showing the relationship between the building, docks, parking, and landscaping.

# DOCK

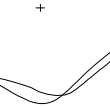
# DOCK

## DOCK

### 30' CLEAR VIEW TRIANGLE



### DECIDUOUS TREE LEGEND

| SYMBOL                                                                              | Botanical Name                     | Common Name                                   | Qty | Size   |
|-------------------------------------------------------------------------------------|------------------------------------|-----------------------------------------------|-----|--------|
|  | <i>CLEISTHA TRICANTHON INERMIS</i> | 'WINDHAT'<br>SUNBURST THROATLESS HONEY LOCUST | 13  | 2" CUL |
|  | <i>PRINUS CERASERA</i>             | 'NORPORT'<br>NORPORT FLOWERING PLUM           | 7   | 2" CUL |
|  | <i>ZELKOVA SERRATA</i>             | MUSKATLICH<br>SAWLEAF ZELKOVA                 | 46  | 2" CUL |

### DECIDUOUS SHRUB LEGEND

| SYMBO                                                                                 | REF ID AND NAME OR CODE NAME                                                   | QTY | SIZE |
|---------------------------------------------------------------------------------------|--------------------------------------------------------------------------------|-----|------|
|  | BERKEDY THE NERDIE MARKA TMK<br>SINUSY GALLAR INFENSE HARBERRY                 | 21  | 56AL |
|  | BERKEDY THE NERDIE ATRIO HELMONDS PELLAR<br>HERMONS THE PINK HARBERRY          | 19  | 56AL |
|  | CHASOMOMES SPS SPECIM PINK STORM TMK<br>DOUBLE TALL PINK STORM LOWERING QUINCE | 22  | 56AL |
|  | CORNS ALBA "BALLOF" TMK<br>DORY BALLOF DOROWO                                  | 21  | 56AL |
|  | PERINI BERSER PULVI TMK<br>PANNINI BUTTASAND HARBERRY                          | 24  | 56AL |
|  | PERINI BERSER "GROLOW"<br>GROLOW FRAGMENT SI MAC                               | 38  | 56AL |
|  | SPIRASA NIPRONICA "KNOWING"<br>KNOWING NO SPERMA                               | 45  | 56AL |
|  | SYNTHOSIS APOPS CHERNELLATI HANNOCK<br>HANNOCK CHERNELLATI COHERABERY          | 6   | 56AL |

## LANDSCAPE NOTES

- [illegible]

### SOD LAYING NOTES

1. LAY SOIL WITHIN 24 HOURS OF REMOVAL.
2. LAY SOIL IN ROWS WITH STAGGERED BUTT JOINTS. CLOSELY MATCH OVERLAPS OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT BRUISES AND SOIL SECTIONS WITH A SHARP KNIFE.
3. LAY SOIL SURF WITH WORKING EXISTING GRASS OR PASTURE SURFACES.
4. AFTER SOILING HAS BEEN COMPLETED, ROW, HORIZONTAL, OR BEAT AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 100 POUND ROLLER, RAKE, OR BEAT ROLL AREA WITH EXPRESSIONS, LUMPS OR BULGES. ROLL BEAT ROLL AREAS TO BEAT ROLLER. BRUISES IN GRASS ARE NOT PERMITTED.
5. WATER ALL SODDED AREAS IMMEDIATELY AFTER SOILING TO OBTAIN MOISTURE. PENETRATION THROUGH SOIL INTO TOP OF TUBES.
6. PROVIDE PROTECTION TO EXPOSED AREAS AGAINST OVERSTRESS, EROSION AND DAMAGE TO SOIL. REMOVE THIS PROTECTION AFTER SODS ARE BEING ACCEPTED BY THE OWNER.
7. REPLACE DAMAGED SOIL TO AN ACCEPTABLE COST TO OWNER.

### EVERGREEN SHRUB LEGEND

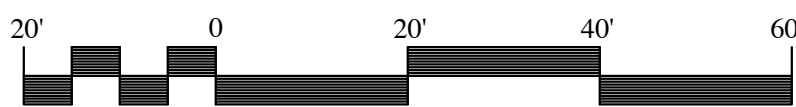
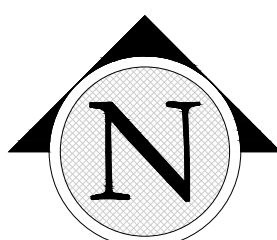
| SYMBOL                                                                              | ITEM AND NAME OR COMMON NAME                                       | QTY | SIZE   |
|-------------------------------------------------------------------------------------|--------------------------------------------------------------------|-----|--------|
|  | ROSEMARY (BACCHARIS ARBORESCENS)<br>THE GREEN TOWER COMMON BOXWOOD | 20  | 5 GAL. |
|  | PINKY MOON® SLOWBURNING<br>MOON PINK                               | 12  | 5 GAL. |

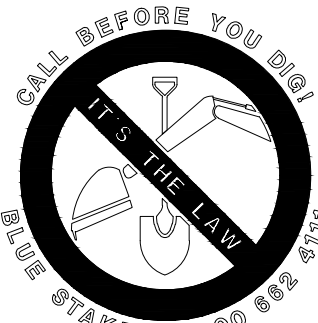
| PERENNIAL LEGEND                                                                    |                                                               |     |        |
|-------------------------------------------------------------------------------------|---------------------------------------------------------------|-----|--------|
| SYMBOL                                                                              | ITEM AND NAME OR COMMON NAME                                  | QTY | SIZE   |
|  | BUFF PRINCE OF ORANGE<br>CANDLE LARKSPUR                      | 30  | 1 GAL. |
|  | DIGITALIS PURPUREA "CAMELOT"<br>MEXI CAMEL OF FINE FINGERLOVE | 63  | 1 GAL. |
|  | HEMEROCALLIS X "CHICAGO APACHE"<br>CHEROKEE APACHE DAYLILY    | 136 | 1 GAL. |
|  | HEMEROCALLIS X "EAGLE SNOW"<br>EAGLE SNOW DAYLILY             | 79  | 1 GAL. |

### GRASSES LEGEND

| SYMBOL                                                                              | BOTANICAL NAME/COMMON NAME                                                   | QTY | SIZE   |
|-------------------------------------------------------------------------------------|------------------------------------------------------------------------------|-----|--------|
|  | CALAMAGROSTIS X ACUTIFLORA 'AVALANCHE'<br>AVALANCHE FEATHER REED GRASS       | 174 | 1 GAL. |
|  | CALAMAGROSTIS X ACUTIFLORA 'HELLO SPRING'<br>HELLO SPRING FEATHER REED GRASS | 20  | 1 GAL. |



SCALE: 1"=20'-0" ON 24X36 SHEET



**In Site**  
**DESIGN GROUP**  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801.756.5043 [www.in-sitedesigngroup.com](http://www.in-sitedesigngroup.com)  
[architects@in-sitedesigngroup.com](mailto:architects@in-sitedesigngroup.com)

CONSULTANTS:



STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

# PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:

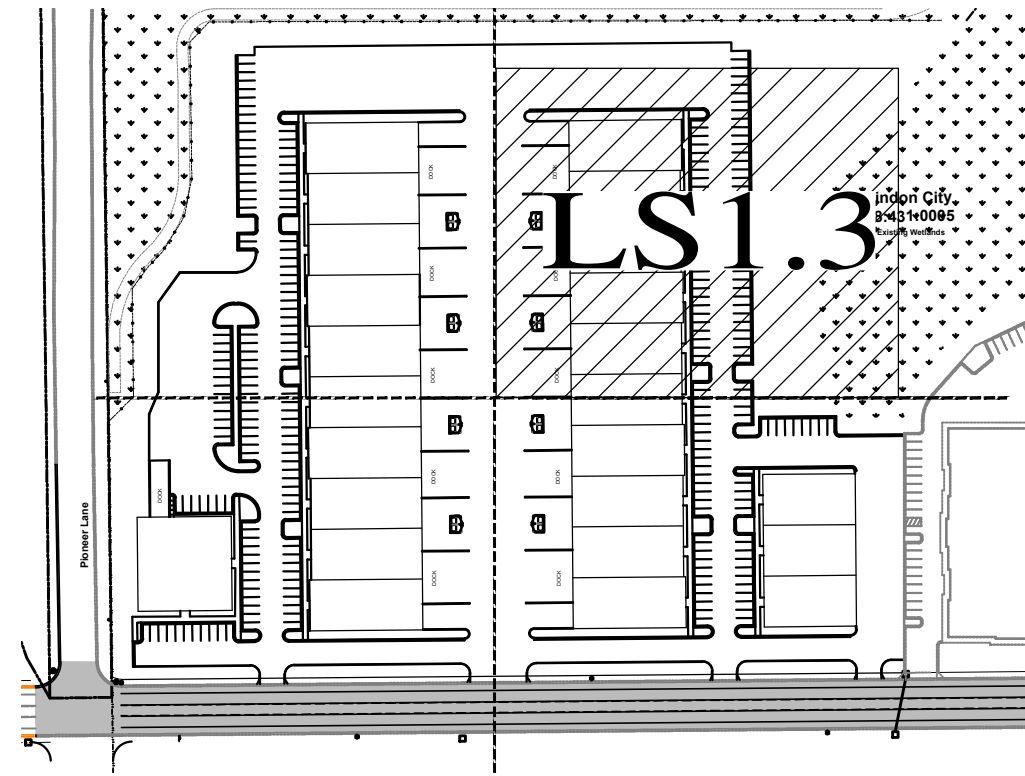
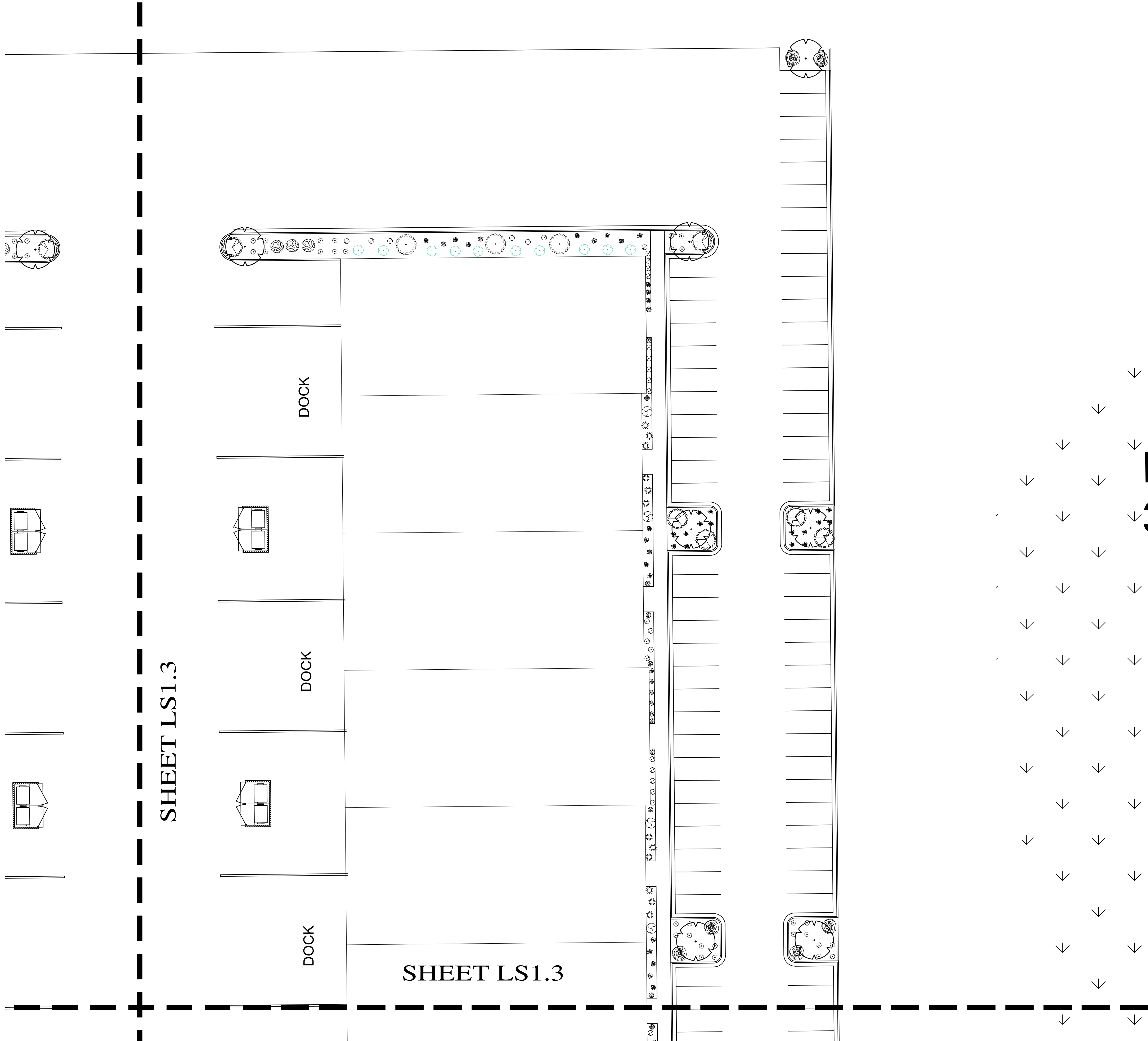
# PLANTING PLAN

SHEET TITLE:

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
\_\_\_\_\_  
JOB NO. 20-150  
SHEET: \_\_\_\_\_

SHEET: **LS1.2**

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF N-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF N-SITE DESIGN GROUP. COPYRIGHT © 2006



DECIDUOUS TREE LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME         | QTY | SIZE    |
|--------|------------------------------------|-----|---------|
|        | OLEIFERA TRICANTHOS (HONEY LOCUST) | 13  | 2" CAL. |
|        | PRUNUS CERASIFERA (NEWPORT)        | 7   | 2" CAL. |
|        | ZELKOVA SERRATA (MUSCADINE)        | 46  | 2" CAL. |

DECIDUOUS SHRUB LEGEND

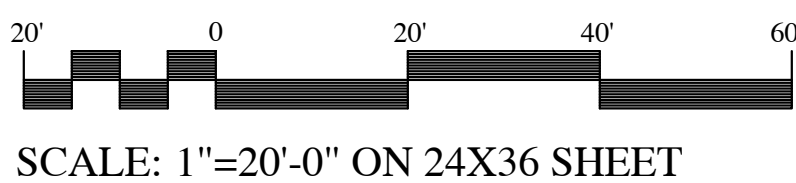
| SYMBOL | BOTANICAL NAME/COMMON NAME         | QTY | SIZE   |
|--------|------------------------------------|-----|--------|
|        | BERBERIS THUNBERGII (BARBERRY)     | 21  | 5 GAL. |
|        | CHAENOMELES SPECIOSA (PINK STORM)  | 22  | 5 GAL. |
|        | CORNUS ALBA (SASKATOON)            | 23  | 5 GAL. |
|        | RHUS AROMATICA (SAWTOOTH)          | 34  | 5 GAL. |
|        | SPIRAEA JAPONICA (SNOWMOUND)       | 45  | 5 GAL. |
|        | SYMPLOCOS CAROLINIANA (CAROLINIAN) | 6   | 5 GAL. |

LANDSCAPE NOTES

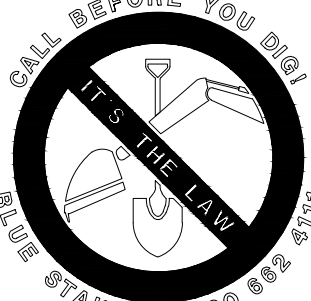
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR ORDERING AND INSTALLATION. IF DISCREPANCIES EXIST, THE PLAN SHALL PREVAIL.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.

SOD LAYING NOTES

- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED. ALL SOD SECTIONS TO BE LAYED WITHIN 14 DAYS OF BEING DELIVERED.



SCALE: 1"=20'-0" ON 24X36 SHEET



CONSULTANTS:



STAMP

PROJECT:

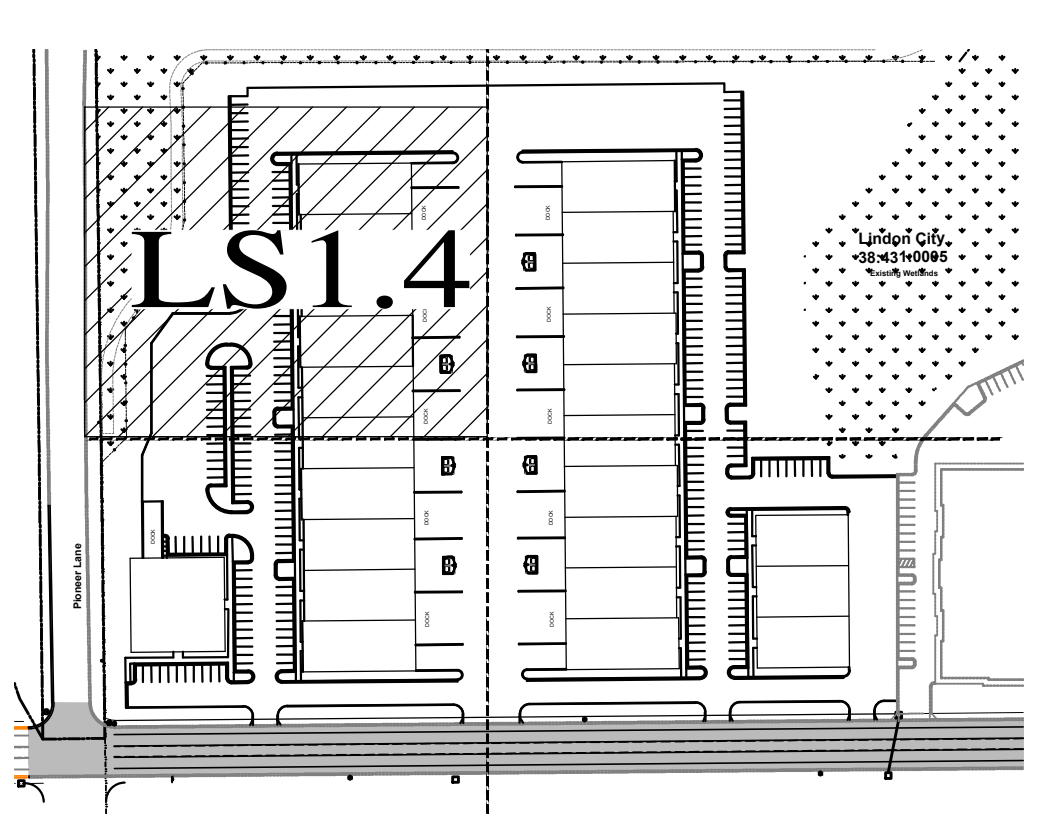
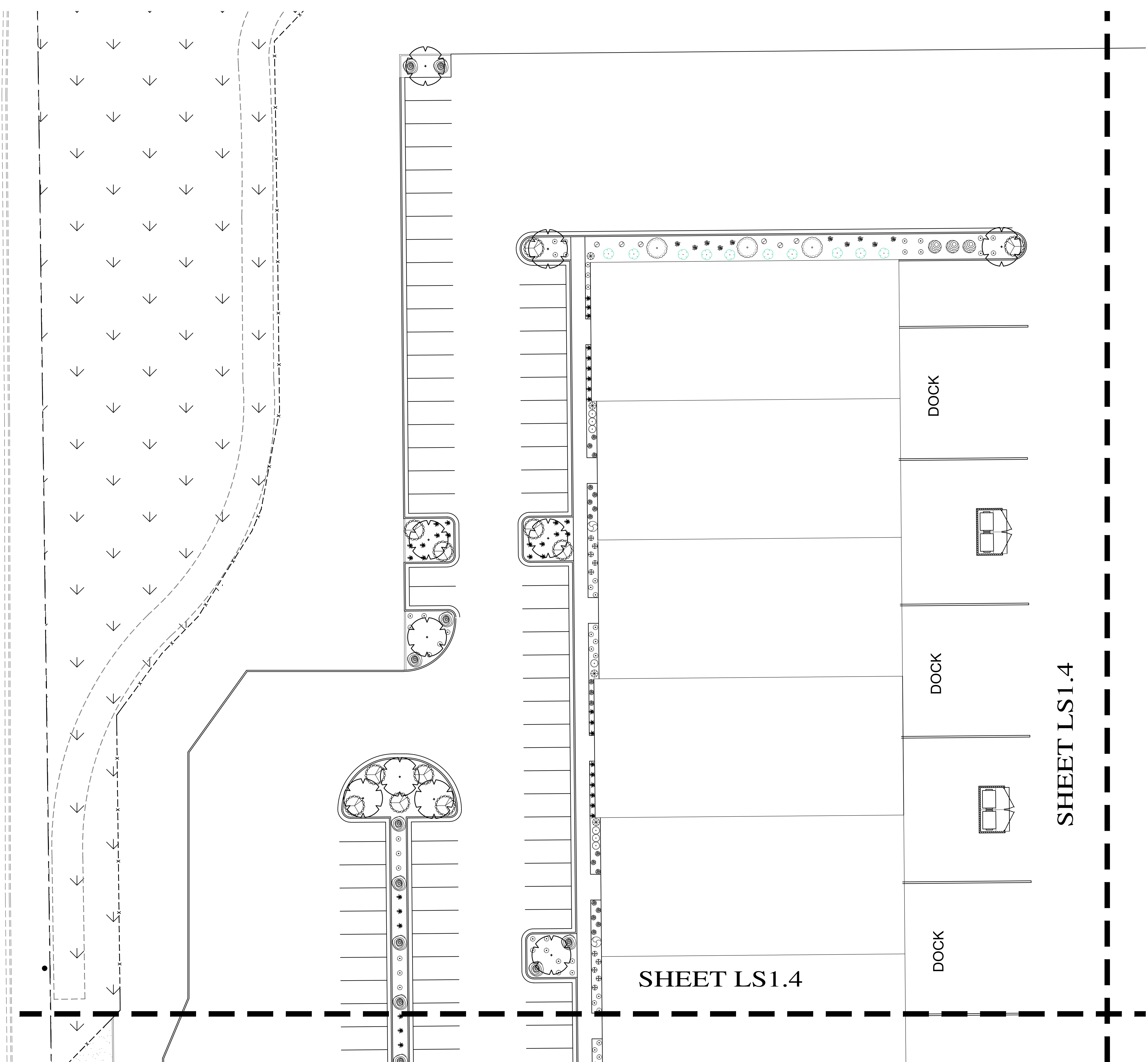
**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

SHEET TITLE:

**PLANTING PLAN**

DRAWN BY: **LCS**  
CHECKED: **DGW**  
DATE: **12-28-2020**  
REVISIONS:  
JOB NO. **20-150**

SHEET: **LS1.3**



| DECIDUOUS TREE LEGEND |                                 |     |        |
|-----------------------|---------------------------------|-----|--------|
| SYMBOL                | BOTANICAL NAME/COMMON NAME      | QTY | SIZE   |
|                       | QUERCUS MACROCARPA 'MURRAYANUS' | 13  | 2" CAL |
|                       | PRUNUS PENNSYLVANICA 'NEWPORT'  | 7   | 2" CAL |

| EVERGREEN SHRUB LEGEND |                                |     |        |
|------------------------|--------------------------------|-----|--------|
| SYMBOL                 | BOTANICAL NAME/COMMON NAME     | QTY | SIZE   |
|                        | PRUNUS MUGO 'SLOW GROWING'     | 12  | 5 GAL  |
|                        | PRUNUS PENNSYLVANICA 'NEWPORT' | 7   | 2" CAL |

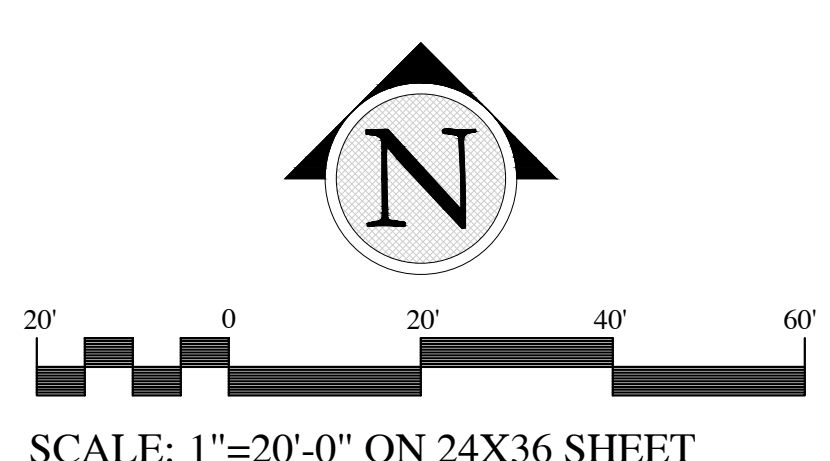
| PERENNIAL LEGEND |                                  |     |       |
|------------------|----------------------------------|-----|-------|
| SYMBOL           | BOTANICAL NAME/COMMON NAME       | QTY | SIZE  |
|                  | DIGITALIS PURPUREA 'CAMELOT MIX' | 43  | 1 GAL |
|                  | HEMEROCALLIS X CHICAGO APACHE    | 136 | 1 GAL |

| GRASSES LEGEND |                                        |     |       |
|----------------|----------------------------------------|-----|-------|
| SYMBOL         | BOTANICAL NAME/COMMON NAME             | QTY | SIZE  |
|                | CALAMAGROSTIS X ACTINOTROCHA 'VALANCE' | 174 | 1 GAL |
|                | CALAMAGROSTIS X ACTINOTROCHA 'VALANCE' | 20  | 1 GAL |

| DECIDUOUS SHRUB LEGEND |                              |     |       |
|------------------------|------------------------------|-----|-------|
| SYMBOL                 | BOTANICAL NAME/COMMON NAME   | QTY | SIZE  |
|                        | BERBERIS THUNBERGII 'MARIAN' | 21  | 5 GAL |
|                        | BERBERIS THUNBERGII 'MARIAN' | 19  | 5 GAL |

| LANDSCAPE NOTES                                                                                                                                                |  |  |  |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|
| 1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR REMOVAL AND INSTALLATION. IF DISCREPANCIES EXIST, THE PLAN SHALL PREVAIL. |  |  |  |
| 2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.                                      |  |  |  |

| SOD LAYING NOTES                                                                                                                                                                |  |  |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|--|
| 1. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.                                                                                                                                  |  |  |  |
| 2. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. BUT SECTIONS ONLY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT BRIGGS AND/OR OTHER SECTIONS WITH A SHARP KNIFE. |  |  |  |



LANDSCAPE ARCHITECTURE LAND PLANNING  
17 North 470 West American Fork, Utah 84003  
801-756-5443 www.in-sitedesigngroup.com

CONSULTANTS:

STAMP

PROJECT:

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

SHEET TITLE:

**PLANTING PLAN**

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS:  
JOB NO. 20-150  
SHEET: LS1.4

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006

The site plan for Pioneer Lane shows a large building complex with multiple parking lots. Key features include:

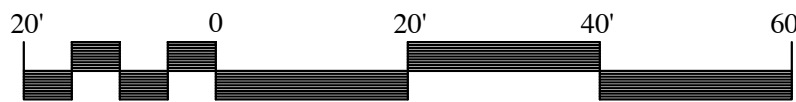
- Building Footprints:** Several large rectangular buildings are shown, with one labeled "DOCK".
- Parking Lots:** Multiple parking areas are depicted, some with individual parking spaces marked.
- Irrigation System:** A network of lines represents the irrigation system, with a specific point labeled "IRRIGATION CONTROLLER: LOCATION BY OWNER".
- Labels and Markers:**
  - "SHEET LS1.1" is prominently displayed in the center.
  - "DOCK" is labeled on the building footprint.
  - "P.O.C." (Point of Connection) is marked near the intersection.
  - A "STOP" sign is indicated at the intersection.
- Orientation and Scale:** The plan includes a north arrow and a scale bar.

SHEET LS1.1



### IRRIGATION NOTES

- [illegible]



SCALE: 1"=20'-0" ON 24X36 SHEET

STAMP



PROJECT:

SHEET TITLE:

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

SHEET:  
LS2.1

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF N-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF N-SITE DESIGN GROUP. COPYRIGHT © 2006

**In Site**  
**DESIGN GROUP**  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801.756.3943 [www.in-sitedesigngroup.com](http://www.in-sitedesigngroup.com)  
[architects@in-sitedesigngroup.com](mailto:architects@in-sitedesigngroup.com)

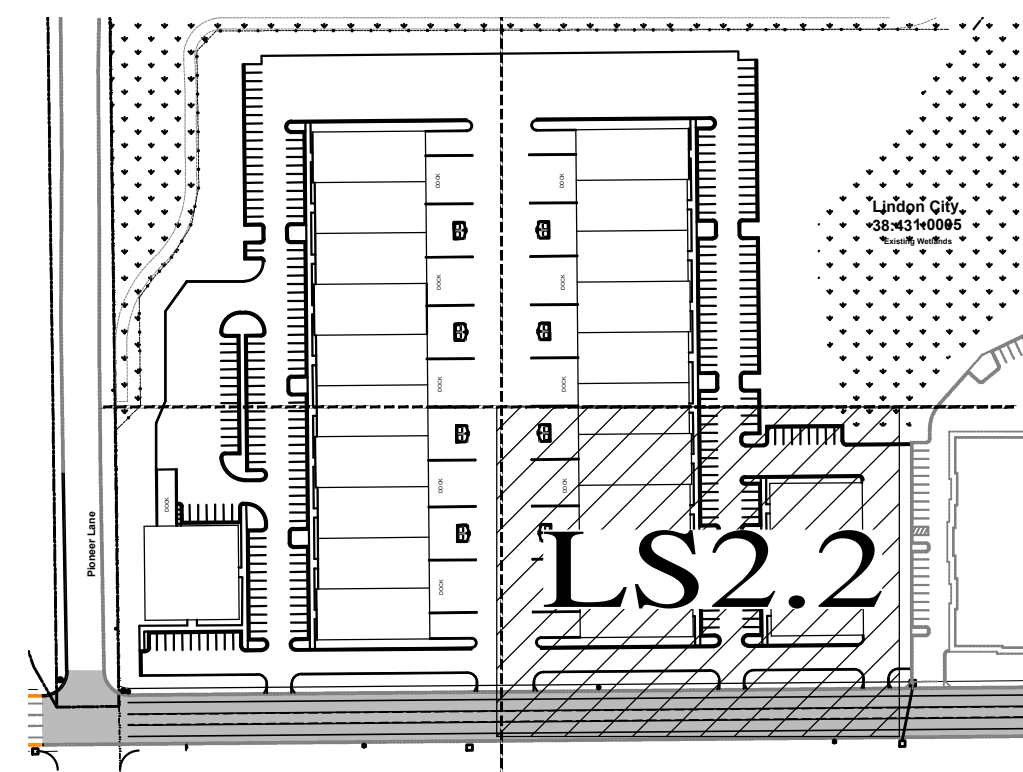
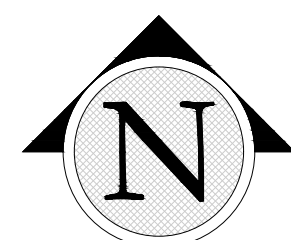
architects@in-sitedesigngroup.com

Architectural site plan for a waterfront development, labeled "SHEET LS2.2". The plan shows a large rectangular building complex with multiple sections labeled "DOCK" and "DOC". A prominent dashed line runs horizontally across the middle of the plan. To the left of this line, there are three small building footprints. To the right, there are two larger building footprints, one of which is labeled "DOCK". A road or canal runs along the bottom edge of the plan, with a dashed line indicating a boundary. The plan includes various symbols for buildings, roads, and water features. A scale bar at the bottom indicates distances in feet (0 to 100).

DOC

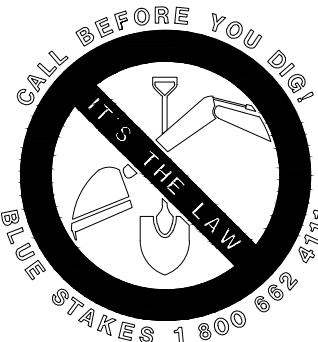
A schematic diagram of a closed door. The door is shown as a vertical rectangle with a handle and a lock mechanism on its right side. The handle is a horizontal bar with a circular knob. The lock mechanism is a rectangular assembly with a keyhole. The door is set within a frame, and the handle and lock are mounted on the inner edge of the door.

DOCK

[illegible][illegible]

20' 0 20' 40' 60'

SCALE: 1"=20'-0" ON 24X36 SHEET



CONSULTANTS:

STAMP

PROJECT:

SHEET TITLE:

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

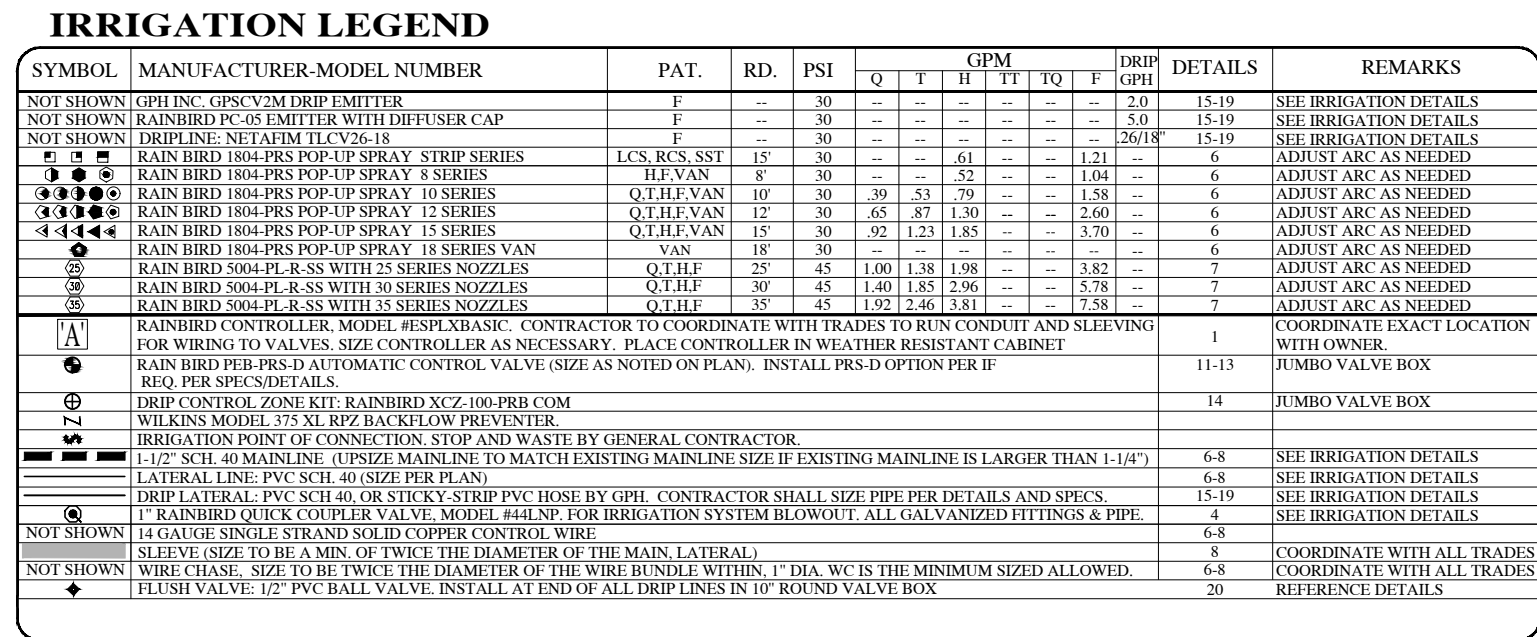
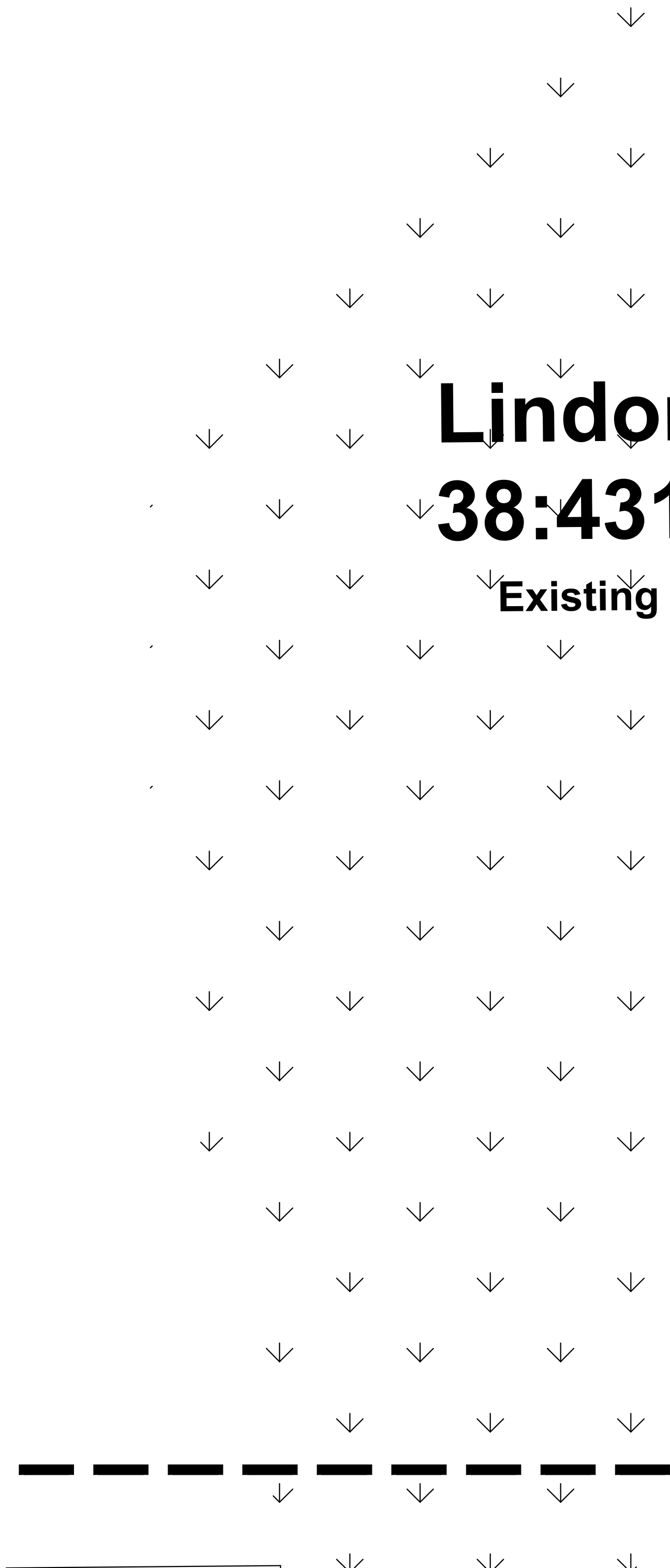
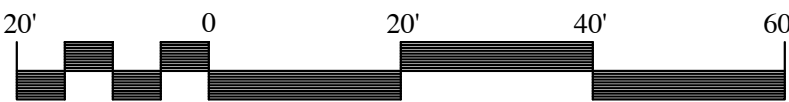
SHEET:  
LS2.2

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

**In Site**  
**DESIGN GROUP**  
Landscape Architecture Land Planning  
87 North 470 West American Fork, Utah 84003

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006

[illegible]

SCALE: 1"=20'-0" ON 24X36 SHEET



**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:

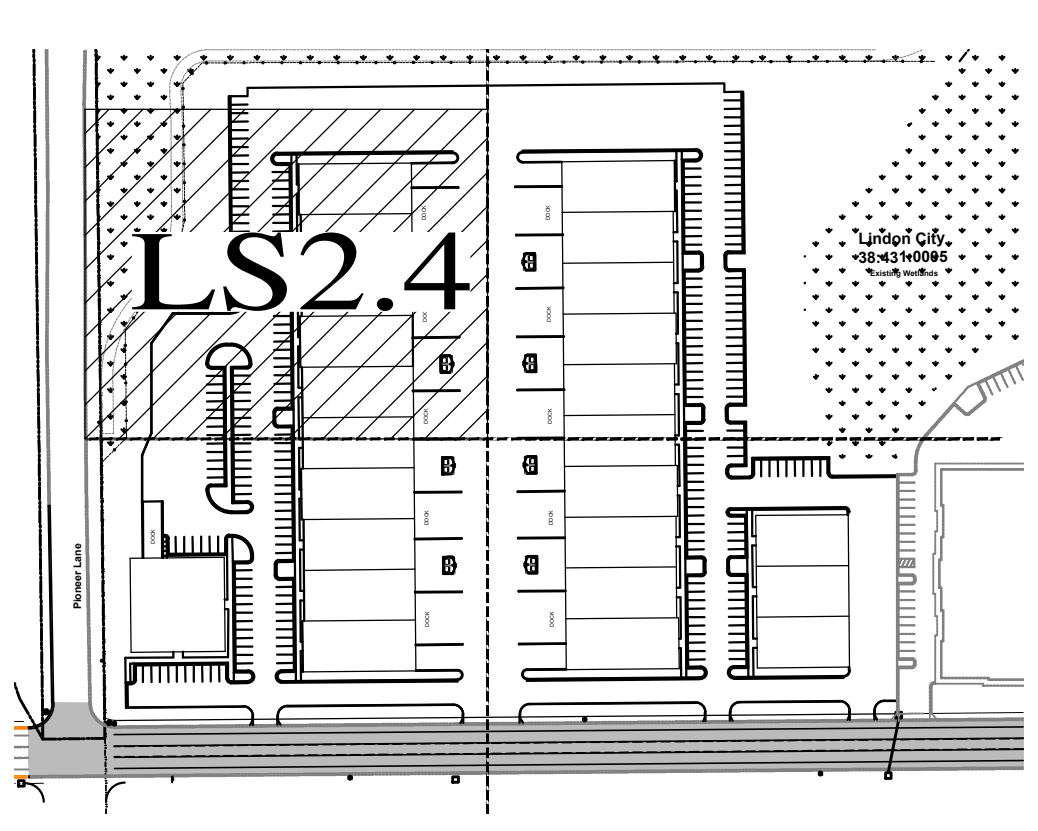
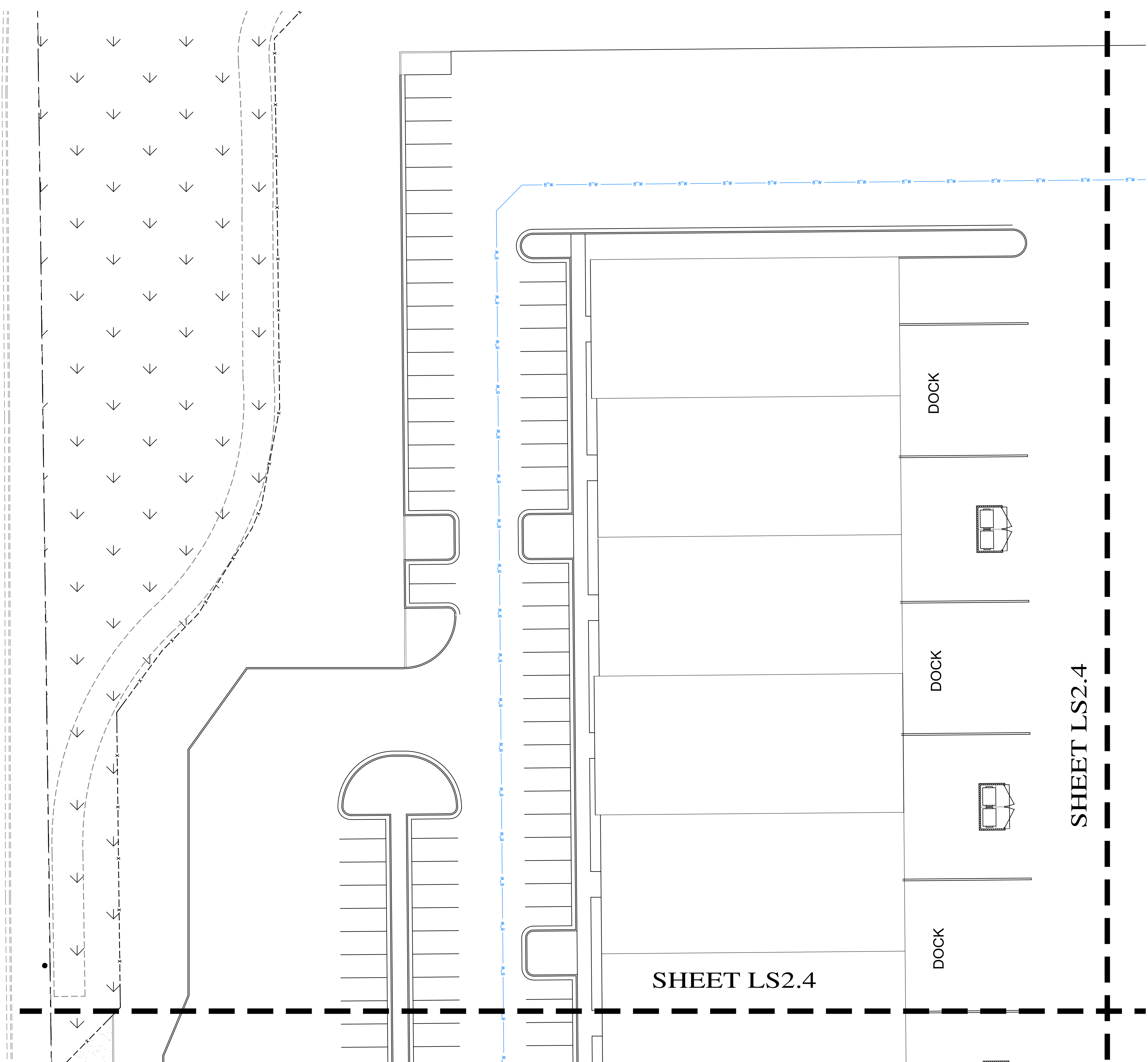
SHEET TITLE:

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

SHEET:

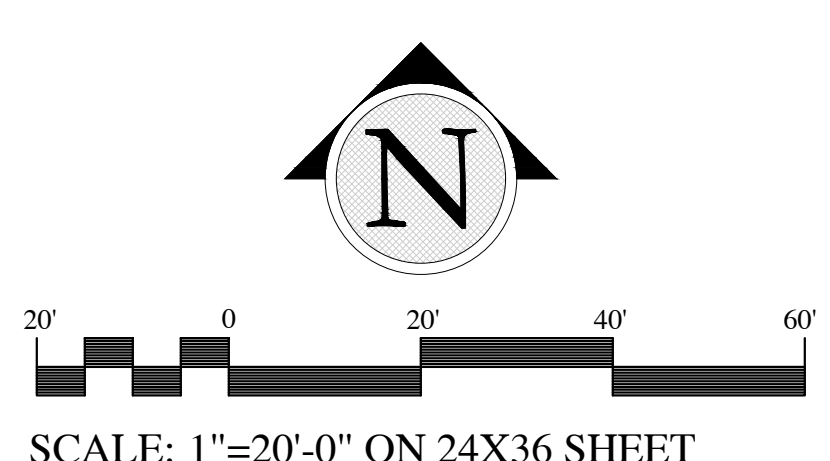
LS2.3

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



| IRRIGATION LEGEND |                                        |      |     |     |    |    |    |    |    |    |     | DETAILS | REMARKS                |
|-------------------|----------------------------------------|------|-----|-----|----|----|----|----|----|----|-----|---------|------------------------|
| SYMBOL            | MANUFACTURER-MODEL NUMBER              | PAT. | RD. | PSI | Q  | T  | H  | FT | TO | F  | GPM |         |                        |
| NOT SHOWN         | GRASS - GPM/CM DRAIN                   |      |     |     |    |    |    |    |    |    | 30  | 15-19   | SEE IRRIGATION DETAILS |
| NOT SHOWN         | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| NOT SHOWN         | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 1                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 2                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 3                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 4                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 5                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 6                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 7                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 8                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 9                 | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 10                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 11                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 12                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 13                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 14                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 15                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 16                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 17                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 18                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 19                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |
| 20                | RAINBIRD P-60 EMITTER WITH DEFUSER CAP | F    | --  | --  | -- | -- | -- | -- | -- | -- | 50  | 15-19   | SEE IRRIGATION DETAILS |

- ### IRRIGATION NOTES
- ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
  - CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE BEGINNING ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
  - PROVIDE AN AS-BUILT, REPROducible DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPINER SYSTEMS TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
  - CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
  - CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR I-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDE HEAD-TO-HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
  - LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 90 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY. ALL SLEEVES INSTALLED SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
  - MAIN LINE SHALL BE 1/2" UNLESS OTHERWISE DIRECTED. LATERAL LINES SHALL BE NO SMALLER THAN 3/4" UNLESS NOTED ON PLAN. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1/2" MAX. 40 GPM; 3/4" MAX. 40 GPM; 1" PIPE MAX. 120 GPM; 1 1/4" PIPE MAX. 240 GPM; 1 1/2" PIPE MAX. 360 GPM; 2" PIPE MAX. 50 GPM; 2 1/2" PIPE MAX. 60 GPM. ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOLLERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
  - MAIN LINES SHALL BE 1' DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
  - PLACE PIPES, VALVE BOXES AND ALL OTHER SPINER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
  - AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HOURS NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
  - ALL SPINERLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
  - ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
  - LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
  - INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 4" MIN. AWAY FROM WALKS AND WALLS.
  - DRIP LINES SHALL BE FLEXIBLE OR PVC TUBING BY GPH. FOR DRIP AREAS REQUIRING 0.4 GPM USE 1/2" TUBING. FOR DRIP AREAS REQUIRING 0.8 GPM USE 3/4" TUBING. AND FOR DRIP AREAS REQUIRING 1.6 GPM USE 1" TUBING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
  - CONTRACTOR TO INSTALL RAINBIRD P-60 EMITTERS ON EACH DRIP LINE FOR TREES AS PER DETAIL (C). MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS.
  - POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURER'S INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDING PER LOCAL CODE AND PER MANUFACTURER SPEC.
  - IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 80 PSI, INSTALL A BRASS PRESSURE REDUCER IN LINE WITH THE RZR PER MANUFACTURER SPEC. INSTALL THE RZR AND PRESSURE REDUCER IN A LOCKING METAL CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
  - INSTALL THE PPS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.



CONSULTANTS:

PROJECT:

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

SHEET TITLE:

**SCHEMATIC IRRIGATION PLAN**

DRAWN BY:

LCS

CHECKED:

DGW

DATE:

12-28-2020

REVISIONS:

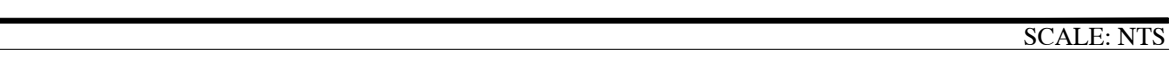
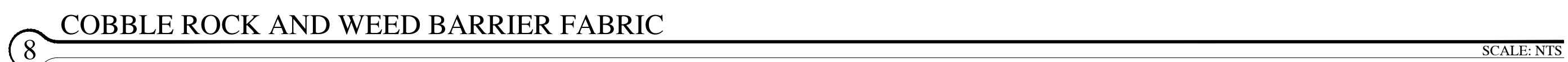
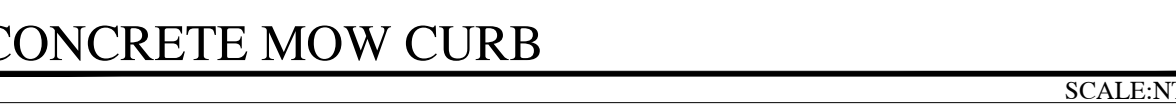
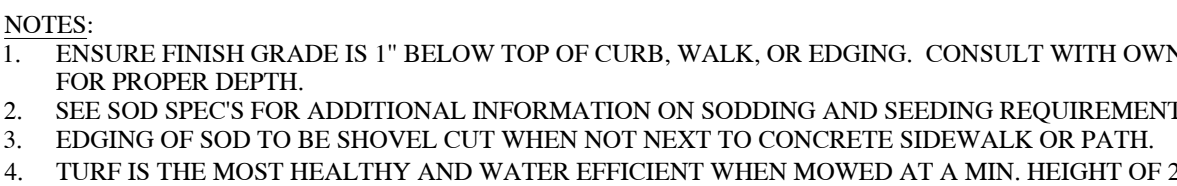
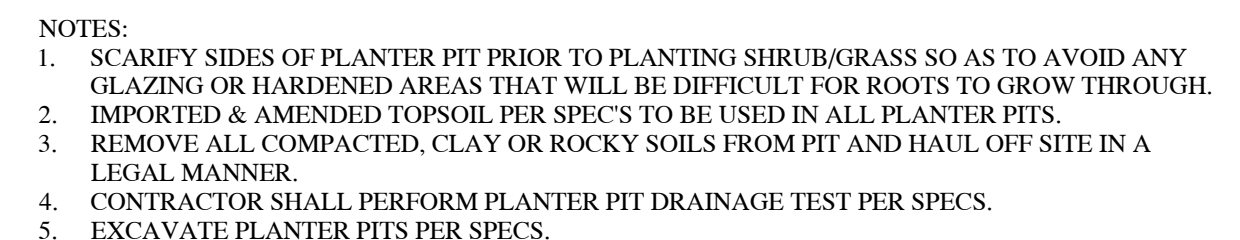
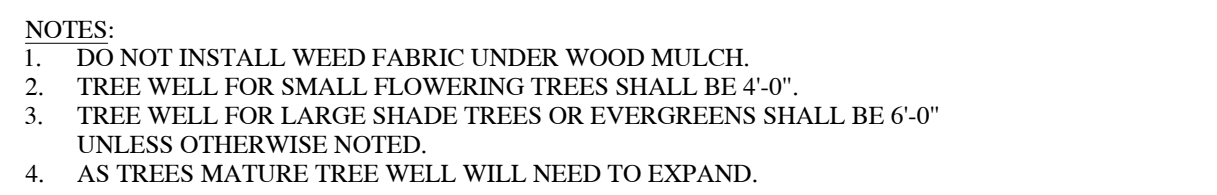
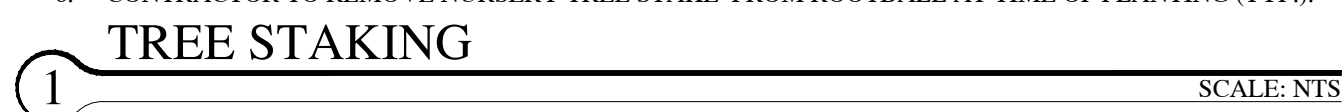
JOB NO.

20-150

SHEET:

LS2.4

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
**PLAN - NOT FOR CONSTRUCTION**  
WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP, CO.

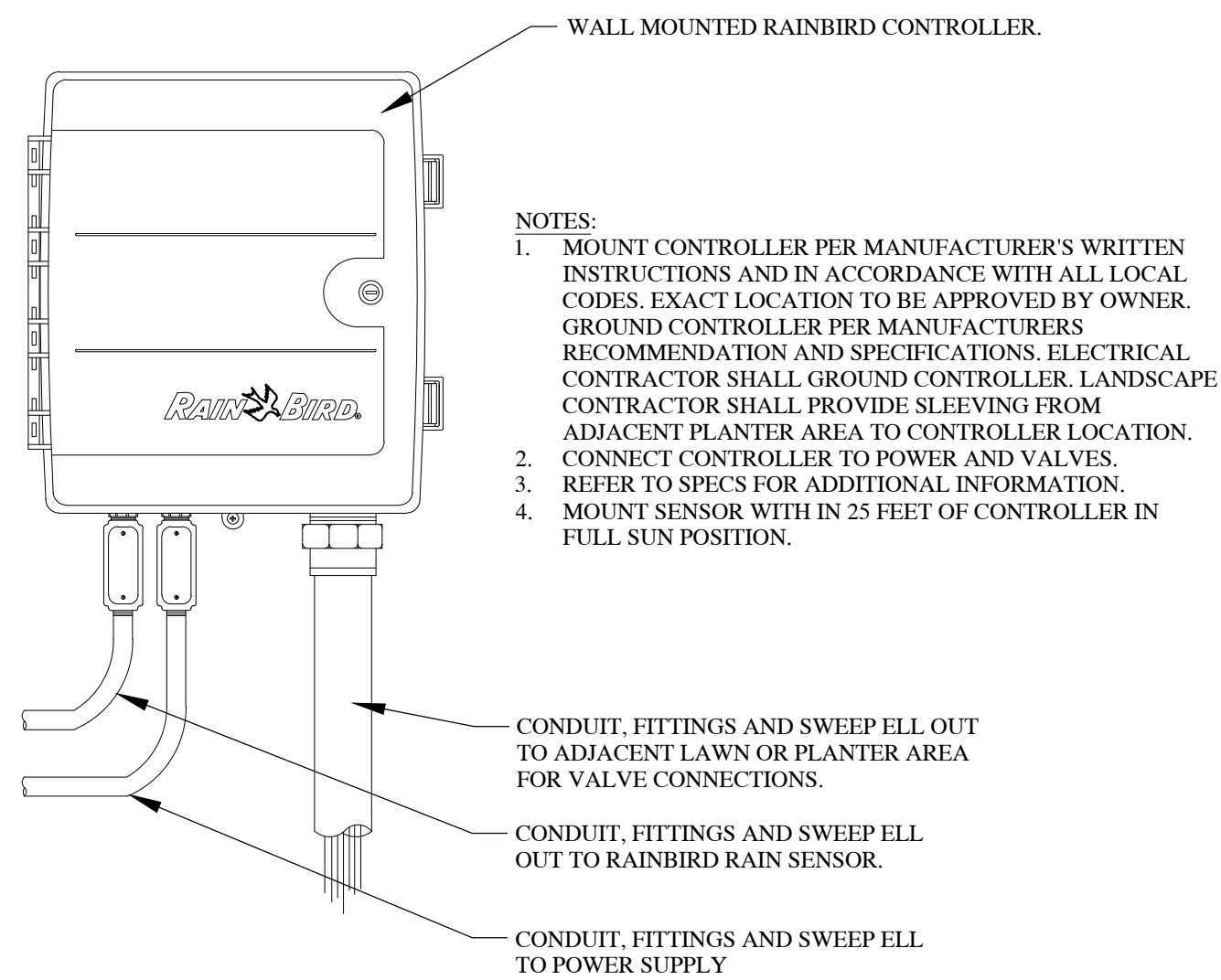
**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**  
**REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITU**

## PLANTING DETAILS

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

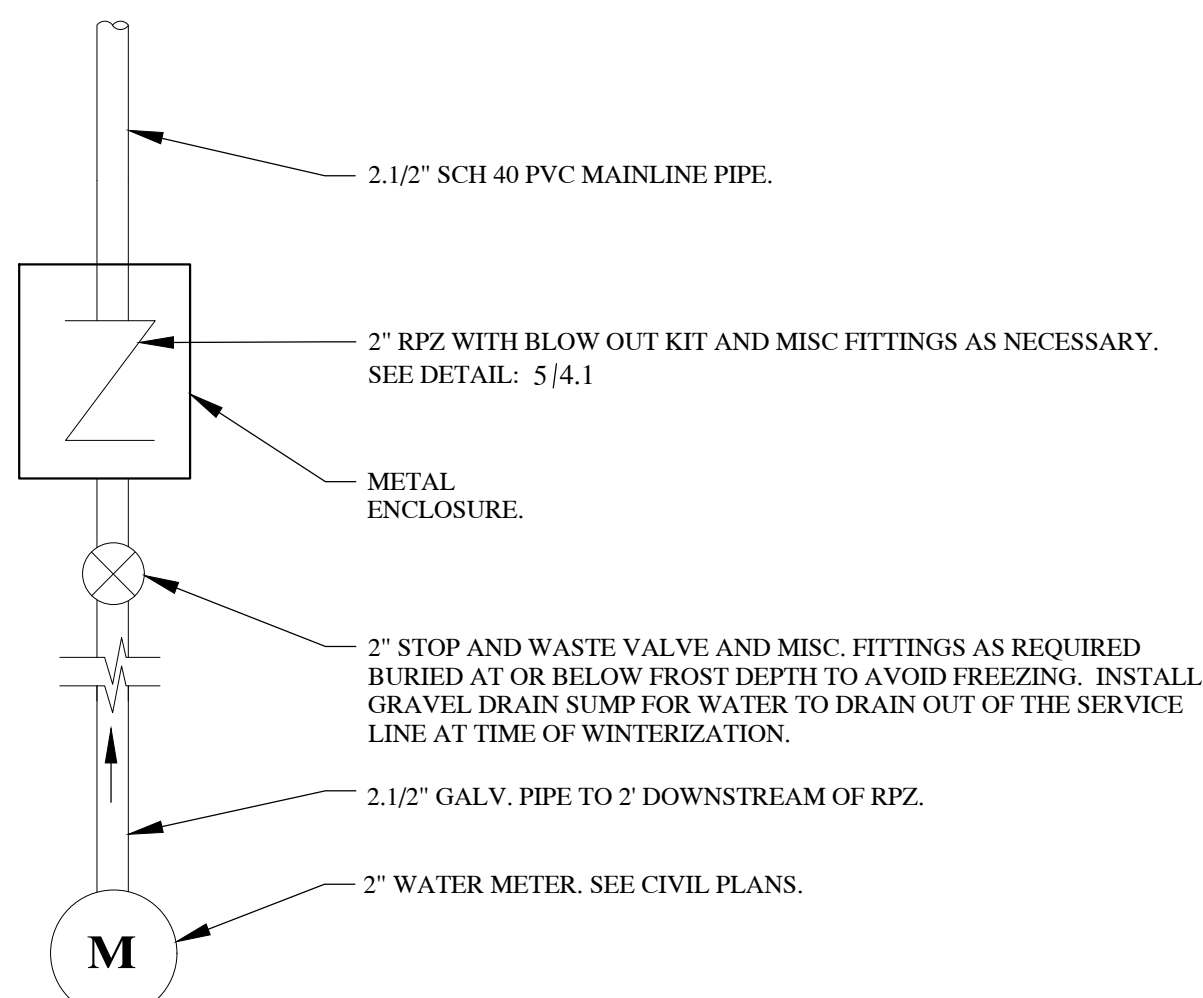
LS3.1

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



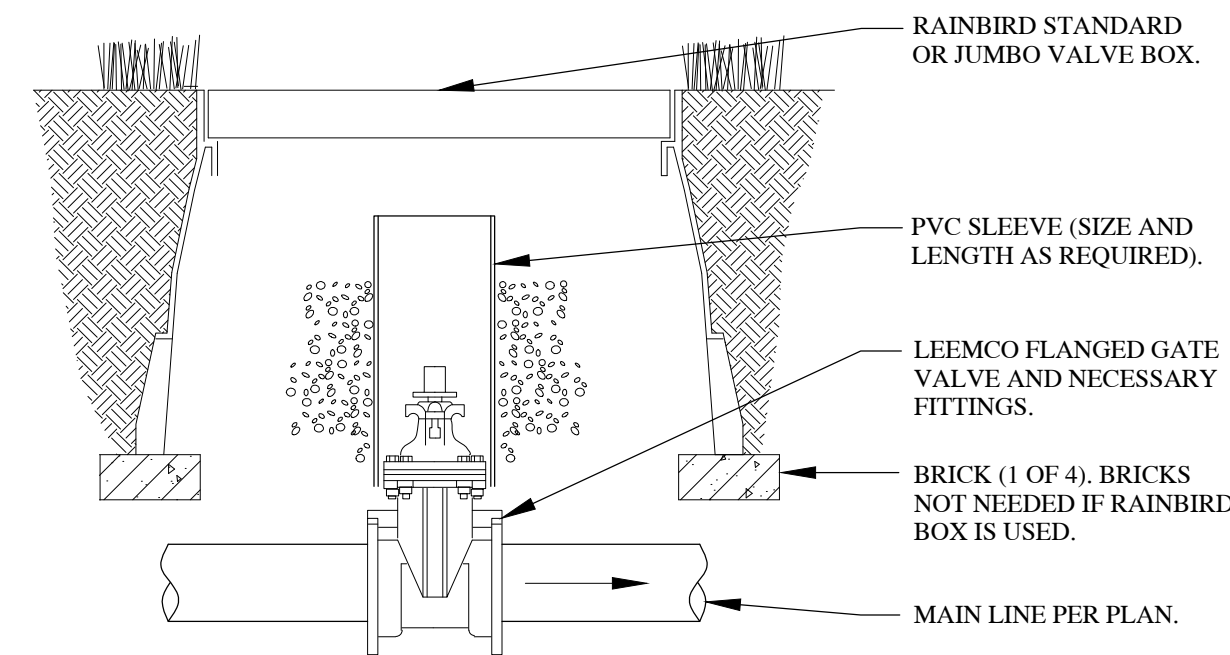
1 CONTROLLER WITH SENSOR

SCALE: NTS



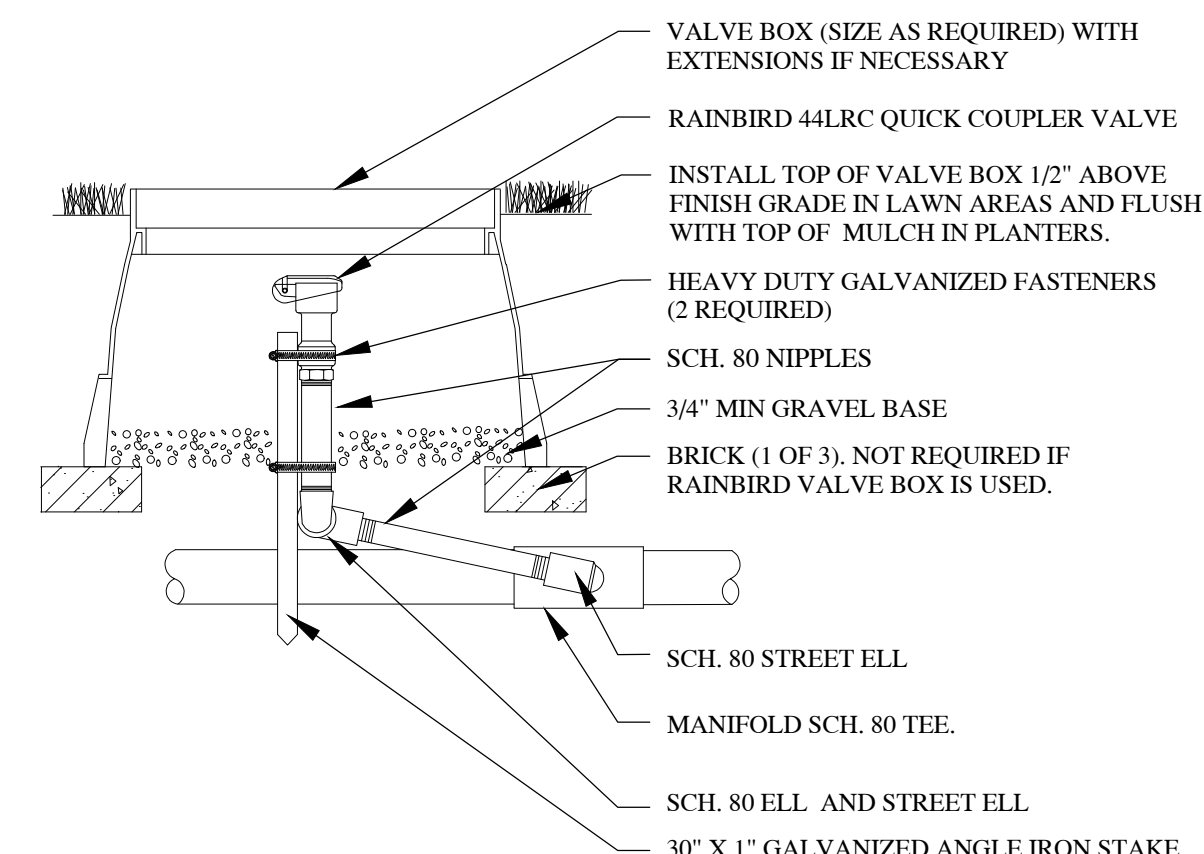
2 2.1/2" POINT OF CONNECTION

SCALE: NTS



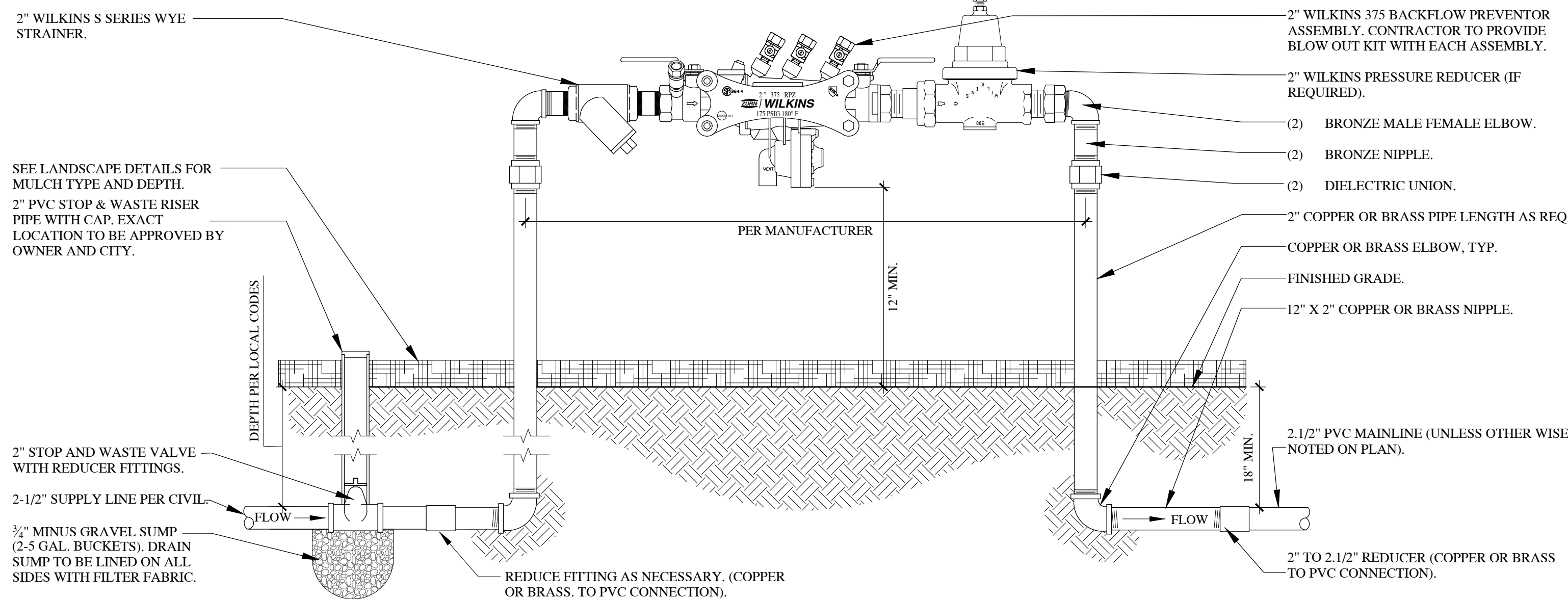
3 MAINLINE GATE VALVE

SCALE: NTS



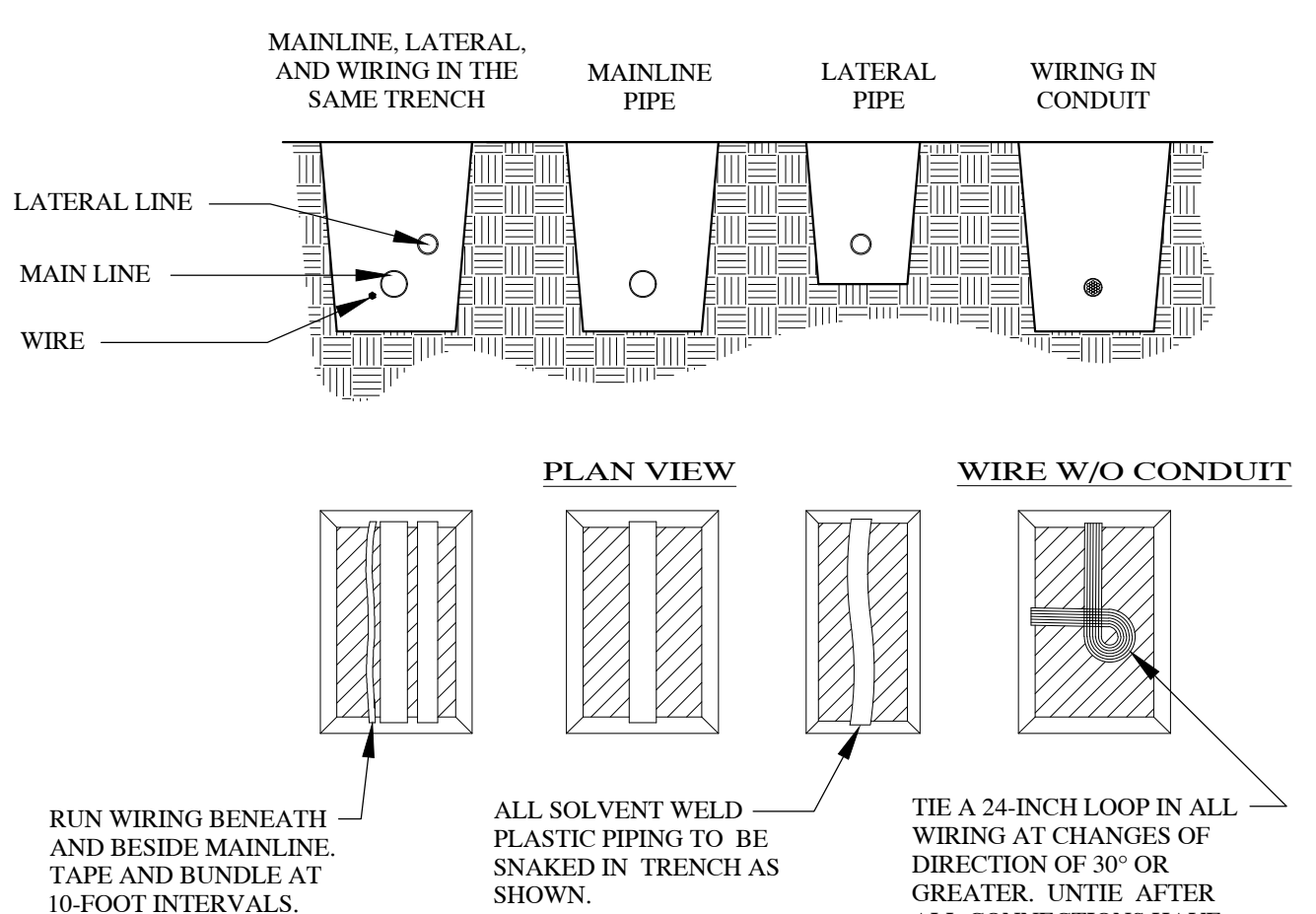
4 QUICK COUPLER VALVE

SCALE: NTS



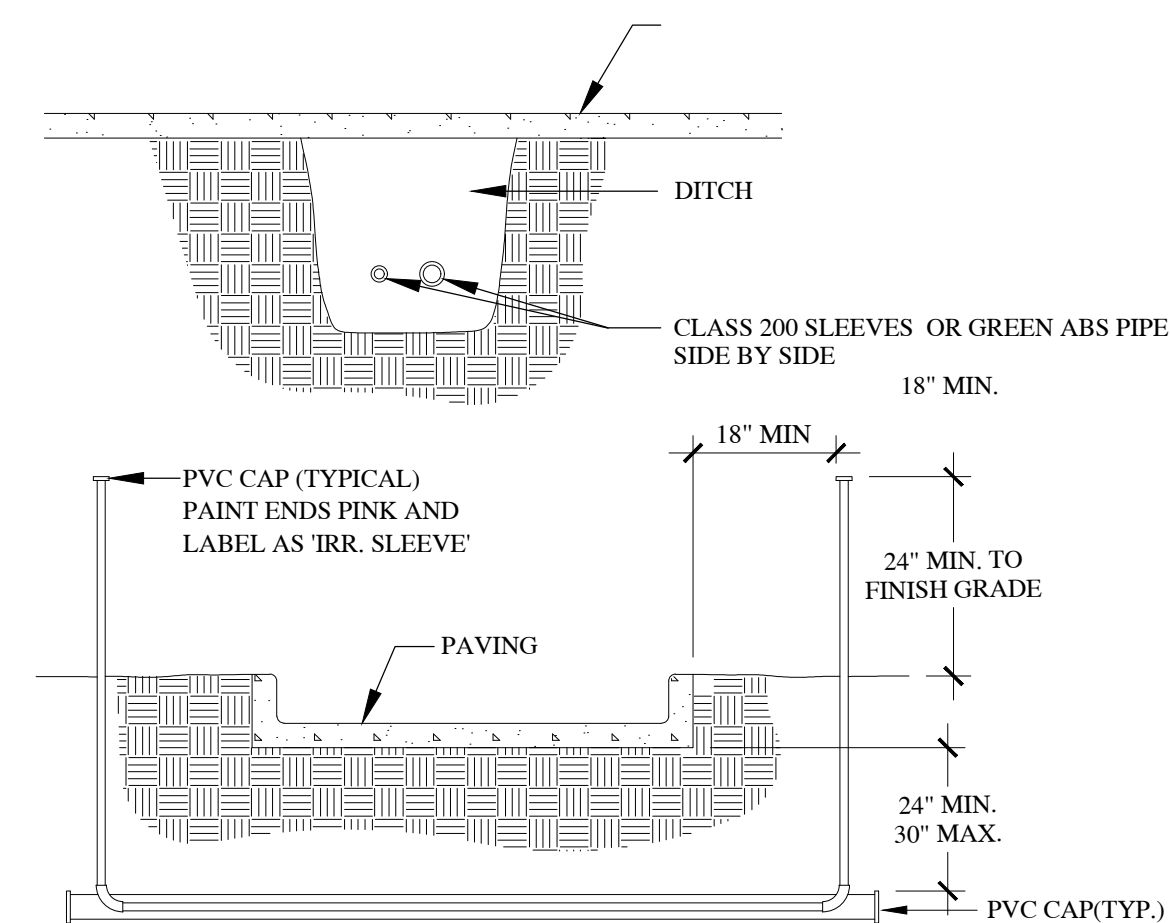
5 2" BACKFLOW PREVENTOR

SECTION VIEW



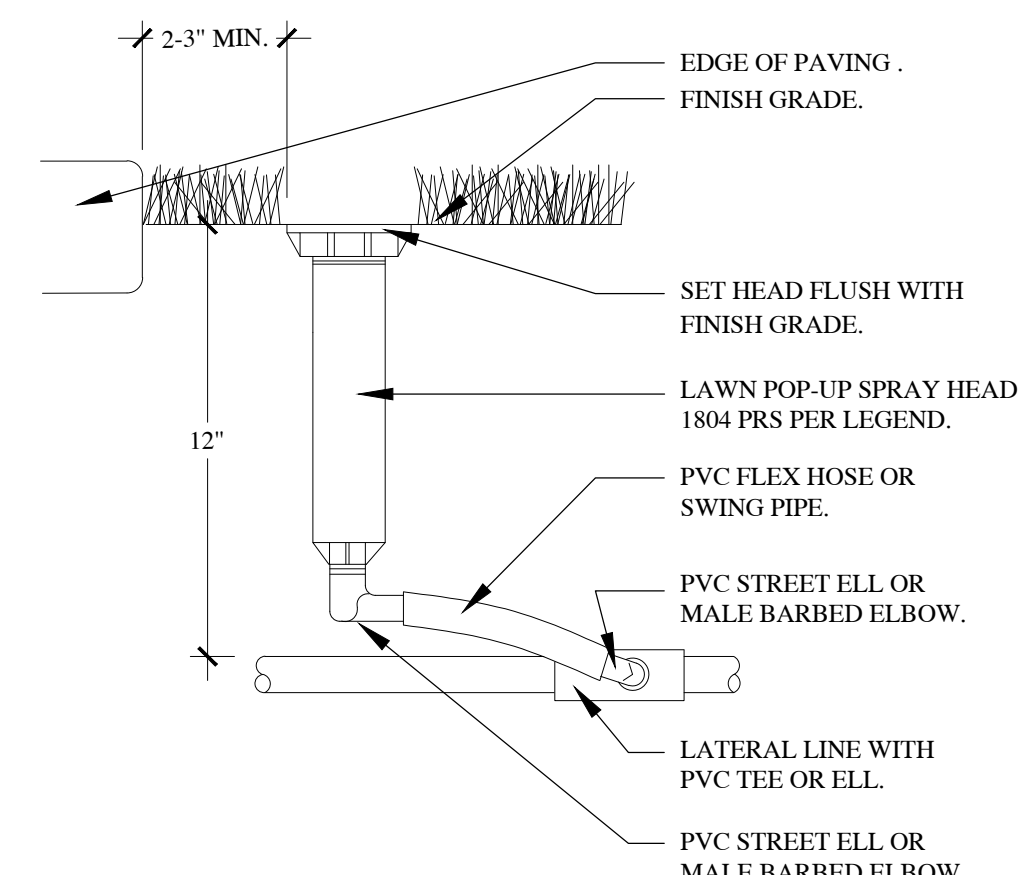
6 PIPE, WIRE, AND TRENCH

SCALE: NTS



7 SLEEVING

SCALE: NTS

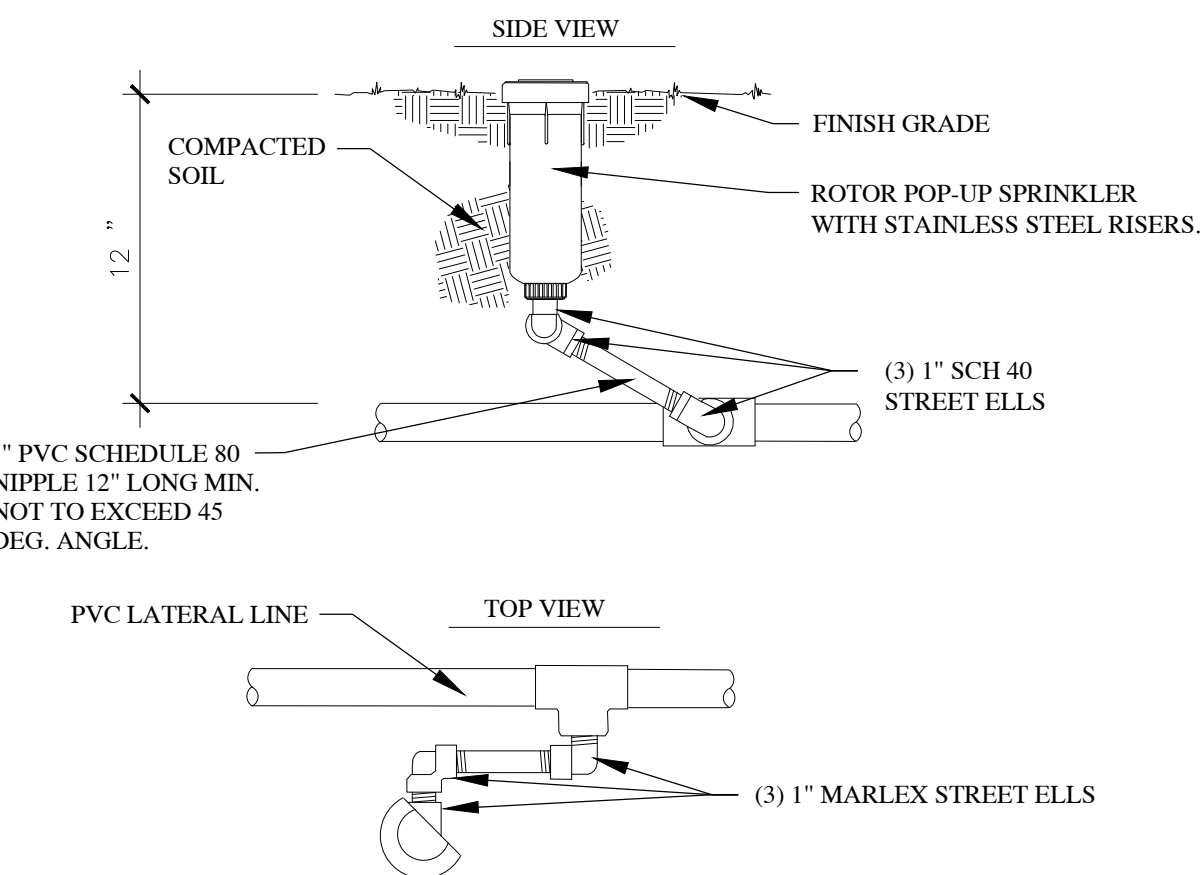


8 POP-UP SPRAY

SCALE: NTS

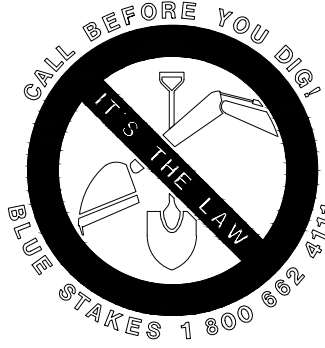
6 TRENCH SECTION

SCALE: NTS



9 ROTOR HEAD

SCALE: NTS



**InSite**  
DESIGN GROUP  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801.756.3443 www.in-sitedesigngroup.com  
architect@in-sitedesigngroup.com

CONSULTANTS:



STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

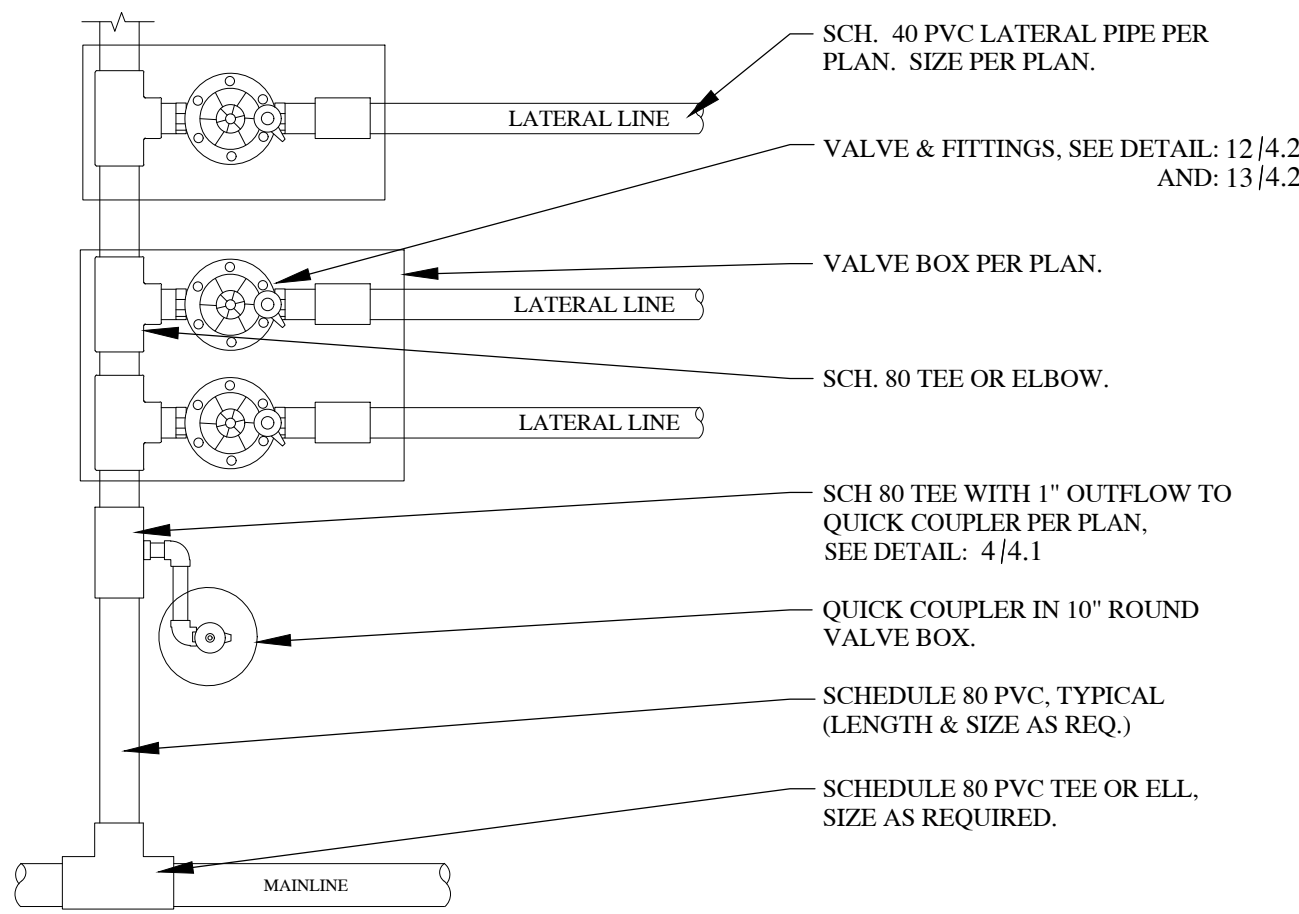
PROJECT:

SHEET TITLE:

**IRRIGATION  
DETAILS**

DRAWN BY: **LCS**  
CHECKED: **DGW**  
DATE: **12-28-2020**  
REVISIONS:  
JOB NO. **20-150**  
SHEET: **LS4.1**

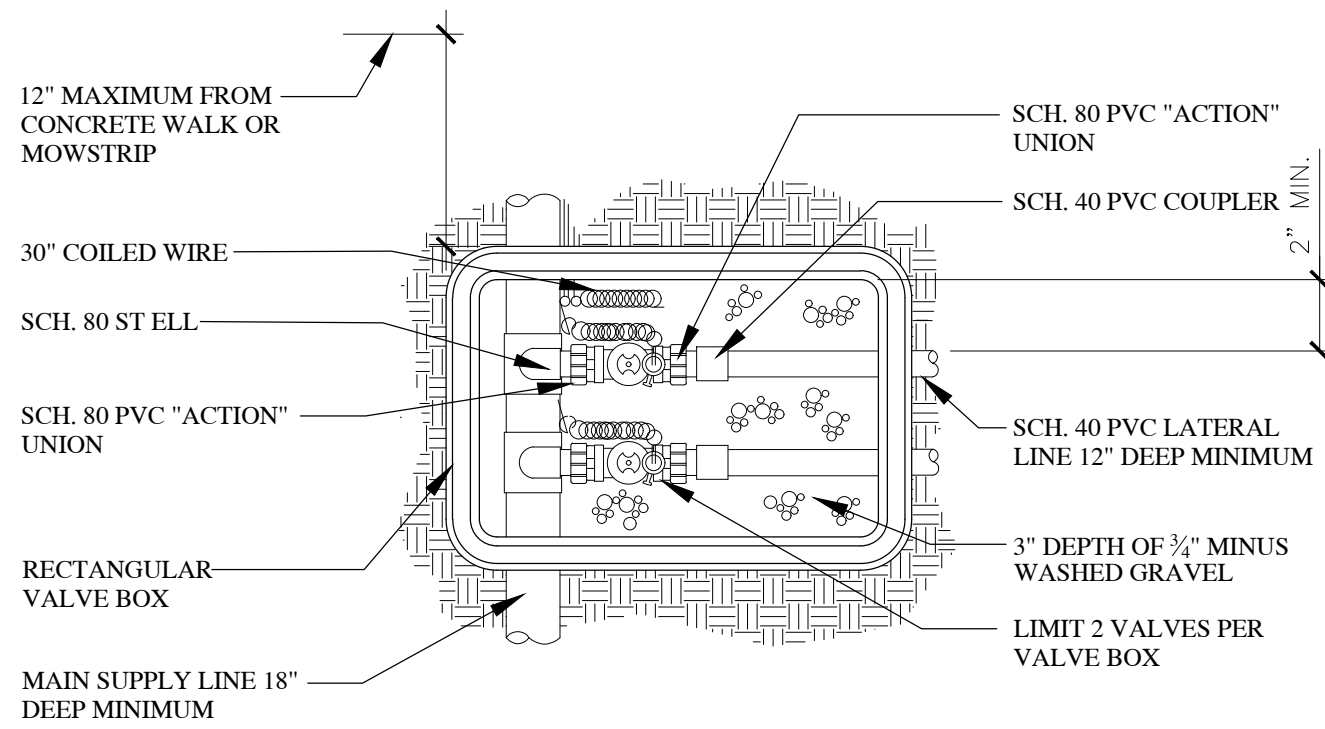
THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



- NOTES:
1. ALL VALVE MANIFOLD PIPING AND FITTINGS TO BE SCH. 80 FITTINGS, UNLESS THERE IS A DRIP ZONE ALL BY ITSELF IN WHICH CASE THE PIPING SHALL BE SIZED PER THE FLOW OF THE DRIP ZONE.
  2. MODIFY MANIFOLD AS NECESSARY DEPENDING ON HOW MANY VALVES ARE IN A CLUSTER.
  3. MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.

#### VALVE MANIFOLD

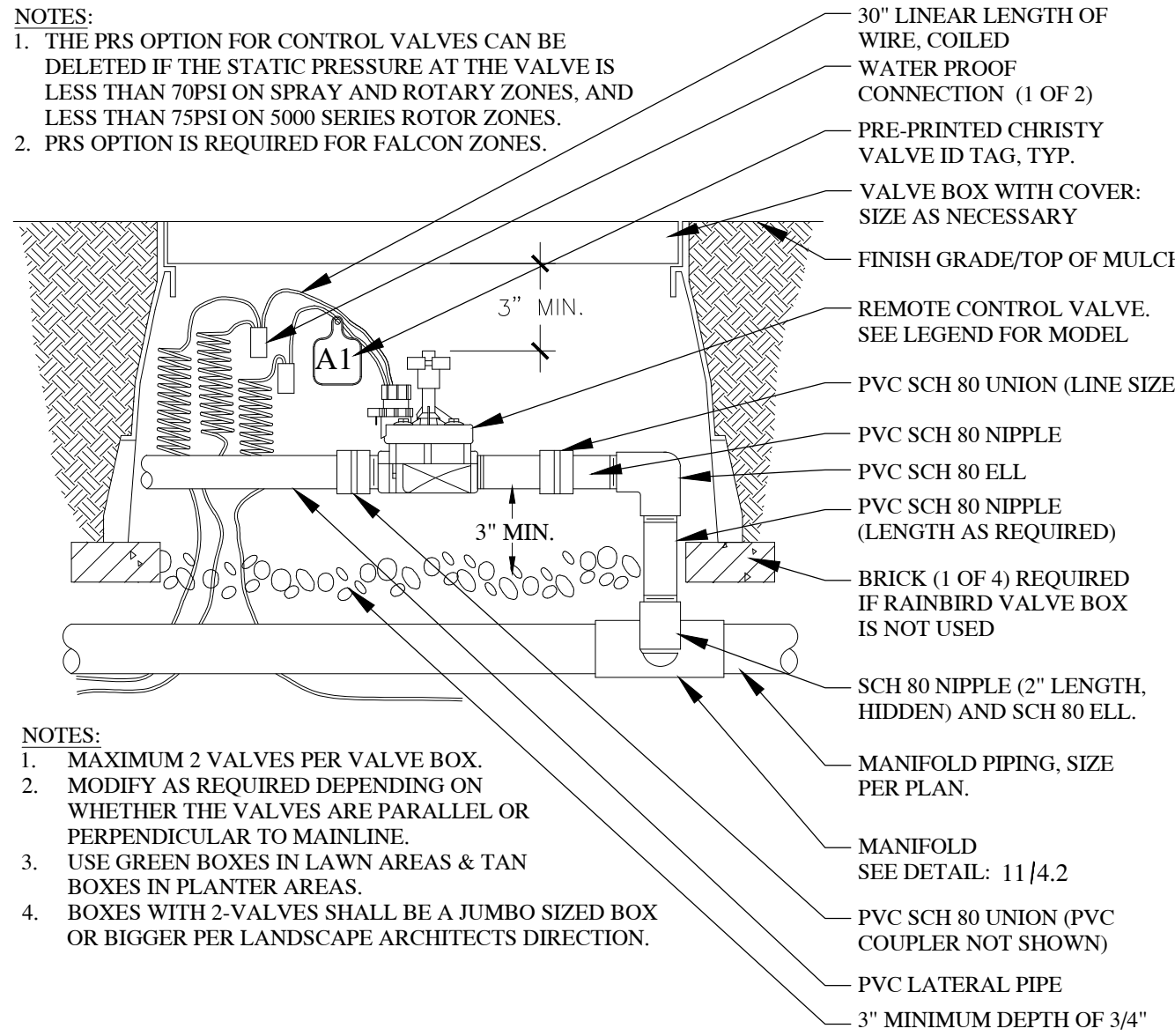
SCALE: NTS



- NOTE:
1. ADD PRE-PRINTED CHRISTY I.D. TAGS TO ALL NEW CONTROL VALVES AND CONTROL ZONE KITS. COORDINATE AND LABEL ALL CONTROL WIRE AT CONTROLLER WITH EACH VALVE IN THE FIELD, TYP.

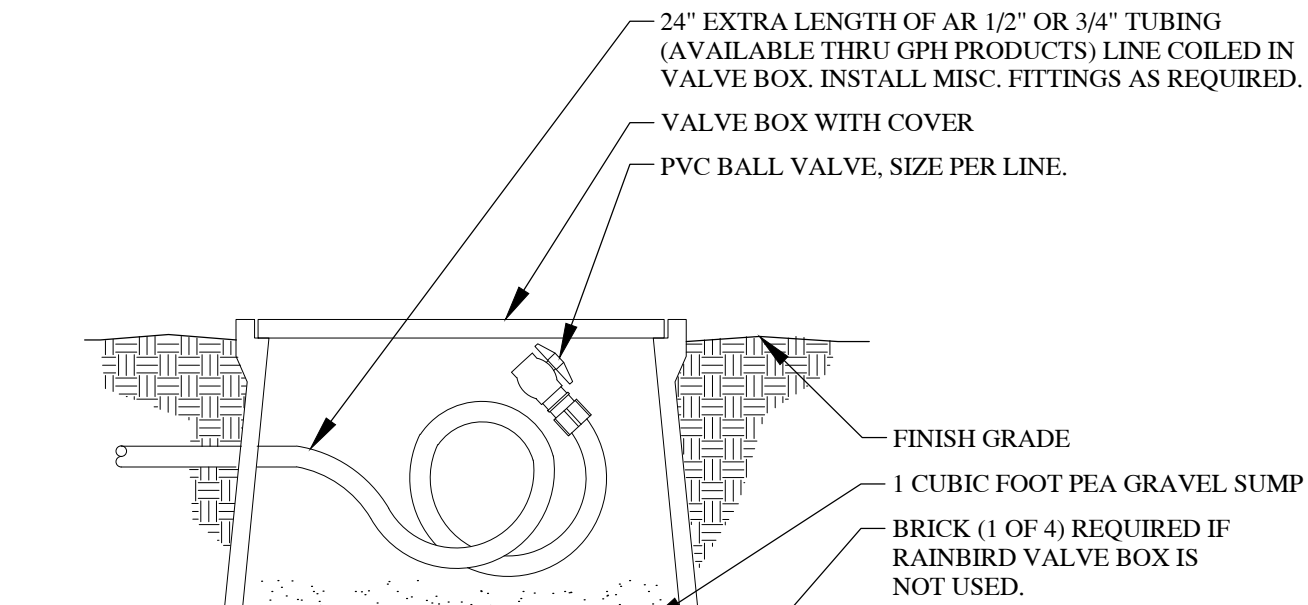
#### VALVE ASSEMBLY

SCALE: NTS



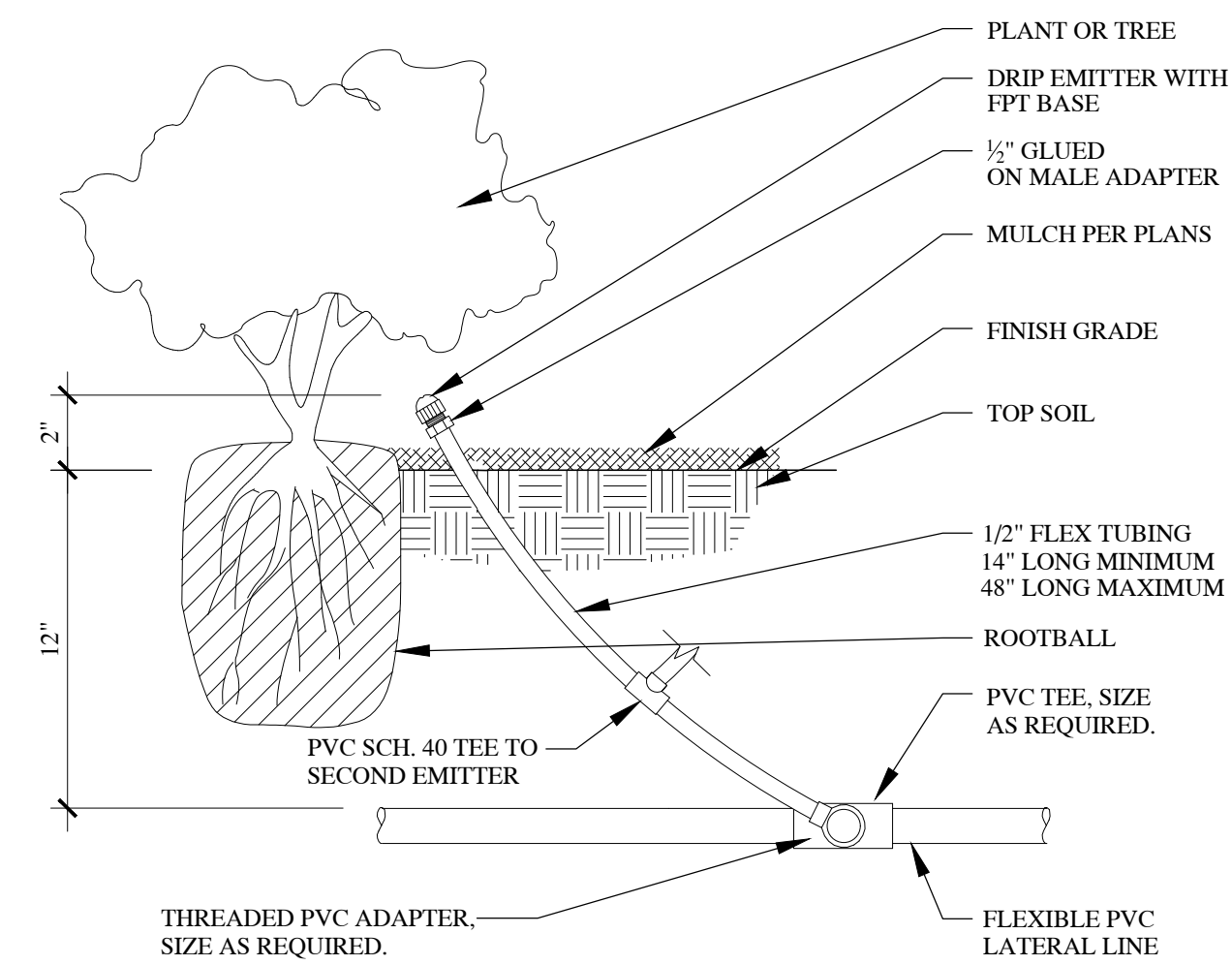
- NOTES:
1. MAXIMUM 2 VALVES PER VALVE BOX.
  2. MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.
  3. USE GREEN BOXES IN LAWN AREAS & TAN BOXES IN PLANTER AREAS.
  4. BOXES WITH 2-VALVES SHALL BE A JUMBO SIZED BOX OR BIGGER PER LANDSCAPE ARCHITECTS DIRECTION.

#### CONTROL VALVE



#### DRIP LINE FLUSH CAP

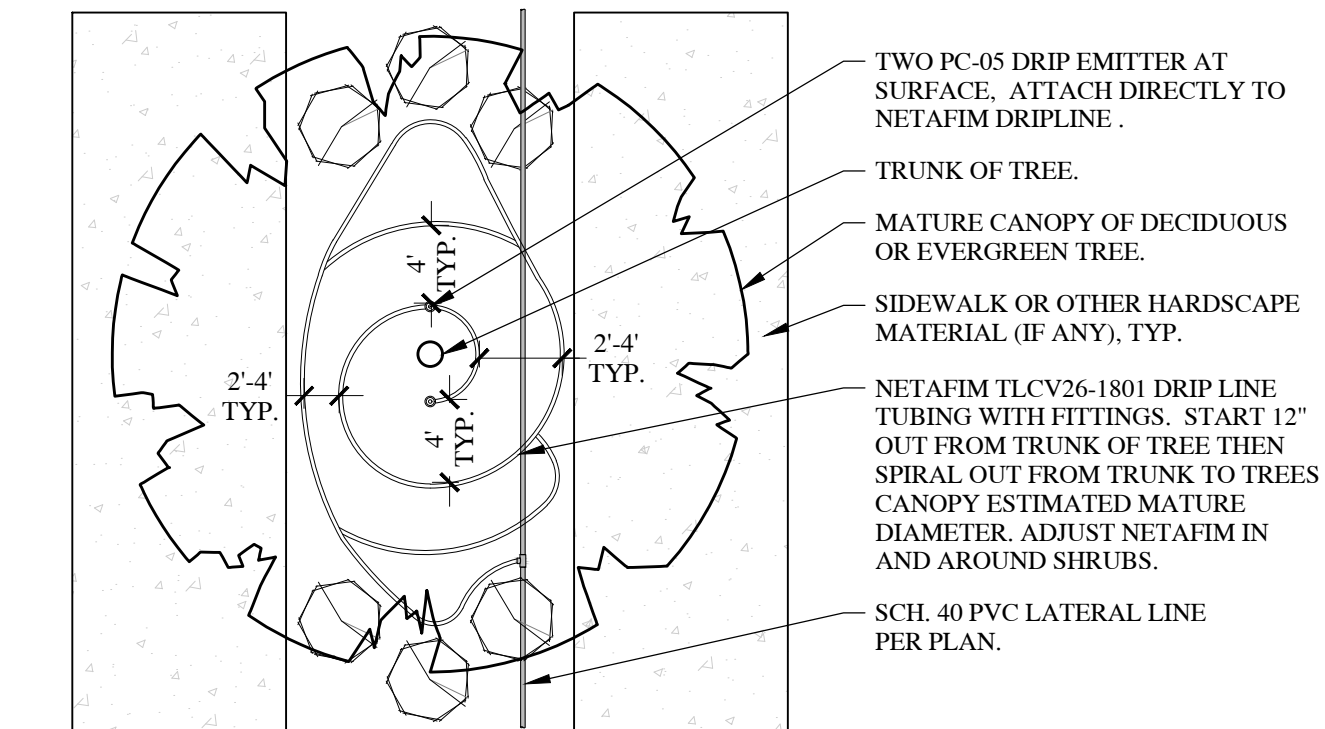
SCALE: NTS



- NOTE:
1. FOR LAYOUT OF MULTIPLE SHRUBS, CONTRACTOR SHALL USE TEES AS NECESSARY. FOR LAYOUT INFORMATION, SEE DETAIL 19/4.2

#### DRIP EMITTER

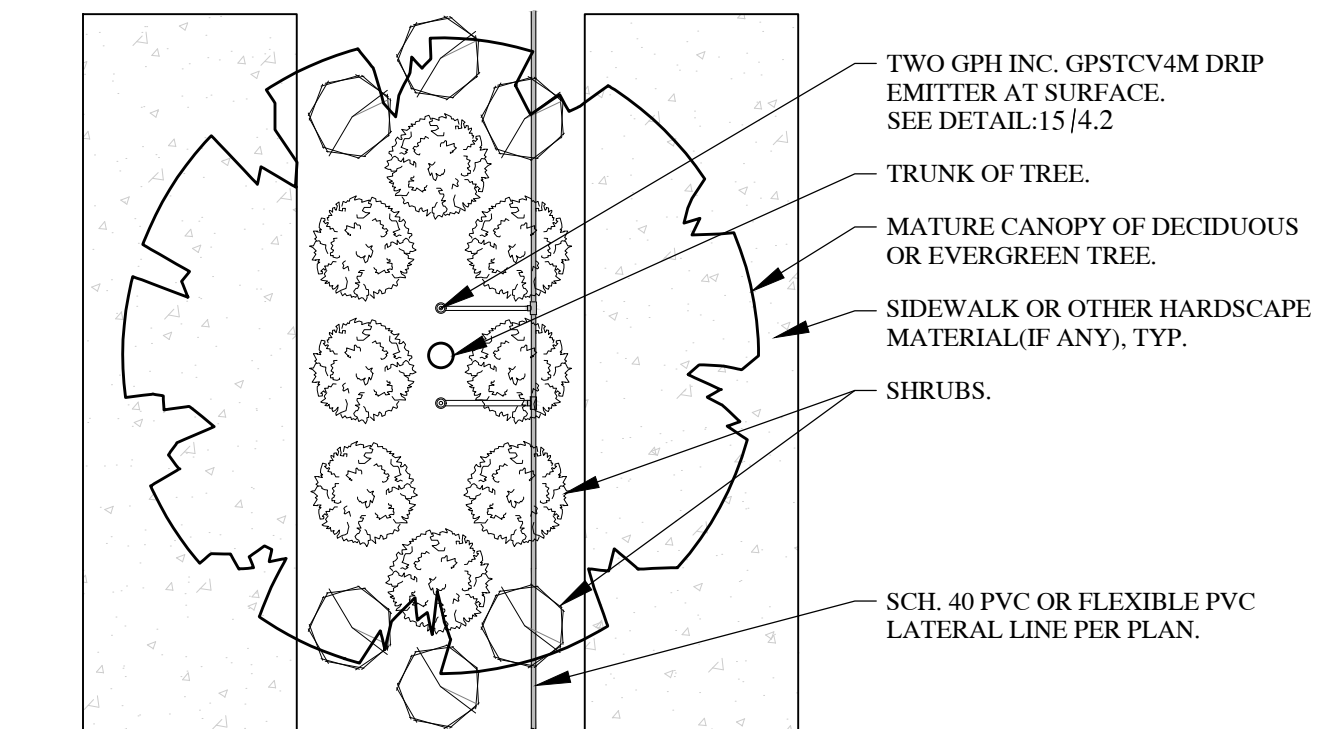
SCALE: NTS



- NOTES:
1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
  2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
  3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
  4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
  5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
  6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

#### TREE DRIP WITH PARTIAL PLANTING UNDER CANOPY

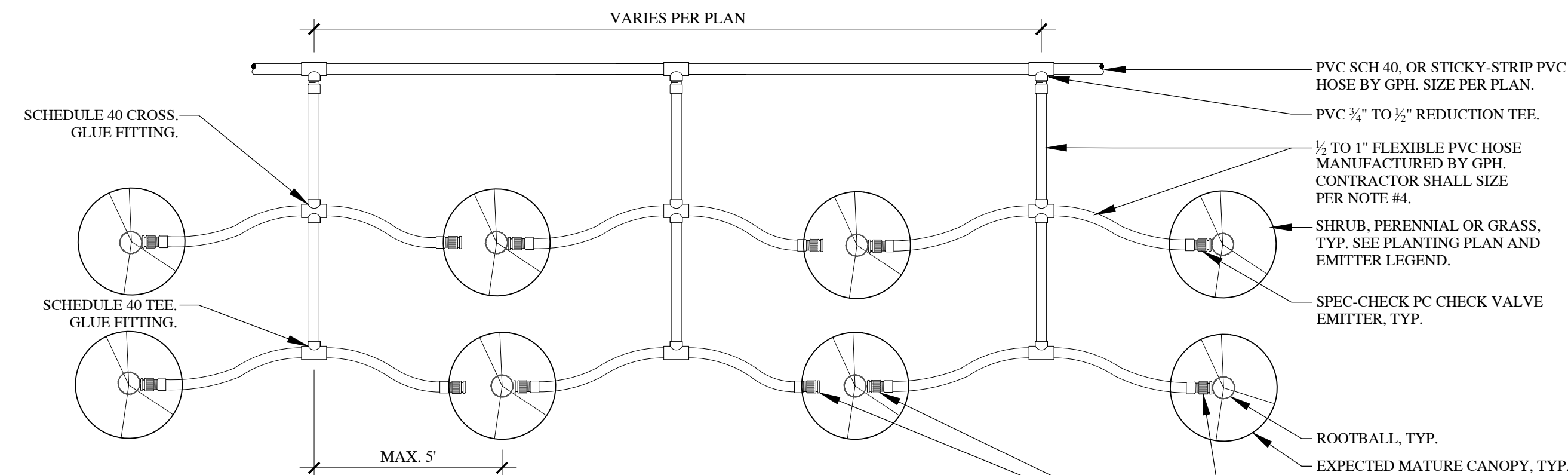
1" = 1'-0"



- NOTES:
1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
  2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
  3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
  4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
  5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
  6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

#### TREE DRIP WITH FULL PLANTING UNDER CANOPY

1" = 1'-0"



- NOTES:
1. EMITTER SPACING SHALL BE BASED ON PLANT SPACING. INSTALL ALL IRRIGATION USING THE COMPONENTS DESCRIBED ABOVE.
  2. IRRIGATION EQUIPMENT SHALL BE COMPLETELY INSTALLED PRIOR TO PLANT LAYOUTS.
  3. ADJUST IRRIGATION SPACING TO ACCOMMODATE FINAL PLANT LAYOUT.
  4. 1/2" PVC FLEX HOSE SHALL NOT EXCEED 40GPM. 3/4" PVC FLEX HOSE SHALL NOT EXCEED 8GPM AND 1" PVC FLEX HOSE SHALL NOT EXCEED 13GPM.
  5. AT OWNERS DISCRETION, A LESS EXPENSIVE DRIP SYSTEM MAY BE INSTALLED. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SUBMITTAL CUT SHEETS AND POTENTIAL COST SAVINGS TO OWNER. HOWEVER, THE OWNER AND LANDSCAPE ARCHITECT MUST APPROVE ALL CHANGES IN MATERIALS AND CONSTRUCTION PRACTICES IF DIFFERENT FROM THE PLAN.
  6. SMALL EVERGREEN TREES MAY NEED FEWER EMITTERS. CONSULT WITH THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLING IRRIGATION TO DETERMINE QUANTITY OF EMITTERS.
  7. SEE IRRIGATION SHEET FOR DRIP EMITTER LEGEND.
  8. USE IPS WELDON 795 GLUE AND P70 PRIMER PER GPH INC. SPECIFICATIONS.
  9. DO NOT INSTALL PIPE, FITTINGS, OR GLUE IN TEMPERATURES BELOW 40 DEGREES. SEE MANUFACTURER SPECIFICATIONS FROM MORE INFORMATION.

#### GPH DRIP EMITTER PLAN VIEW

SCALE: NTS



**InSite**  
DESIGN GROUP  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801-756-2443 www.in-sitedesigngroup.com  
architect@in-sitedesigngroup.com

CONSULTANTS:



STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:

SHEET TITLE:

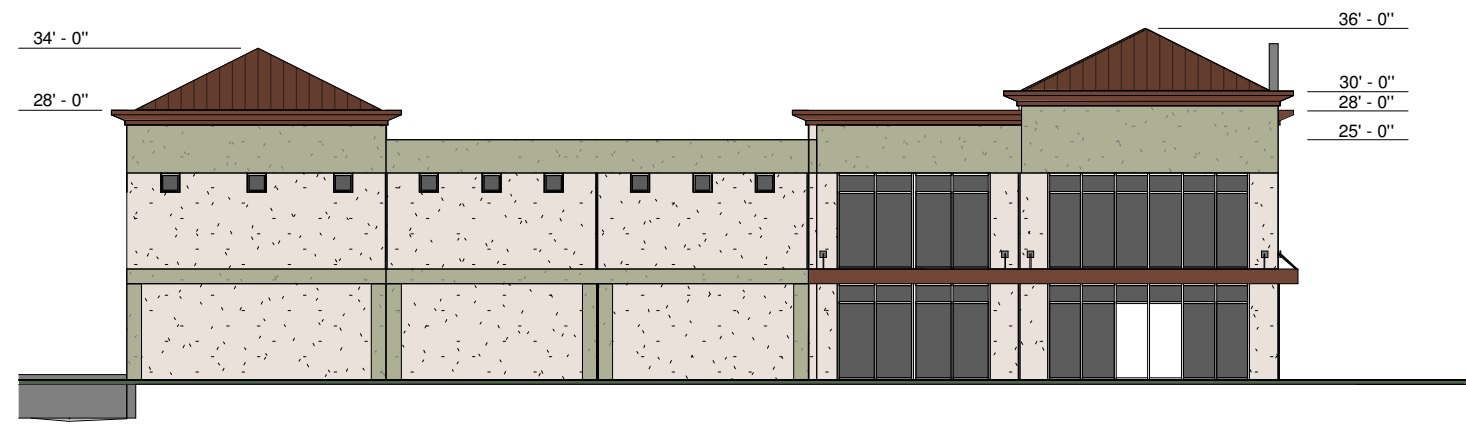
**IRRIGATION  
DETAILS**

DRAWN BY: **LCS**  
CHECKED: **DGW**  
DATE: **12-28-2020**  
REVISIONS:  
JOB NO. **20-150**

LS4.2

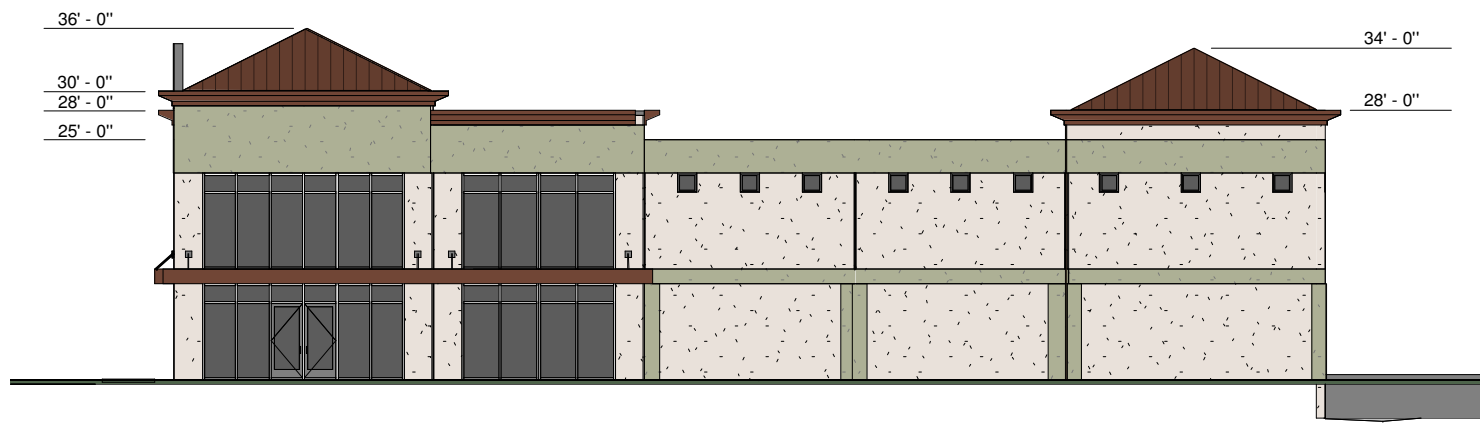
THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006

2/12/2021 9:42:14 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



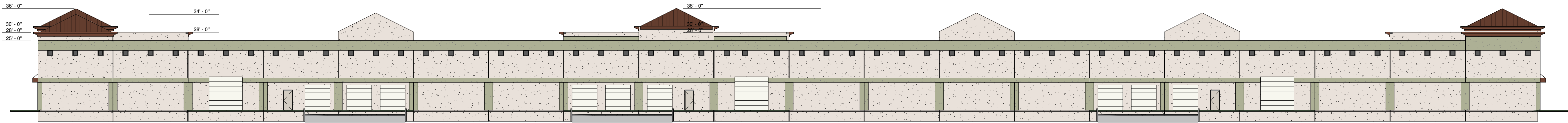
NORTH ELEVATION BUILDING B

SCALE 1" = 20'-0"



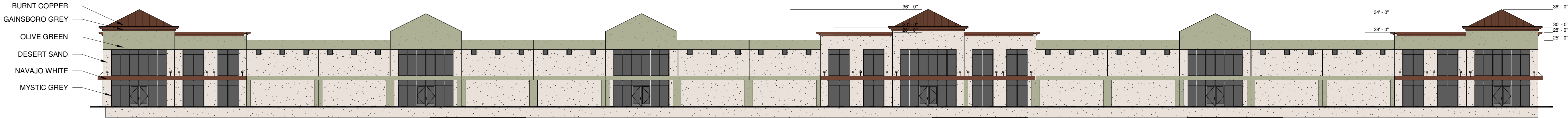
SOUTH ELEVATION BUILDING B

SCALE 1" = 20'-0"



EAST ELEVATION BUILDING B

SCALE 1" = 20'-0"



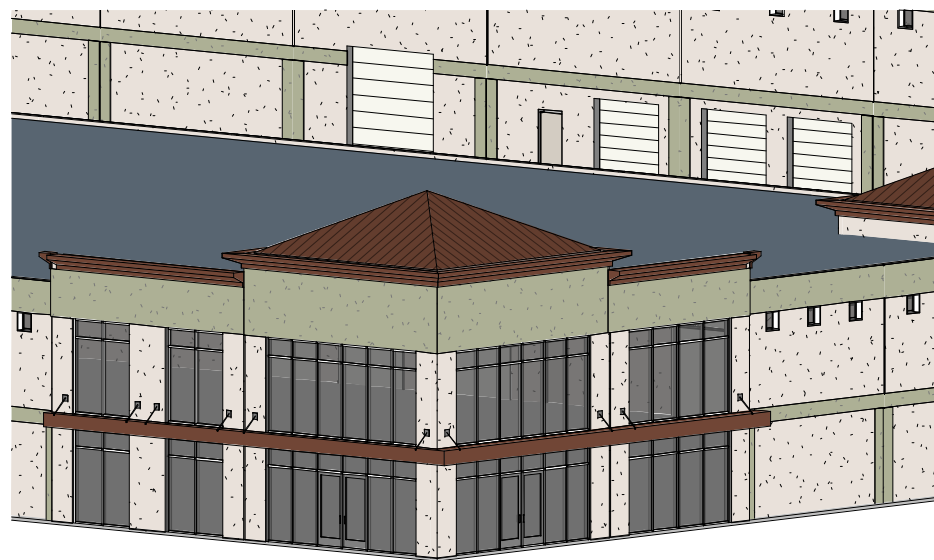
WEST ELEVATION BUILDING B

SCALE 1" = 20'-0"



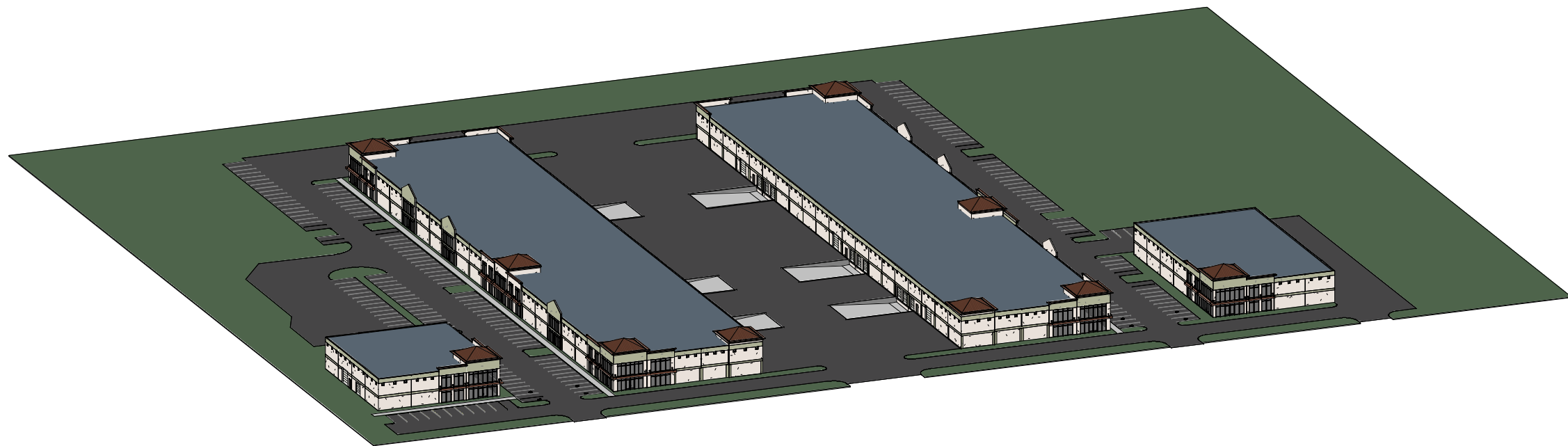
BUILDING B BUILDING B (& C REVERSED)

SCALE



BUILDING -CORNER

SCALE



3D SITE

SCALE

## COLOR LEGEND

|  |                                                        |  |                                                           |
|--|--------------------------------------------------------|--|-----------------------------------------------------------|
|  | TERRA COTTA LPP/7 S/W 2002<br>(METAL ROOFING)          |  | DESTINY FN275 SW 6274<br>(PERSONNEL & OVERHEAD DOORS)     |
|  | PLYMOUTH GREEN EPP 57 SW 2852<br>(WALL BAND HIGHLIGHT) |  | GREY (GLAZING TINT)                                       |
|  | MAUVE TINGE R-V/R S SW 6280<br>(PRIMARY WALL COLOR)    |  | DARK BRONZE ASCBP.COM<br>(FLASHING & TRIM FOR STOREFRONT) |

REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

NO. 123134  
GUILFORD A  
BAND  
02-11-2020  
STATE OF UTAH

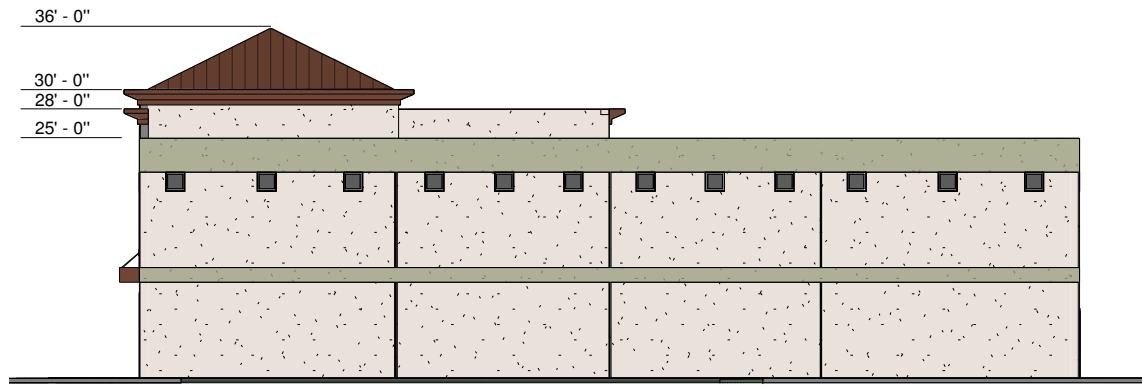
© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-0.7

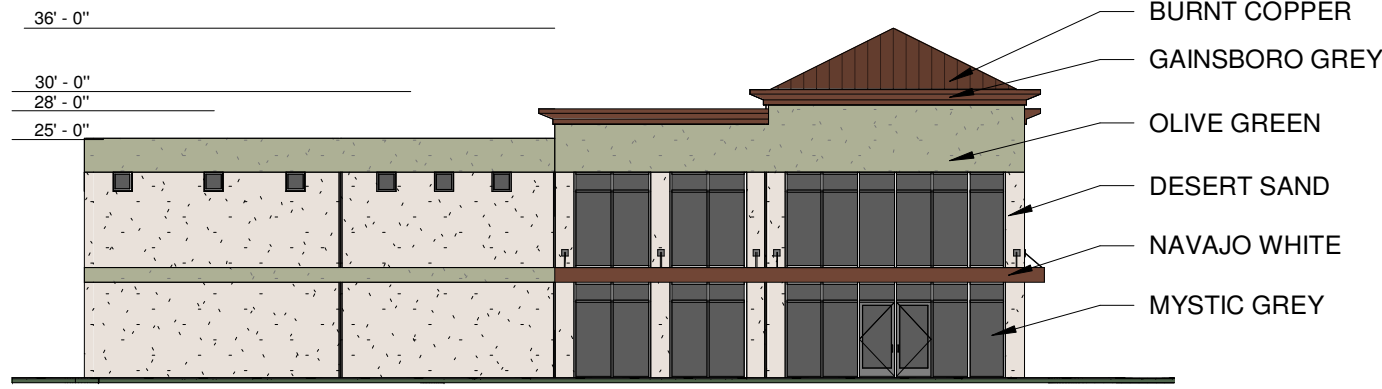
DATE  
02-11-2020

2/12/2021 9:42:16 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



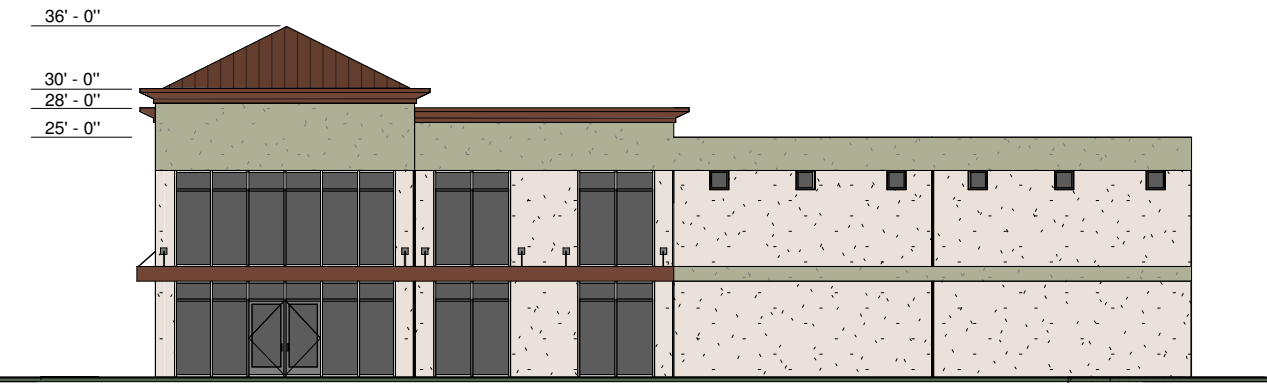
NORTH ELEVATION BUILDING A

SCALE 1" = 20'-0"



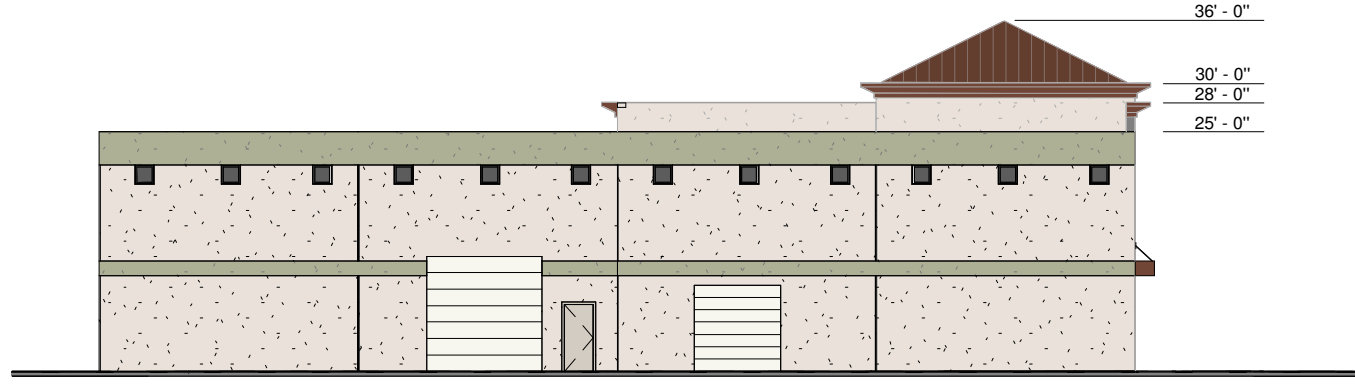
SOUTH ELEVATION BUILDING A

SCALE 1" = 20'-0"



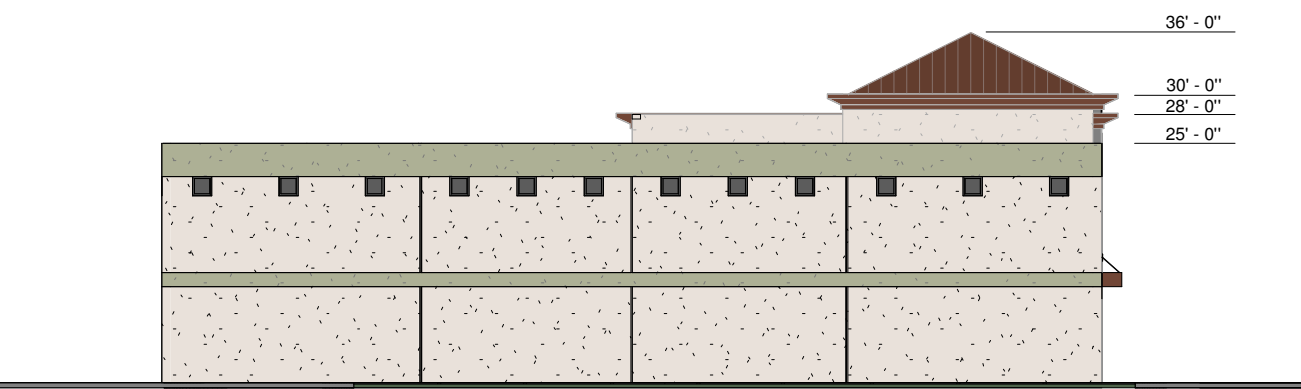
EAST ELEVATION BUILDING A

SCALE 1" = 20'-0"



WEST ELEVATION BUILDING A

SCALE 1" = 20'-0"



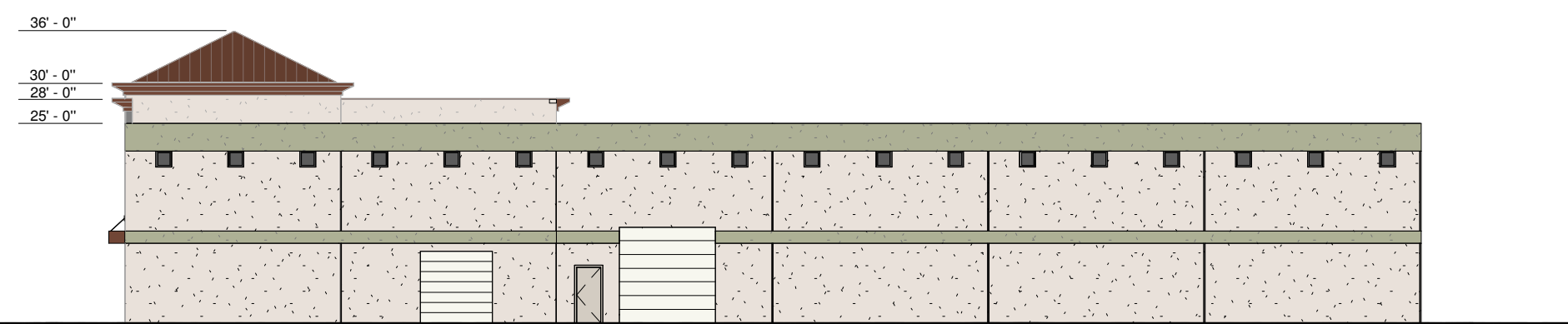
NORTH ELEVATION BUILDING D

SCALE 1" = 20'-0"



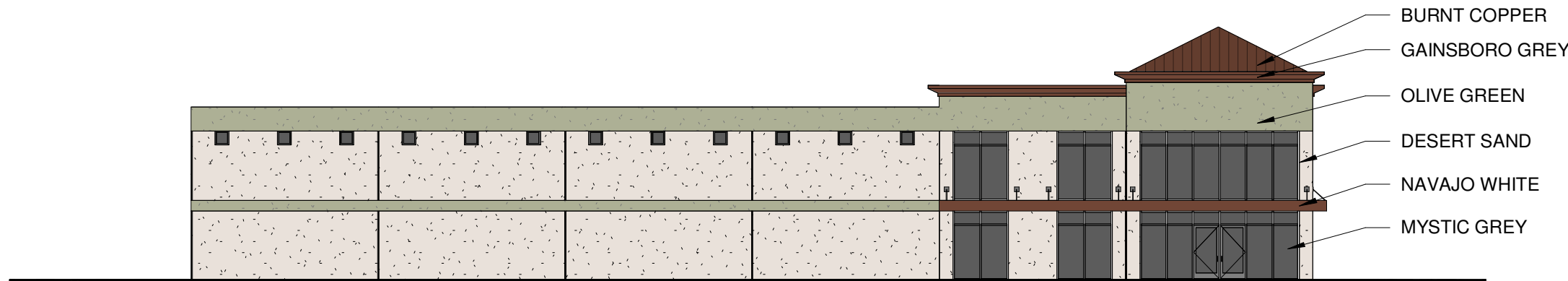
SOUTH ELEVATION BUILDING D

SCALE 1" = 20'-0"



EAST ELEVATION BUILDING D

SCALE 1" = 20'-0"



WEST ELEVATION BUILDING D

SCALE 1" = 20'-0"

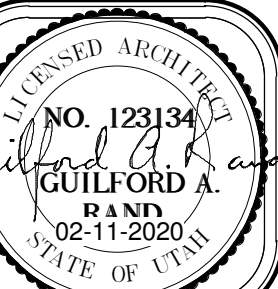
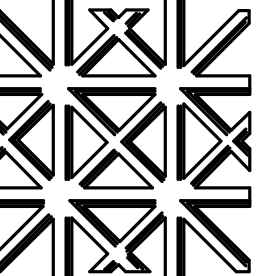
## COLOR LEGEND

|  |                                                        |  |                                                           |
|--|--------------------------------------------------------|--|-----------------------------------------------------------|
|  | TERRA COTTA LPP/7 S/W 2002<br>(METAL ROOFING)          |  | DESTINY FN275 SW 6274<br>(PERSONNEL & OVERHEAD DOORS)     |
|  | PLYMOUTH GREEN EPP 57 SW 2852<br>(WALL BAND HIGHLIGHT) |  | GREY (GLAZING TINT)                                       |
|  | MAUVE TINGE R-V/R S SW 6280<br>(PRIMARY WALL COLOR)    |  | DARK BRONZE ASCBP.COM<br>(FLASHING & TRIM FOR STOREFRONT) |

REVISIONS  
DATE



ARCHITECTURAL COALITION  
1991 South State Road Springville, UT 84663 PH: 801-491-0275



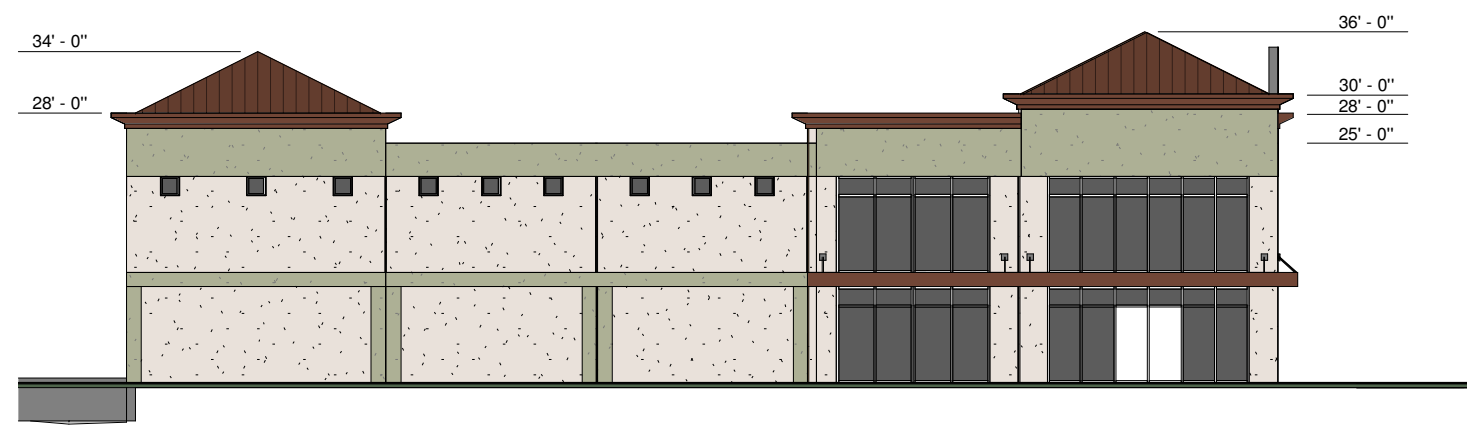
© Copyright 2020,  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North Vineyard, UT

SHEET NO.  
A-0.8

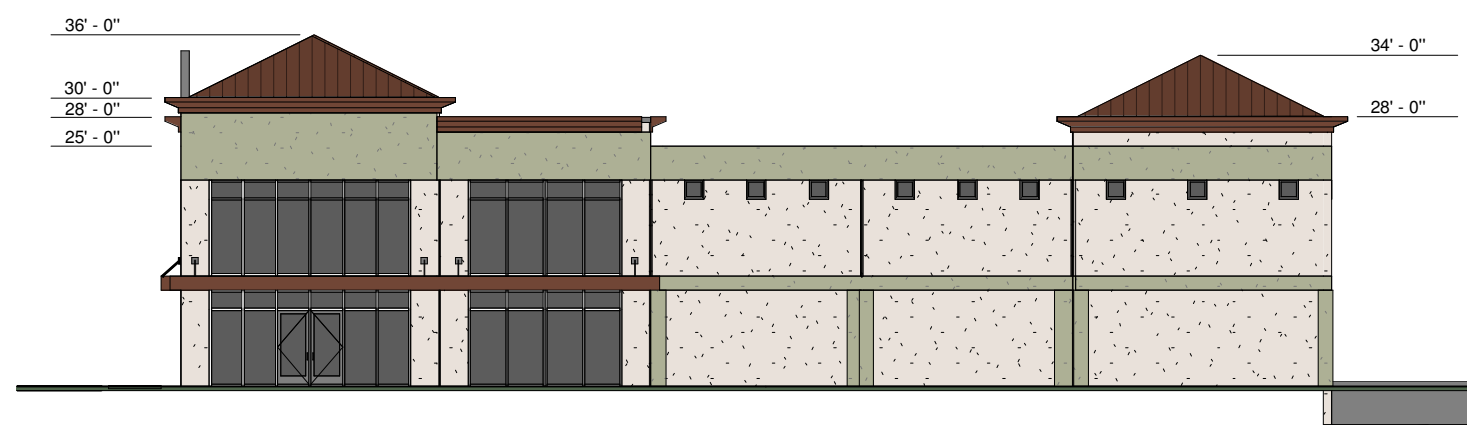
DATE  
02-11-2020

2/12/2021 9:42:20 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



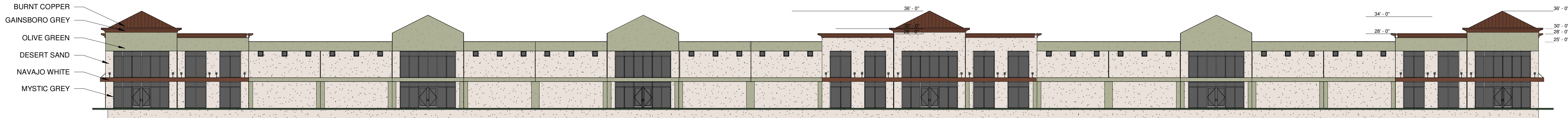
NORTH ELEVATION BUILDING C

SCALE 1" = 20'-0"



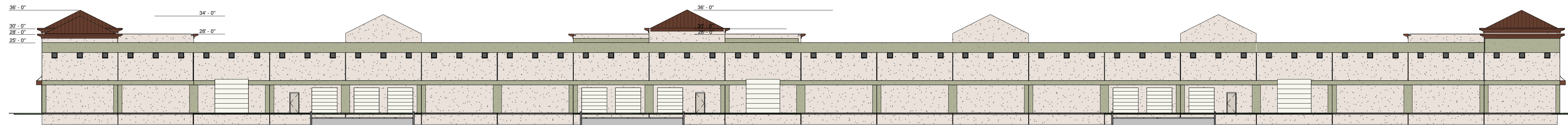
SOUTH ELEVATION BUILDING C

SCALE 1" = 20'-0"



EAST ELEVATION BUILDING C

SCALE 1" = 20'-0"

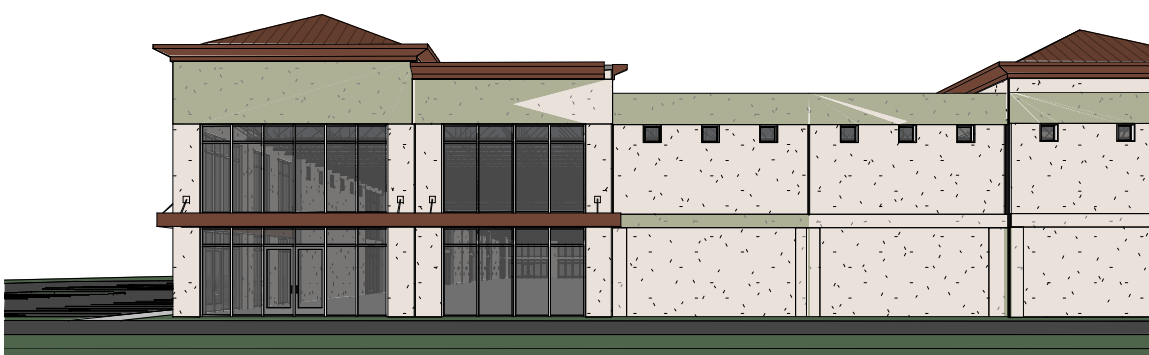


WEST ELEVATION BUILDING C

SCALE 1" = 20'-0"

COLOR LEGEND

|  |                                                        |  |                                                           |
|--|--------------------------------------------------------|--|-----------------------------------------------------------|
|  | TERRA COTTA LPP/7 S/W 2002<br>(METAL ROOFING)          |  | DESTINY FN275 SW 6274<br>(PERSONNEL & OVERHEAD DOORS)     |
|  | PLYMOUTH GREEN EPP 57 SW 2852<br>(WALL BAND HIGHLIGHT) |  | GREY (GLAZING TINT)                                       |
|  | MAUVE TINGE R-V/R S SW 6280<br>(PRIMARY WALL COLOR)    |  | DARK BRONZE ASCBP.COM<br>(FLASHING & TRIM FOR STOREFRONT) |



PERSPECTIVE

SCALE

REVISIONS  
DATE

ARCHITECTURAL COALITION

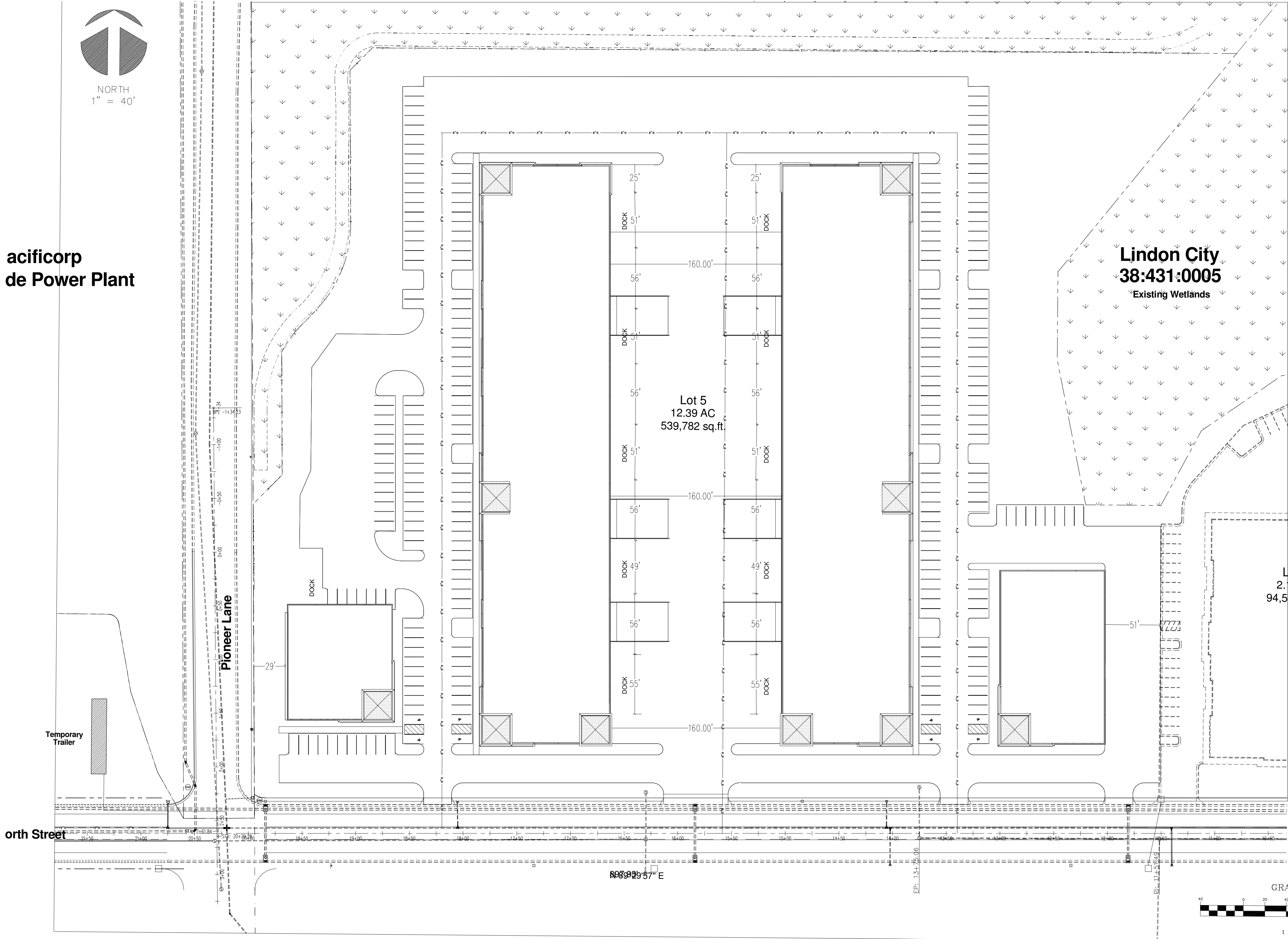
1991 South State Road Springville, UT 84663 PH: 801-491-0275

© Copyright 2020, Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-0.9  
DATE  
02-11-2020

Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt 2/12/2021 9:42:21 AM

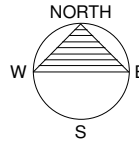


| PARKING CALCULATIONS |         |                                            |                    |                    |                                    |
|----------------------|---------|--------------------------------------------|--------------------|--------------------|------------------------------------|
| USE                  | AREA    | FORMULA<br>Vineyard City Code 2016-07 ch19 | SPACES<br>REQUIRED | SPACES<br>PROVIDED | ADA SPACES<br>per IBC Table 1106.1 |
| MANUFACTURING        | 16,000  | 1 SPACE per 750 Sq Ft                      | 22                 | 222                | 7 REQUIRED<br>& PROVIDED           |
| WAREHOUSE            | 125,000 | 1 SPACE per 1000 Sq Ft                     | 125                |                    |                                    |
| OFFICE SPACE         | 15,000  | 1 SPACE per 200 Sq Ft                      | 75                 |                    |                                    |

| SITE TABULATION TABLE |         |            |
|-----------------------|---------|------------|
|                       | AREA    | PERCENTAGE |
| BUILDING              | 156,000 | 18.2       |
| LANDSCAPE             | 448,100 | 52.3       |
| HARDSCAPE             | 253,600 | 29.5       |
| TOTAL SITE            | 857,000 | 100        |

ARCHITECTURAL SITE PLAN

SCALE 1" = 50'-0"



REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

LICENSED ARCHITECT  
NO. 123134  
GUILFORD A. BARNES  
02-11-2020  
STATE OF UTAH

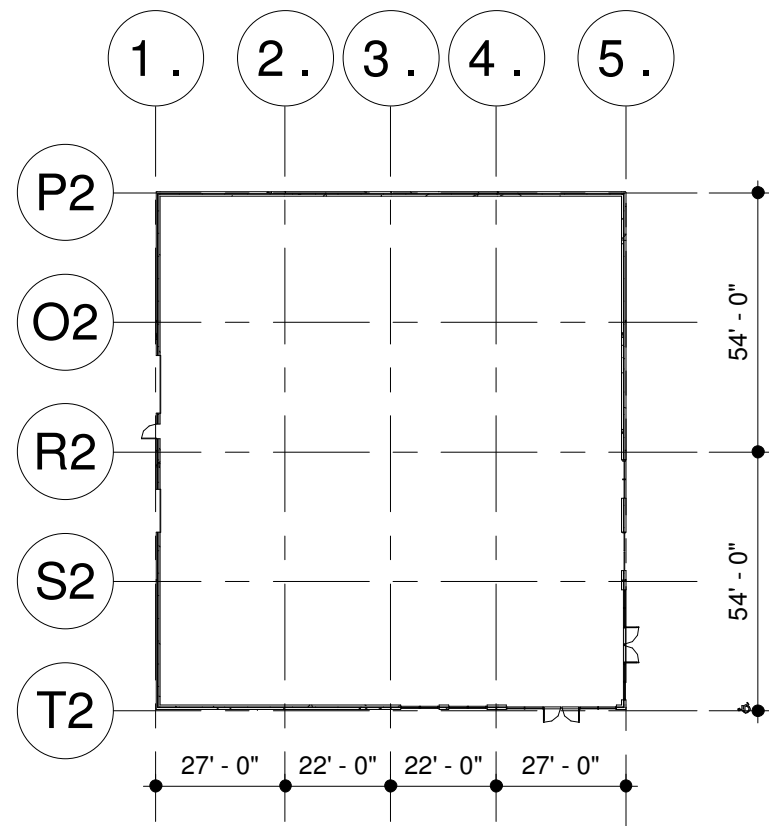
© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-1.0

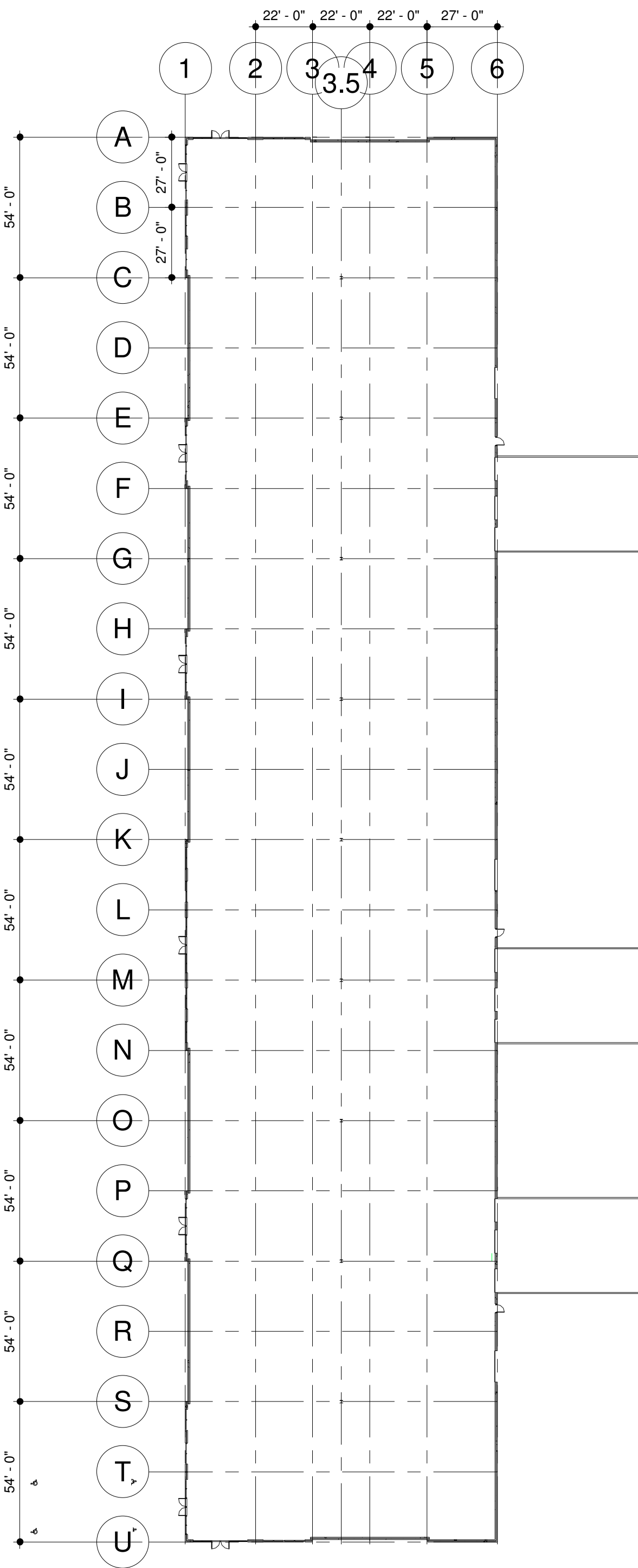
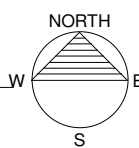
DATE  
02-11-2020

2/12/2021 9:42:22 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



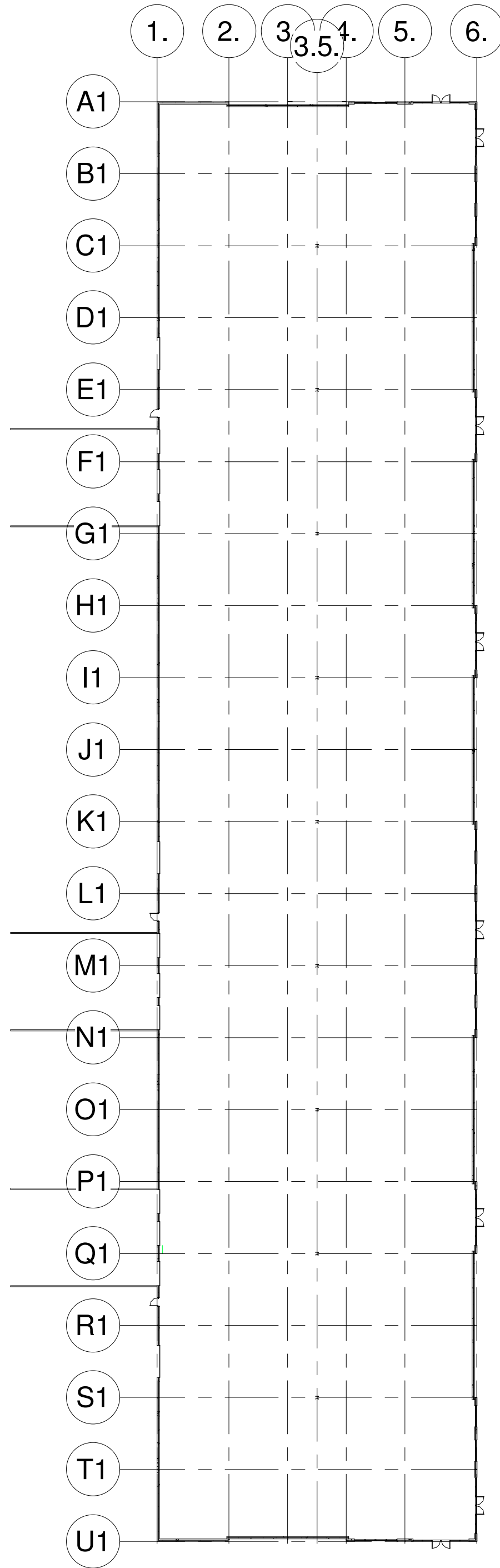
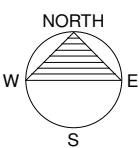
BUILDING A

SCALE 1" = 40'-0"



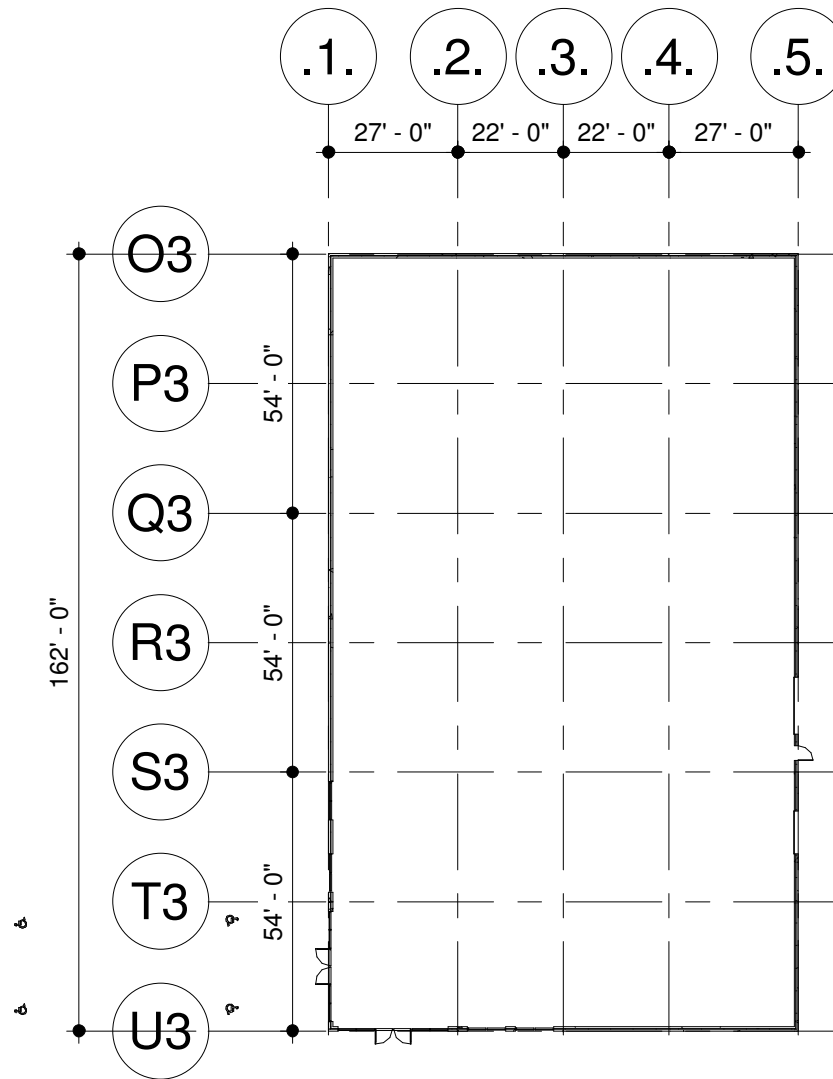
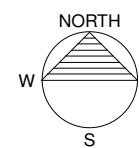
BUILDING B

SCALE 1" = 40'-0"



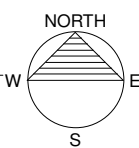
BUILDING C

SCALE 1" = 40'-0"



BUILDING D

SCALE 1" = 40'-0"



- SEE SHEET A-5.1 FOR DOOR SCHEDULE
- ⬡ SEE SHEET A-5.1 FOR WINDOW SCHEDULE
- ◊ → SEE SHEET A-6. FOR WALL TYPE DETAILS

REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

NO. 123134  
GUILFORD A. BANDY  
02-11-2020  
STATE OF UTAH

© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5

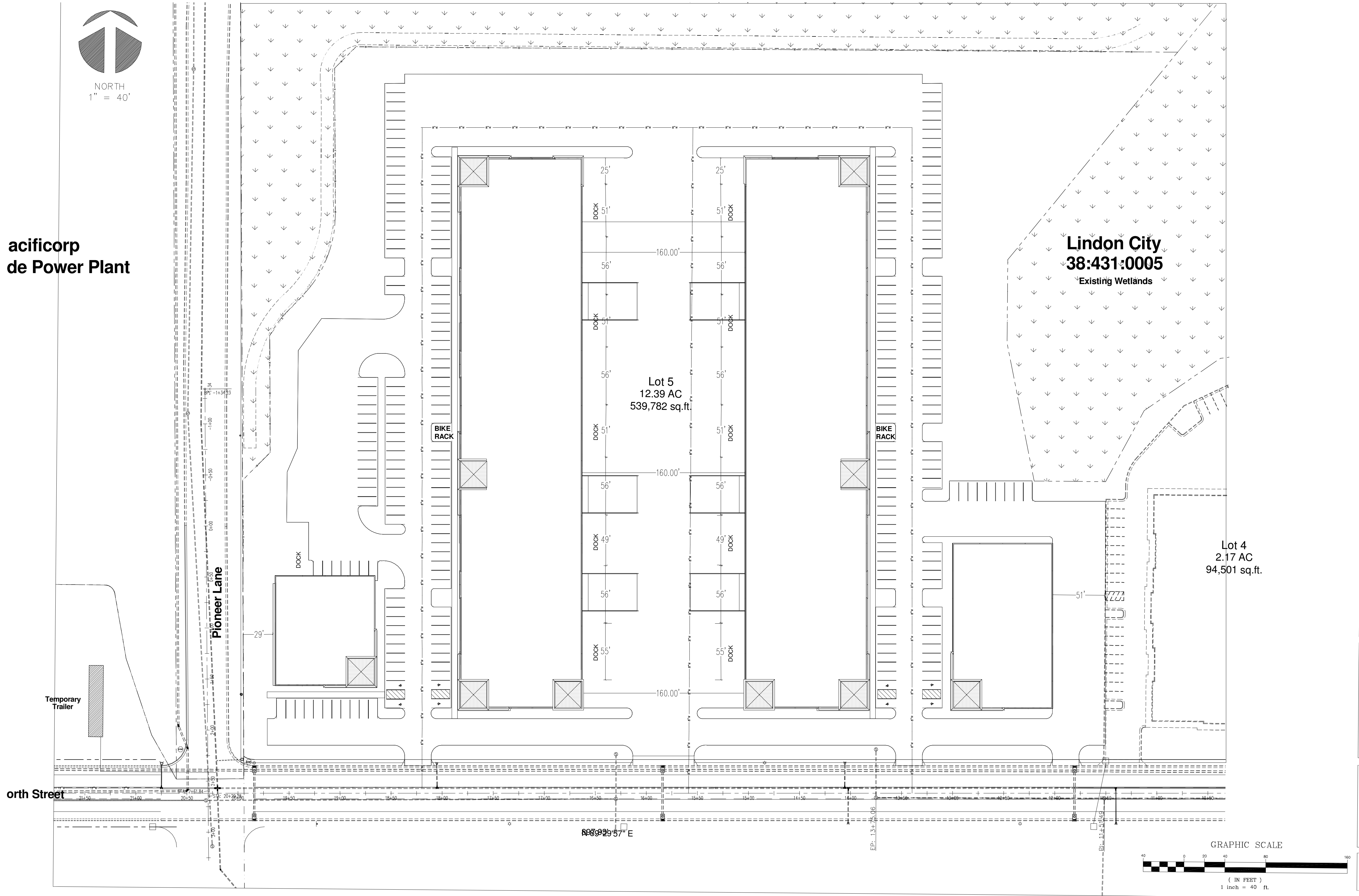
Vineyard Properties of Utah

71 East 1750 North Vineyard, UT

SHEET NO.  
A-1.1

DATE  
02-11-2020

2/12/2021 11:17:00 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS WITH BIKE RACKS.rvt

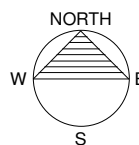


| PARKING CALCULATIONS |         |                                            |                    |                    |                                    |
|----------------------|---------|--------------------------------------------|--------------------|--------------------|------------------------------------|
| USE                  | AREA    | FORMULA<br>Vineyard City Code 2016-07 ch19 | SPACES<br>REQUIRED | SPACES<br>PROVIDED | ADA SPACES<br>per IBC Table 1106.1 |
| MANUFACTURING        | 16,000  | 1 SPACE per 750 Sq Ft                      | 22                 | 222                | 7 REQUIRED<br>8 PROVIDED           |
| WAREHOUSE            | 125,000 | 1 SPACE per 1000 Sq Ft                     | 125                |                    |                                    |
| OFFICE SPACE         | 15,000  | 1 SPACE per 200 Sq Ft                      | 75                 |                    |                                    |

| SITE TABULATION TABLE |         |            |
|-----------------------|---------|------------|
|                       | AREA    | PERCENTAGE |
| BUILDING              | 156,000 | 18.2       |
| LANDSCAPE             | 448,100 | 52.3       |
| HARDSCAPE             | 253,600 | 29.5       |
| TOTAL SITE            | 857,000 | 100        |

# ARCHITECTURAL SITE PLAN

SCALE 1" = 50'-0"



REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

LICENSED ARCHITECT  
NO. 123134  
GUILFORD A. BARNES  
02-11-2020  
STATE OF UTAH

© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-1.0

DATE  
02-11-2020



# Vineyard Development Permit

Application Date: 01/15/2021  
Type of Improvement: Site Plan  
Legal Description: Eastlake at Geneva Industrial Business Park Phase  
Bldg. Address: 71 East 1750 North  
City: Vineyard State: UT Zip: 84059  
Subdivision: Eastlake Phase: 3  
Block: 4 Lot #: 5 Parcel #: 38-559-0005  
Zone: industrial Sec: 5 ;T S;R W  
Property Owner: Vinyard Properties of Utah Vineyard (801) 455-5924  
City: Pleasant Grove State: Utah Zip: 84062  
Permit Contact: Marty Biljanic P:(801) 455-5924  
Email: mbiljanic@msi.properties

## CONTACT INFORMATION

Additional Owner: Vinyard Properties of Utah - MSI  
License #: Properties P: (801) 455-5924  
City: State: Zip:  
Email: mbiljanic@msi.properties

## APPLICATION DETAILS

|                    |           |             |
|--------------------|-----------|-------------|
| Valuation          | \$        | 0.00        |
| PERMIT FEES        |           |             |
| Site Plan          | \$        | 0.00        |
| <b>Total Fees:</b> | <b>\$</b> | <b>0.00</b> |

## APPROVALS

## DATE

## INFO

Corner Lot:

| Setbacks | Front: | Rear: | Left: | Right: |
|----------|--------|-------|-------|--------|
| Min.     |        |       |       |        |
| Actual:  |        |       |       |        |

APPLICATION NUMBER:

PLAN21-326

I agree to comply with all City, County, and State building laws and ordinances. I attest that all representations in this application for a building permit are true and accurate, and any misrepresentations of errors herein are the sole responsibility of the applicant, and shall in no way incur or accrue liability or obligation to enforcing officers or agents. This City does not accept any obligation or liability to have plans reviewed or approved by an Architectural Review Committee prior to the issuance of a building permit. It is the responsibility of the owner and builder to receive approval from the Architectural Review Committee. Failure to receive approval may result in civil action. This permit becomes null and void if work on construction authorized is not commenced within 180 days or if construction work is suspended or abandoned for a period of 180 days at any time after work is commenced. OCCUPANCY OF STRUCTURE IS PROHIBITED UNTIL AFTER FINAL INSPECTION AND ZONING/OCCUPANCY COMPLIANCE CERTIFICATE IS ISSUED. I HAVE CHECKED THE SEWER DEPTH OF ABOVE LOT AND WILL TAKE ALL RESPONSIBILITY FOR SETTING THE BUILDING ACCORDINGLY.

Applicant Name: Marty Biljanic

Signature of Contractor or Authorized Agent: Date:

Signature of Owner (If Owner/Company): Date:

Application Approved By: Date:

Receipt #: Date:

☐ Cash ☐ Check # [ ] ☐ Credit Card



Vineyard Properties of Utah  
Property Development

### Scope of Work

Project name: Eastlake Lot 5

Project address: 71 East 1750 North Vineyard, Utah

Owner: Vineyard Properties of Utah, LLC

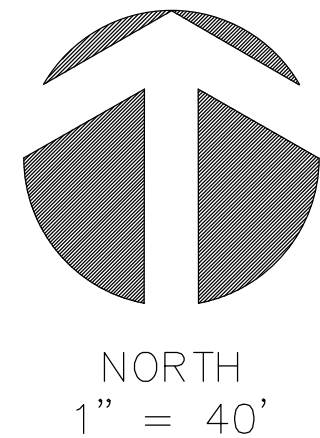
Site: 12.4 acres

The project will be another addition to Vineyard's Eastlake Industrial Park. The site is located just across the street and east of the PacifiCorp power plant. The 12.4 acre site fronts the recently constructed 1750 North roadway. The City zoning map dated April 30, 2020, identifies the area as zone M: Manufacturing district, with which our project complies.

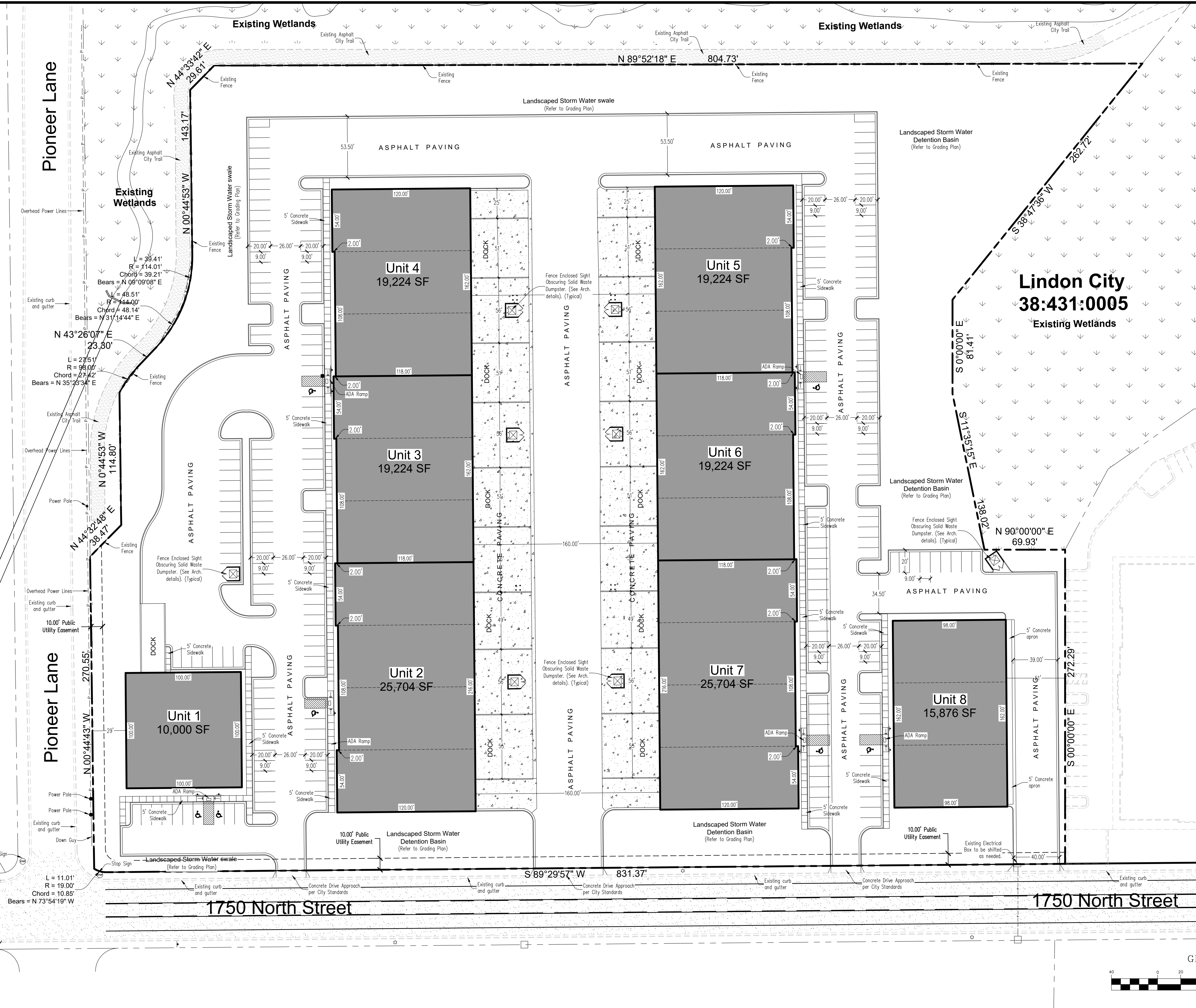
The plan, after receiving City approvals, is to start in March/April and construct approximately 154,000 square feet of leasable building space and be well parked for potential tenants use. The building design team is experienced and has completed multiple projects in the immediate area. Architectural Coalition will lead the design of the building plans, while Dudley & Associates will direct the Civil Site design. Additional team members are engaged and underway with the Landscape Architect In Site Design Group, ESP Excavation, CMT Geotech, Kimco Fire Protection, and Fincon likely our General Contractor for the project.

The Architect has designed similar buildings within Eastlake but the goal is to make these a bit distinctive while advancing modern facility market trends. The utility companies plans show infrastructure backbone was installed when 1750 North roadway was constructed. The 12.4 acre site is relatively flat and close to grade, which will keep any necessary import or export of fill material to a minimum. Once we obtain a permit to proceed, our plan is to start constructing the two larger buildings & site work within one consecutive schedule, and the two smaller buildings once we secure a lease tenant. We are excited to move forward with this project, the anticipated value of the project is about nine million, and we anticipate a 10 month build time.

Marty Biljanic  
Vineyard Properties of Utah  
801-455-5924



# Pacificorp Lake Side Power Plant



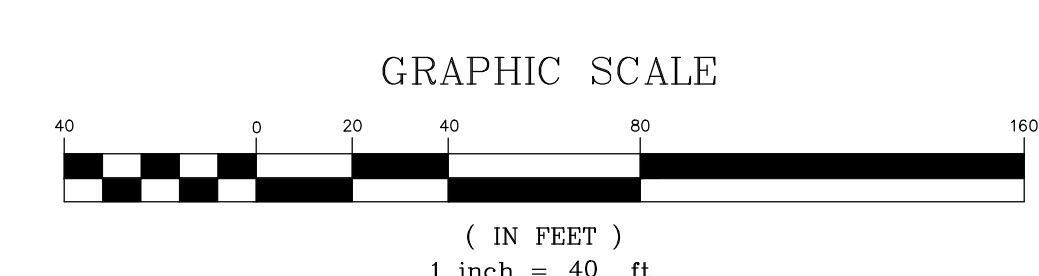
DUDLEY AND ASSOCIATES  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

71 East 1750 North  
**Site Plan - Eastlake Lot 5**  
Vineyard

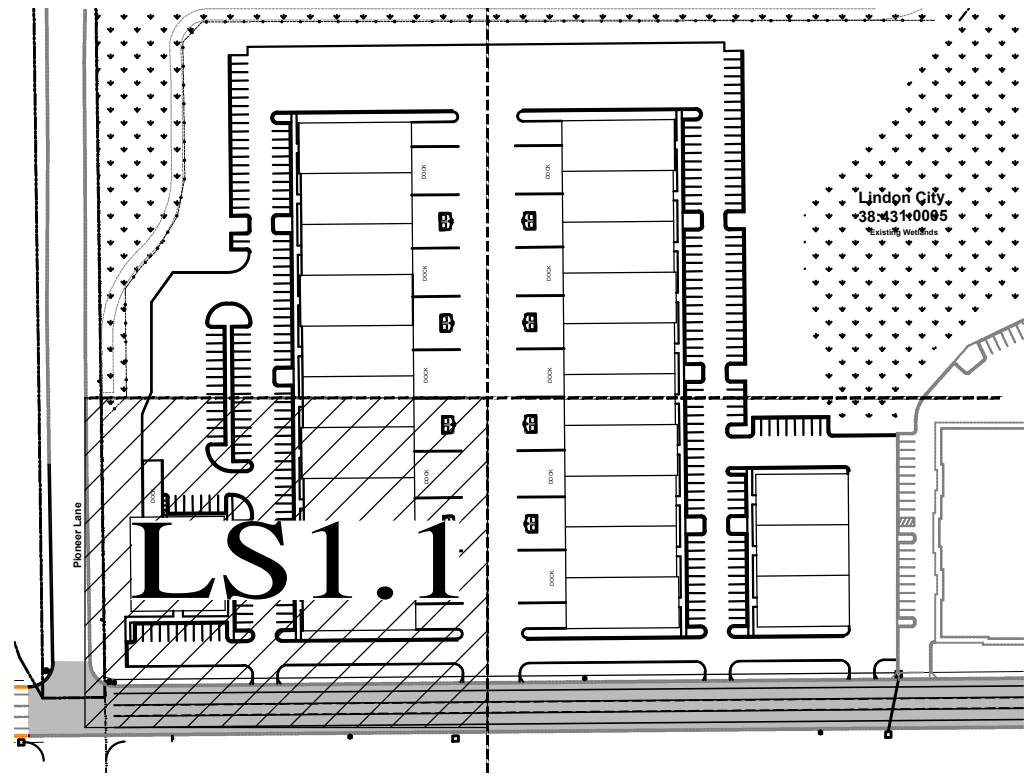
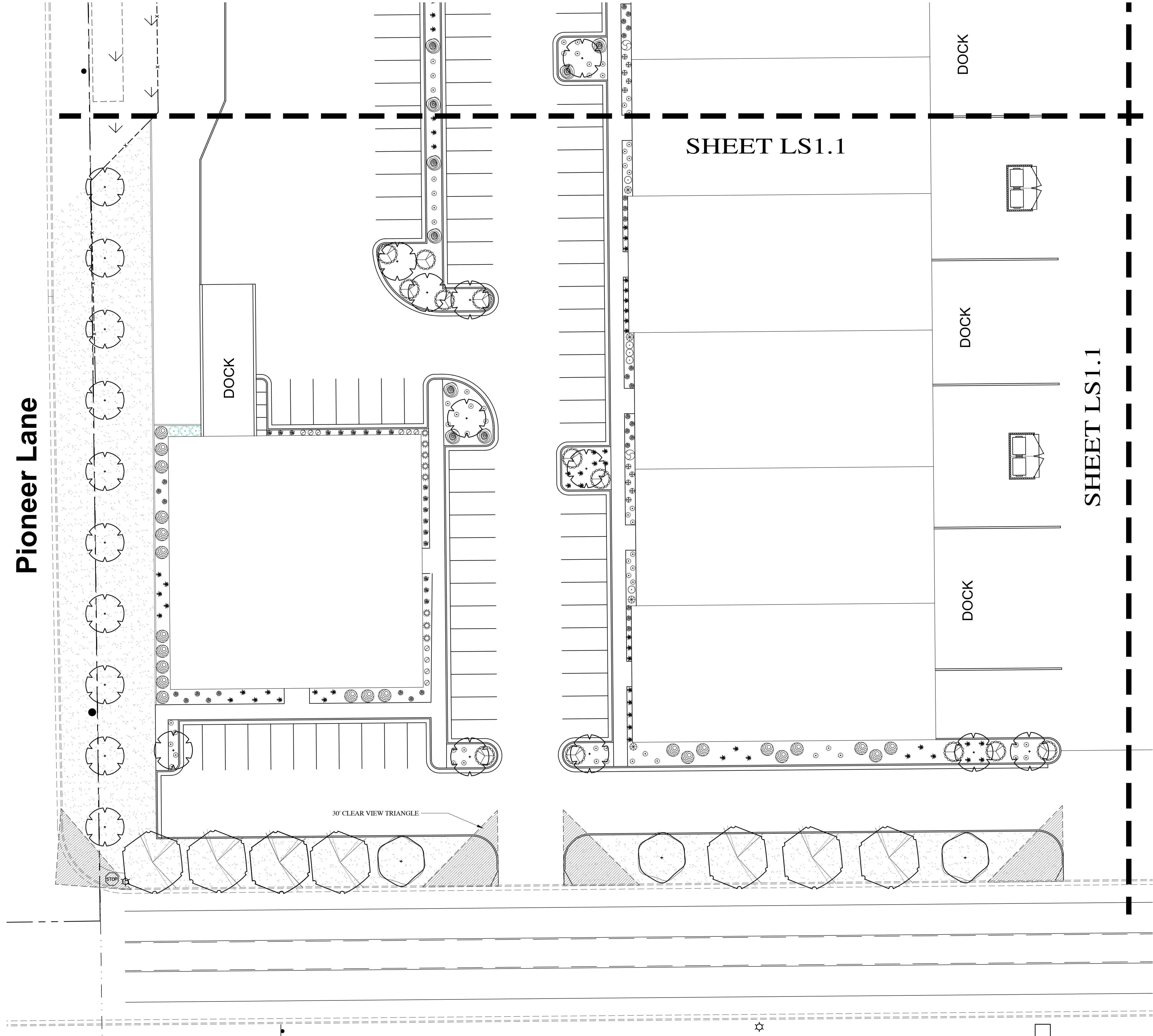
| Revisions |
|-----------|
|           |
|           |
|           |
|           |
|           |
|           |
|           |
|           |
|           |

Date  
2-10-2021  
Scale  
1" = 100'  
By  
TD  
Tracing No.  
L - 14542

Sheet No.  
**C - 2.0**



Pioneer Lane



DECIDUOUS TREE LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME | QTY | SIZE   |
|--------|----------------------------|-----|--------|
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |
|        | QUERCUS MACROCARPA 'MUNDT' | 12  | 2" CAL |

EVERGREEN SHRUB LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME | QTY | SIZE  |
|--------|----------------------------|-----|-------|
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |
|        | PRUNUS MUGO 'SLOW GROWING' | 12  | 5 GAL |

PERENNIAL LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME       | QTY | SIZE  |
|--------|----------------------------------|-----|-------|
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |
|        | HEBE X EXONIIFOLIA 'CAMELOT MIX' | 63  | 1 GAL |

GRASSES LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME           | QTY | SIZE  |
|--------|--------------------------------------|-----|-------|
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |
|        | CALAMAGROSTIS X ACUTIFLORA 'VALANCE' | 174 | 1 GAL |

DECIDUOUS SHRUB LEGEND

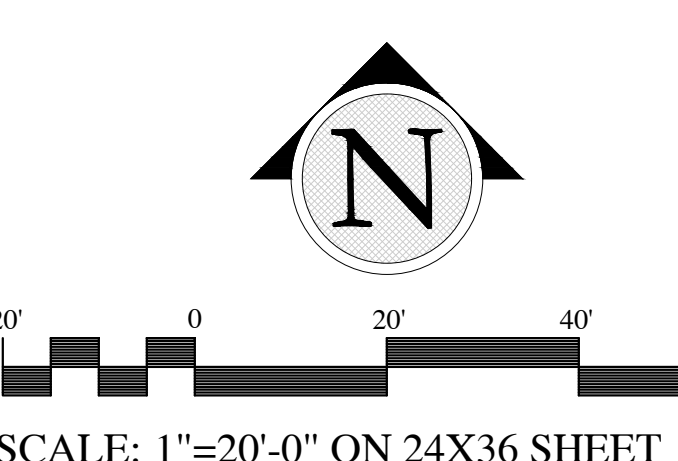
| SYMBOL | BOTANICAL NAME/COMMON NAME  | QTY | SIZE  |
|--------|-----------------------------|-----|-------|
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |
|        | BERBERIS THUNBERGII 'MARIU' | 21  | 5 GAL |

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR ORDERING AND INSTALLATION. IF DISCREPANCIES EXIST, THE PLAN SHALL PREVAIL.
- PLANT MATERIALS TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.
- NEW PLANTINGS: OVERLAP EXISTING PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM. PLANTINGS TO BE INSTALLED FROM TOP TO BOTTOM.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED. LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.



SHEET LS1.2

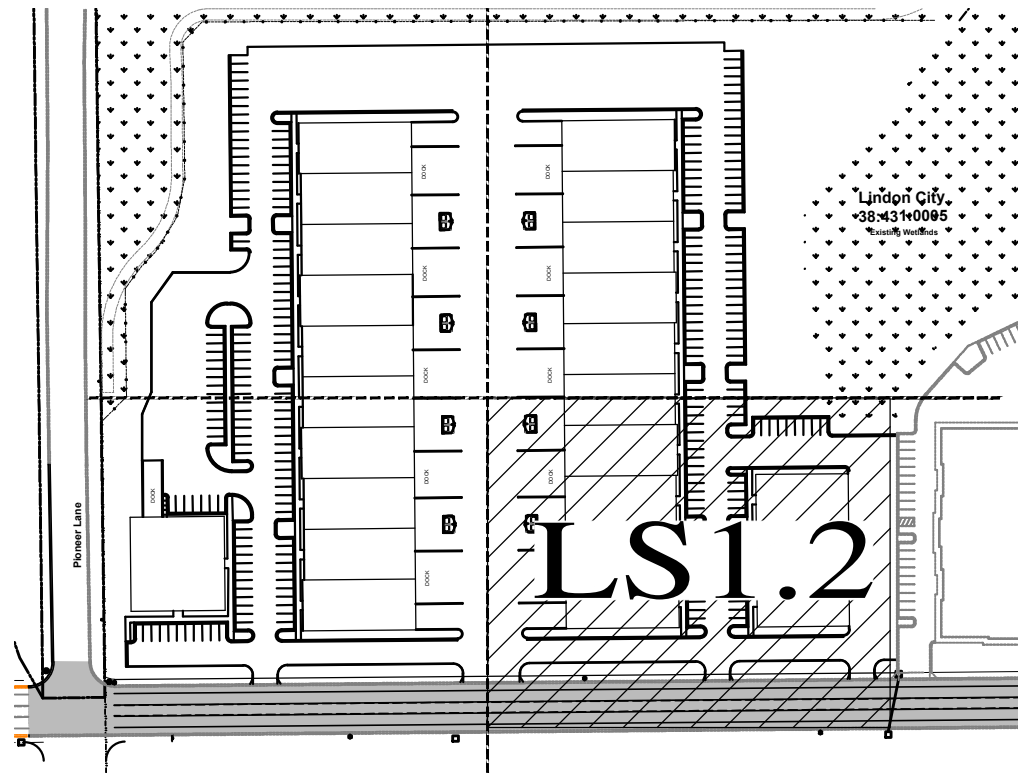
SHEET LS1.2

DOCK

DOCK

DOCK

30' CLEAR VIEW TRIANGLE



DECIDUOUS TREE LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME            | QTY | SIZE   |
|--------|---------------------------------------|-----|--------|
|        | OLEIFERA TRICANTHOS 'NIMBUS' 'NIMBUS' | 13  | 2" CAL |
|        | PRUNUS PENNSYLVANICA 'NEWPORT'        | 7   | 2" CAL |
|        | ZELKOVA SERRATA 'MANSARD'             | 46  | 2" CAL |

DECIDUOUS SHRUB LEGEND

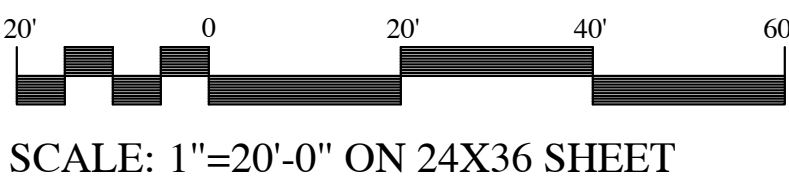
| SYMBOL | BOTANICAL NAME/COMMON NAME        | QTY | SIZE  |
|--------|-----------------------------------|-----|-------|
|        | BERBERIS THUNBERGII 'NANA'        | 21  | 5 GAL |
|        | CHAENOMELES SPECIOSA 'PINK STORM' | 22  | 5 GAL |
|        | PRUNELLA DOMESTICA 'MOULIN ROUGE' | 24  | 5 GAL |
|        | SPIRAEA JAPONICA 'GOLD MOUND'     | 45  | 5 GAL |
|        | SYMPLOCOS CAROLINIANA 'CHOCOMA'   | 6   | 5 GAL |

LANDSCAPE NOTES

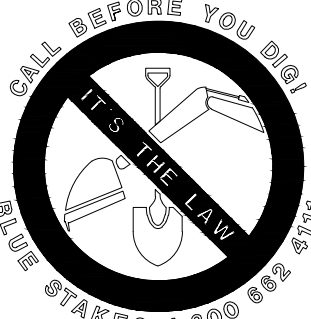
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR REMOVAL AND INSTALLATION. IF DISCREPANCIES EXIST, THE PLAN SHALL PREVAIL.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTING MATERIALS SHALL BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.
- LAY SOD WITHIN 24 HOURS OF BEING DELIVERED.



SCALE: 1"=20'-0" ON 24X36 SHEET



CONSULTANTS:

STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

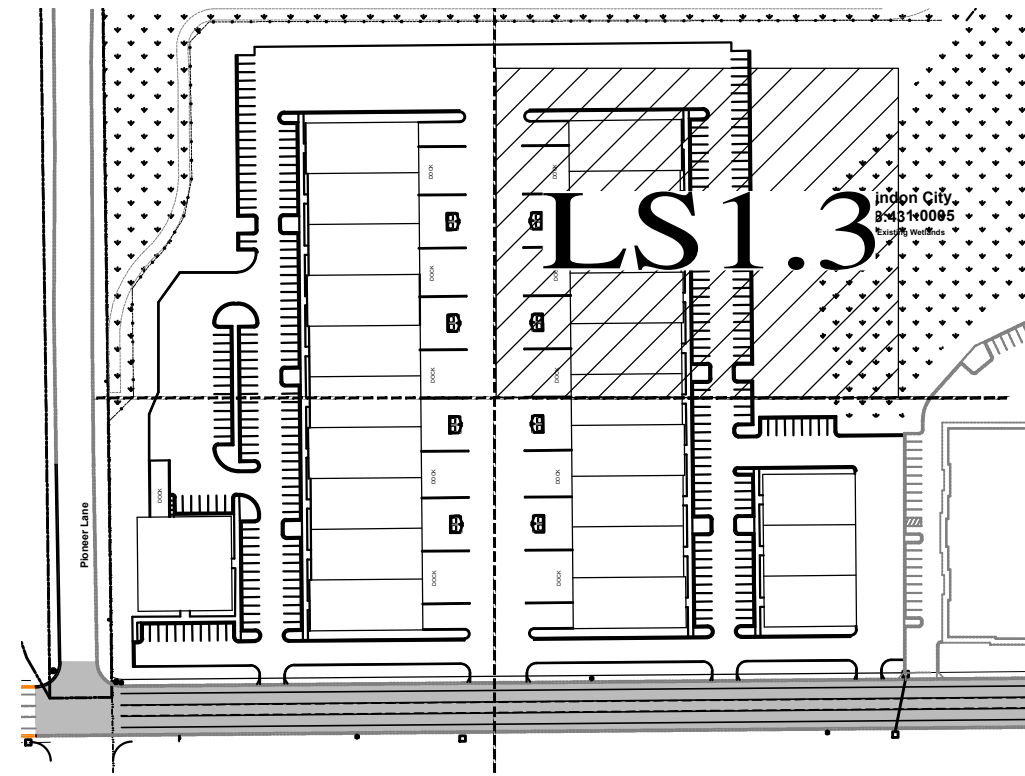
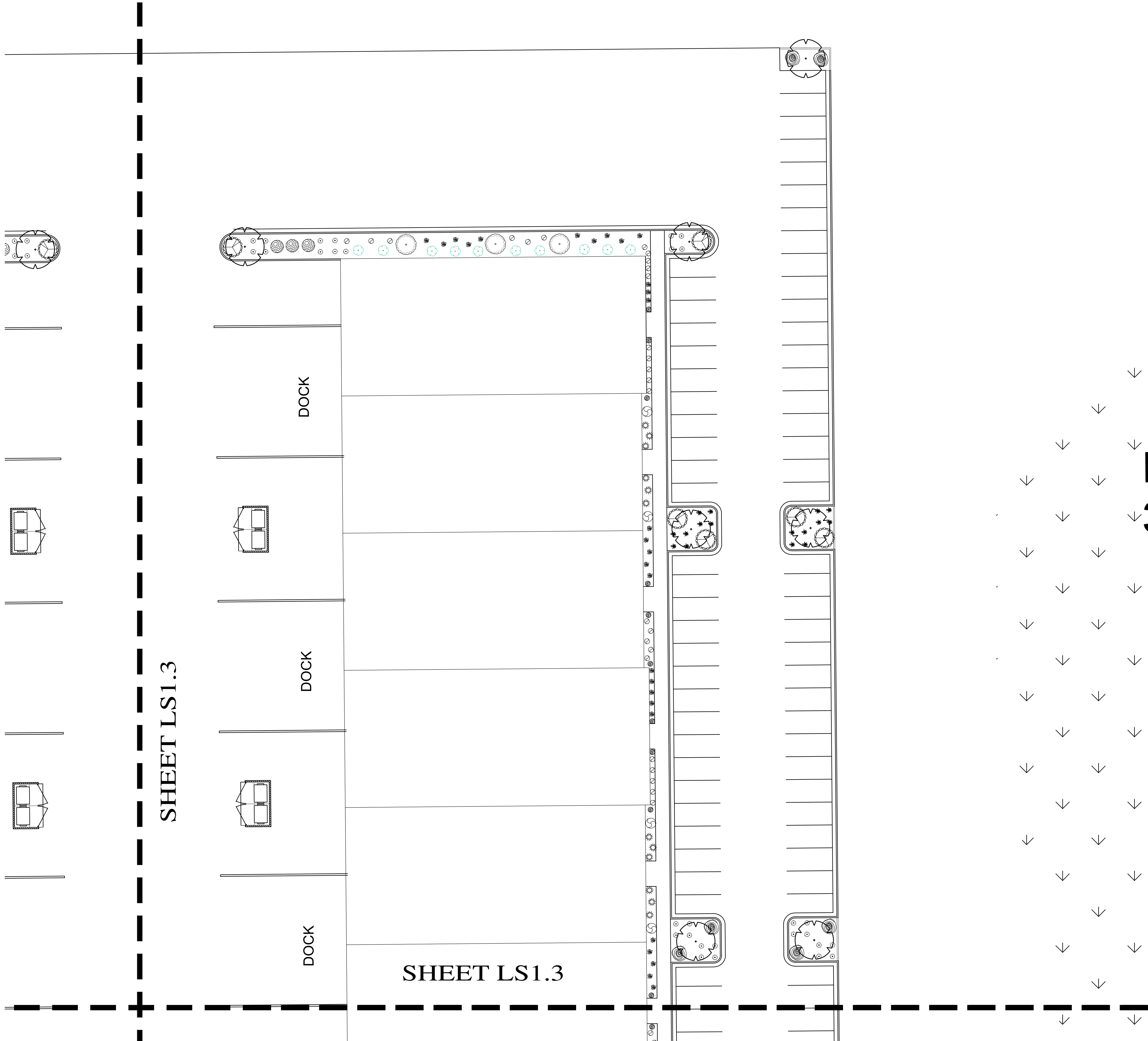
PROJECT:

PLANTING  
PLAN

SHEET TITLE:

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS:  
JOB NO. 20-150

SHEET:  
LS1.2



DECIDUOUS TREE LEGEND

| SYMBOL | BOTANICAL NAME/COMMON NAME                  | QTY | SIZE    |
|--------|---------------------------------------------|-----|---------|
|        | OLEIFERA TRICANTHOS (HONEY LOCUST)          | 13  | 2" CAL. |
|        | PRUNUS CERASIFERA (NEWPORT FLOWERING PLUM)  | 7   | 2" CAL. |
|        | ZELKOVA SERRATA (MUSCADINE SAWLEAF ZELKOVA) | 46  | 2" CAL. |

DECIDUOUS SHRUB LEGEND

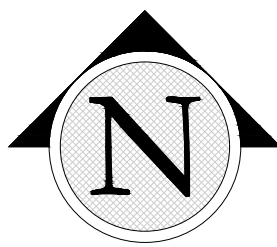
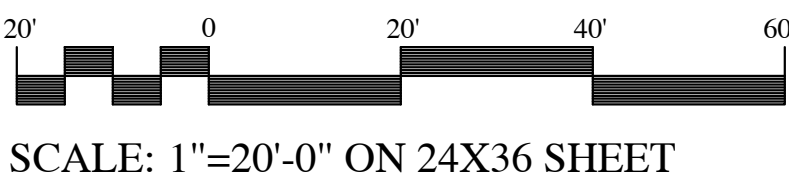
| SYMBOL | BOTANICAL NAME/COMMON NAME               | QTY | SIZE   |
|--------|------------------------------------------|-----|--------|
|        | BERBERIS THUNBERGII (BARBERRY)           | 21  | 5 GAL. |
|        | CHAENOMELES SPECIOSA (PINK STORM QUINCE) | 22  | 5 GAL. |
|        | CORNUS ALBA (DOGWOOD)                    | 23  | 5 GAL. |
|        | PRUNUS BESSEYI (PINK CHERRY)             | 24  | 5 GAL. |
|        | RISES AROMATICUM (BLACK CURRANT)         | 36  | 5 GAL. |
|        | SPIRAEA NIPPONICA (SNOW MOUND)           | 45  | 5 GAL. |
|        | SYMPLOCOS CHINENSIS (CHINESE BAYBERRY)   | 6   | 5 GAL. |

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR ORDERING AND INSTALLATION. IF DISCREPANCIES EXIST, THE PLAN SHALL PREVAIL.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.
- NEW PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN. ALL PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF THE DATE OF THE PLAN.

SOD LAYING NOTES

- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.
- LAY SOD WITHIN 14 DAYS OF BEING DELIVERED.





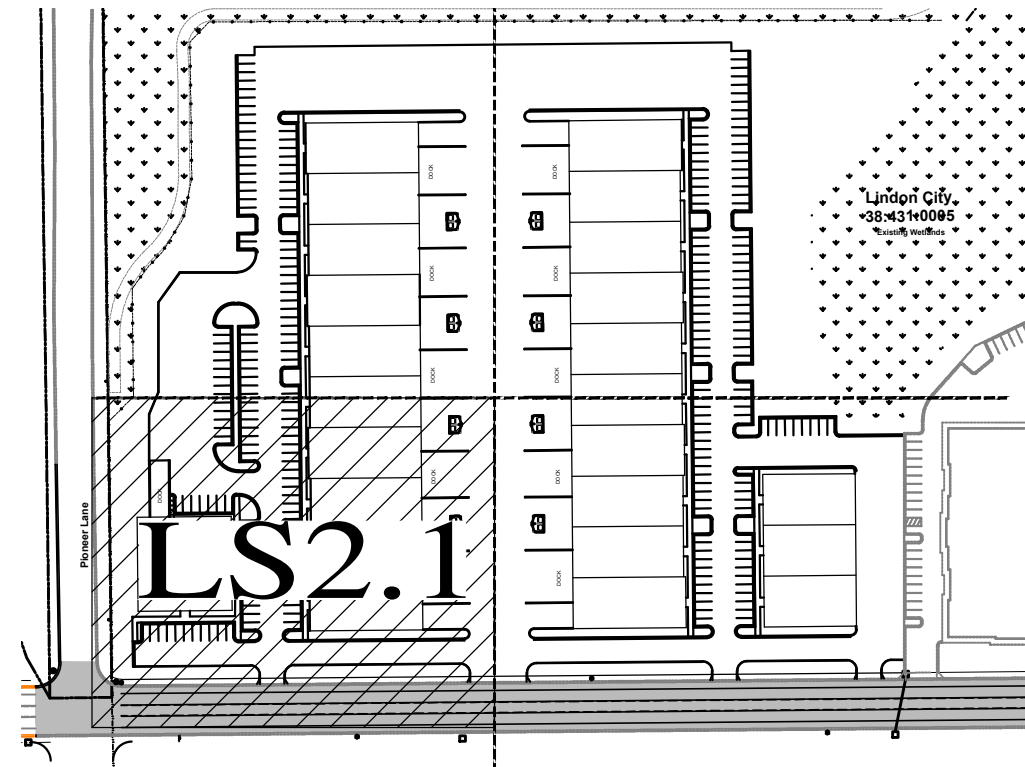
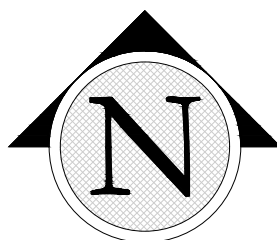
[illegible]

# DOCK

DOCK

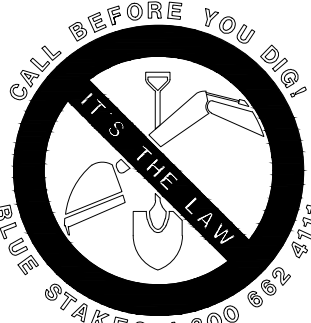
Doc

SHEET LS1.1

[illegible][illegible]

20'                  0                  20'                  40'                  60'

SCALE: 1"=20'-0" ON 24X36 SHEET



CONSULTANTS:

STAMP

PROJECT:

SHEET TITLE:

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

SHEET: \_\_\_\_\_

LS2.1

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
PUEBLO, UT 84301  
PHONE 801-225-1111  
FAX 801-225-1112  
WWW.VINEYARDUTAH.COM

## PRELIMINARY PLAN - NOT FOR CONSTRUCTION

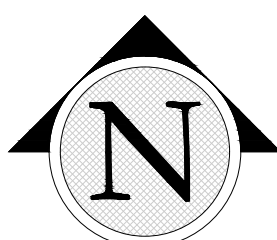
**In Site**  
**DESIGN GROUP**  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801.225.8888

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF N-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF N-SITE DESIGN GROUP. COPYRIGHT © 2006

Architectural site plan for a waterfront development, labeled "SHEET LS2.2". The plan shows a large rectangular area divided into sections labeled "DOCK" and "DOC". A central horizontal road or canal runs through the middle. To the right, there are several rectangular structures, possibly buildings or piers, and a large area labeled "SHEET LS2.2". The plan includes various lines, dimensions, and symbols, including a compass rose and a north arrow. The title "SHEET LS2.2" is prominently displayed in the center.

DOC

# DOCK



| SYMBOL | MANUFACTURER/CATALOG NUMBER | PAT. | RD | PSI | GPM | DETAILS | REMARKS |   |   |   |   |   |   |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |    |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |     |   |
|--------|-----------------------------|------|----|-----|-----|---------|---------|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|---|
|        |                             |      |    |     | 1   | 2       | 3       | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 | 101 | 102 | 103 | 104 | 105 | 106 | 107 | 108 | 109 | 110 | 111 | 112 | 113 | 114 | 115 | 116 | 117 | 118 | 119 | 120 | 121 | 122 | 123 | 124 | 125 | 126 | 127 | 128 | 129 | 130 | 131 | 132 | 133 | 134 | 135 | 136 | 137 | 138 | 139 | 140 | 141 | 142 | 143 | 144 | 145 | 146 | 147 | 148 | 149 | 150 | 151 | 152 | 153 | 154 | 155 | 156 | 157 | 158 | 159 | 160 | 161 | 162 | 163 | 164 | 165 | 166 | 167 | 168 | 169 | 170 | 171 | 172 | 173 | 174 | 175 | 176 | 177 | 178 | 179 | 180 | 181 | 182 | 183 | 184 | 185 | 186 | 187 | 188 | 189 | 190 | 191 | 192 | 193 | 194 | 195 | 196 | 197 | 198 | 199 | 200 | 201 | 202 | 203 | 204 | 205 | 206 | 207 | 208 | 209 | 210 | 211 | 212 | 213 | 214 | 215 | 216 | 217 | 218 | 219 | 220 | 221 | 222 | 223 | 224 | 225 | 226 | 227 | 228 | 229 | 230 | 231 | 232 | 233 | 234 | 235 | 236 | 237 | 238 | 239 | 240 | 241 | 242 | 243 | 244 | 245 | 246 | 247 | 248 | 249 | 250 | 251 | 252 | 253 | 254 | 255 | 256 | 257 | 258 | 259 | 260 | 261 | 262 | 263 | 264 | 265 | 266 | 267 | 268 | 269 | 270 | 271 | 272 | 273 | 274 | 275 | 276 | 277 | 278 | 279 | 280 | 281 | 282 | 283 | 284 | 285 | 286 | 287 | 288 | 289 | 290 | 291 | 292 | 293 | 294 | 295 | 296 | 297 | 298 | 299 | 300 | 301 | 302 | 303 | 304 | 305 | 306 | 307 | 308 | 309 | 310 | 311 | 312 | 313 | 314 | 315 | 316 | 317 | 318 | 319 | 320 | 321 | 322 | 323 | 324 | 325 | 326 | 327 | 328 | 329 | 330 | 331 | 332 | 333 | 334 | 335 | 336 | 337 | 338 | 339 | 340 | 341 | 342 | 343 | 344 | 345 | 346 | 347 | 348 | 349 | 350 | 351 | 352 | 353 | 354 | 355 | 356 | 357 | 358 | 359 | 360 | 361 | 362 | 363 | 364 | 365 | 366 | 367 | 368 | 369 | 370 | 371 | 372 | 373 | 374 | 375 | 376 | 377 | 378 | 379 | 380 | 381 | 382 | 383 | 384 | 385 | 386 | 387 | 388 | 389 | 390 | 391 | 392 | 393 | 394 | 395 | 396 | 397 | 398 | 399 | 400 | 401 | 402 | 403 | 404 | 405 | 406 | 407 | 408 | 409 | 410 | 411 | 412 | 413 | 414 | 415 | 416 | 417 | 418 | 419 | 420 | 421 | 422 | 423 | 424 | 425 | 426 | 427 | 428 | 429 | 430 | 431 | 432 | 433 | 434 | 435 | 436 | 437 | 438 | 439 | 440 | 441 | 442 | 443 | 444 | 445 | 446 | 447 | 448 | 449 | 450 | 451 | 452 | 453 | 454 | 455 | 456 | 457 | 458 | 459 | 460 | 461 | 462 | 463 | 464 | 465 | 466 | 467 | 468 | 469 | 470 | 471 | 472 | 473 | 474 | 475 | 476 | 477 | 478 | 479 | 480 | 481 | 482 | 483 | 484 | 485 | 486 | 487 | 488 | 489 | 490 | 491 | 492 | 493 | 494 | 495 | 496 | 497 | 498 | 499 | 500 | 501 | 502 | 503 | 504 | 505 | 506 | 507 | 508 | 509 | 510 | 511 | 512 | 513 | 5 |

ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND COUNTY CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF DENVER.

CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.

CONTRACTOR SHALL PROVIDE AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. THE DRAWING SHALL BE PROVIDED TO THE CITY AND COUNTY OF DENVER FOR WINTERIZATION. SPRINKLER SYSTEM SHALL BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.

CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENDORSEMENTS AND APPROVALS FROM THE CITY AND COUNTY OF DENVER FOR ALL MATERIALS USED FOR ANY PURPOSES.

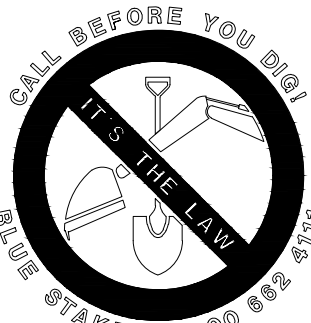
CONTRACTOR SHALL MAINTAIN BRIGRATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LANDSCAPE AND UNDER-GRASS NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE.

LANDSCAPE CONTRACTOR SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WELLS COVERED BY THE LANDSCAPE. SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY AND COUNTY OF DENVER.

SEPARATE SLEEVES NOT SHOWN. ALL CONTRACTOR WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. ALL SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY AND COUNTY OF DENVER. CONTRACTOR SHALL MAINTAIN ALL SLEEVES INSTALLED SHALL BE TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY AND COUNTY OF DENVER.

REMOVE STAKES (ONCE BRIGRATION SYSTEM IS COMPLETE).

CONTRACTOR SHALL MAINTAIN ALL SLEEVES AND LATERAL LINES SHALL BE NO SMALLER THAN 3/4" UNLESS NOTED ON PLAN. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 12" MAX. 4.00PSI, 3/4" MAX. 4.00PSI, 1/2" MAX. 4.00PSI, 1/4" MAX. 4.00PSI, 1/8" MAX. 4.00PSI, 1/16" MAX. 4.00PSI, 1/32" MAX. 4.00PSI, 1/64" MAX. 4.00PSI, 1/128" MAX. 4.00PSI, 1/256" MAX. 4.00PSI, 1/512" MAX. 4.00PSI, 1/1024" MAX. 4.00PSI, 1/2048" MAX. 4.00PSI, 1/4096" MAX. 4.00PSI, 1/8192" MAX. 4.00PSI, 1/16384" MAX. 4.00PSI, 1/32768" MAX. 4.00PSI, 1/65536" MAX. 4.00PSI, 1/131072" MAX. 4.00PSI, 1/262144" MAX. 4.00PSI, 1/524288" MAX. 4.00PSI, 1/1048576" MAX. 4.00PSI, 1/2097152" MAX. 4.00PSI, 1/4194304" MAX. 4.00PSI, 1/8388608" MAX. 4.00PSI, 1/16777216" MAX. 4.00PSI, 1/33554432" MAX. 4.00PSI, 1/67108864" MAX. 4.00PSI, 1/134217728" MAX. 4.00PSI, 1/268435456" MAX. 4.00PSI, 1/536870912" MAX. 4.00PSI, 1/1073741824" MAX. 4.00PSI, 1/2147483648" MAX. 4.00PSI, 1/4294967296" MAX. 4.00PSI, 1/8589934592" MAX. 4.00PSI, 1/17179869184" MAX. 4.00PSI, 1/34359738368" MAX. 4.00PSI, 1/68719476736" MAX. 4.00PSI, 1/137438953472" MAX. 4.00PSI, 1/274877906944" MAX. 4.00PSI, 1/549755813888" MAX. 4.00PSI, 1/1099511627776" MAX. 4.00PSI, 1/2199023255552" MAX. 4.00PSI, 1/4398046511104" MAX. 4.00PSI, 1/8796093022208" MAX. 4.00PSI, 1/17592186044416" MAX. 4.00PSI, 1/35184372088832" MAX. 4.00PSI, 1/70368744177664" MAX. 4.00PSI, 1/140737488355328" MAX. 4.00PSI, 1/281474976710656" MAX. 4.00PSI, 1/562949953421312" MAX. 4.00PSI, 1/1125899906842624" MAX. 4.00PSI, 1/2251799813685248" MAX. 4.00PSI, 1/4503599627370496" MAX. 4.00PSI, 1/9007199254740992" MAX. 4.00PSI, 1/18014398509481984" MAX. 4.00PSI, 1/36028797018963968" MAX. 4.00PSI, 1/72057594037927936" MAX. 4.00PSI, 1/144115188075855872" MAX. 4.00PSI, 1/288230376151711744" MAX. 4.00PSI, 1/576460752303423488" MAX. 4.00PSI, 1/1152921504606846976" MAX. 4.00PSI, 1/2305843009213693952" MAX. 4.00PSI, 1/4611686018427387904" MAX. 4.00PSI, 1/9223372036854775808" MAX. 4.00PSI, 1/18446744073709551616" MAX. 4.00PSI, 1/36893488147419103232" MAX. 4.00PSI, 1/73786976294838206464" MAX. 4.00PSI, 1/147573952589676412928" MAX. 4.00PSI, 1/295147905179352825856" MAX. 4.00PSI, 1/590295810358705651712" MAX. 4.00PSI, 1/1180591620717411303424" MAX. 4.00PSI, 1/2361183241434822606848" MAX. 4.00PSI, 1/4722366482869645213696" MAX. 4.00PSI, 1/9444732965739290427392" MAX. 4.00PSI, 1/18889465931478580854784" MAX. 4.00PSI, 1/37778931862957161709568" MAX. 4.00PSI, 1/75557863725914323419136" MAX. 4.00PSI, 1/151115727451828646838272" MAX. 4.00PSI, 1/302231454903657293676544" MAX. 4.00PSI, 1/604462909807314587353088" MAX. 4.00PSI, 1/1208925819614629174706176" MAX. 4.00PSI, 1/2417851639229258349412352" MAX. 4.00PSI, 1/4835703278458516698824704" MAX. 4.00PSI, 1/9671406556917033397649408" MAX. 4.00PSI, 1/19342813113834066795298816" MAX. 4.00PSI, 1/38685626227668133590597632" MAX. 4.00PSI, 1/77371252455336267181195264" MAX. 4.00PSI, 1/154742504910672534362390528" MAX. 4.00PSI, 1/309485009821345068724781056" MAX. 4.00PSI, 1/618970019642690137449562112" MAX. 4.00PSI, 1/1237940039285380274899124224" MAX. 4.00PSI, 1/2475880078570760549798248448" MAX. 4.00PSI, 1/4951760157141521099596496896" MAX. 4.00PSI, 1/9903520314283042199192993792" MAX. 4.00PSI, 1/19807040628566084398385987584" MAX. 4.00PSI, 1/39614081257132168796771975168" MAX. 4.00PSI, 1/79228162514264337593543950336" MAX. 4.00PSI, 1/158456325028528675187087900672" MAX. 4.00PSI, 1/316912650057057350374175801344" MAX. 4.00PSI, 1/633825300114114700748351602688" MAX. 4.00PSI, 1/1267650600228229401496703205376" MAX. 4.00PSI, 1/2535301200456458802993406410752" MAX. 4.00PSI, 1/5070602400912917605986812821504" MAX. 4.00PSI, 1/10141204801825835211973625643008" MAX. 4.00PSI, 1/20282409603651670423947251286016" MAX. 4.00PSI, 1/40564819207303340847894502572032" MAX. 4.00PSI, 1/81129638414606681695789005144064" MAX. 4.00PSI, 1/162259276829213363391778010288128" MAX. 4.00PSI, 1/324518553658426726783556020576256" MAX. 4.00PSI, 1/649037107316853453567112041152512" MAX. 4.00PSI, 1/1298074214633706907134224082305024" MAX. 4.00PSI, 1/2596148429267413814268448164610048" MAX. 4.00PSI, 1/5192296858534827628536896329220096" MAX. 4.00PSI, 1/10384593717069655257073792658440



**In Site**  
**DESIGN GROUP**  
Landscape Architecture and Planning  
17 North 470 West American Fork, Utah 84003  
801.755.5143    [www.in-sitedesigngroup.com](http://www.in-sitedesigngroup.com)  
[architects@in-sitedesigngroup.com](mailto:architects@in-sitedesigngroup.com)

CONSULTANTS:

STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

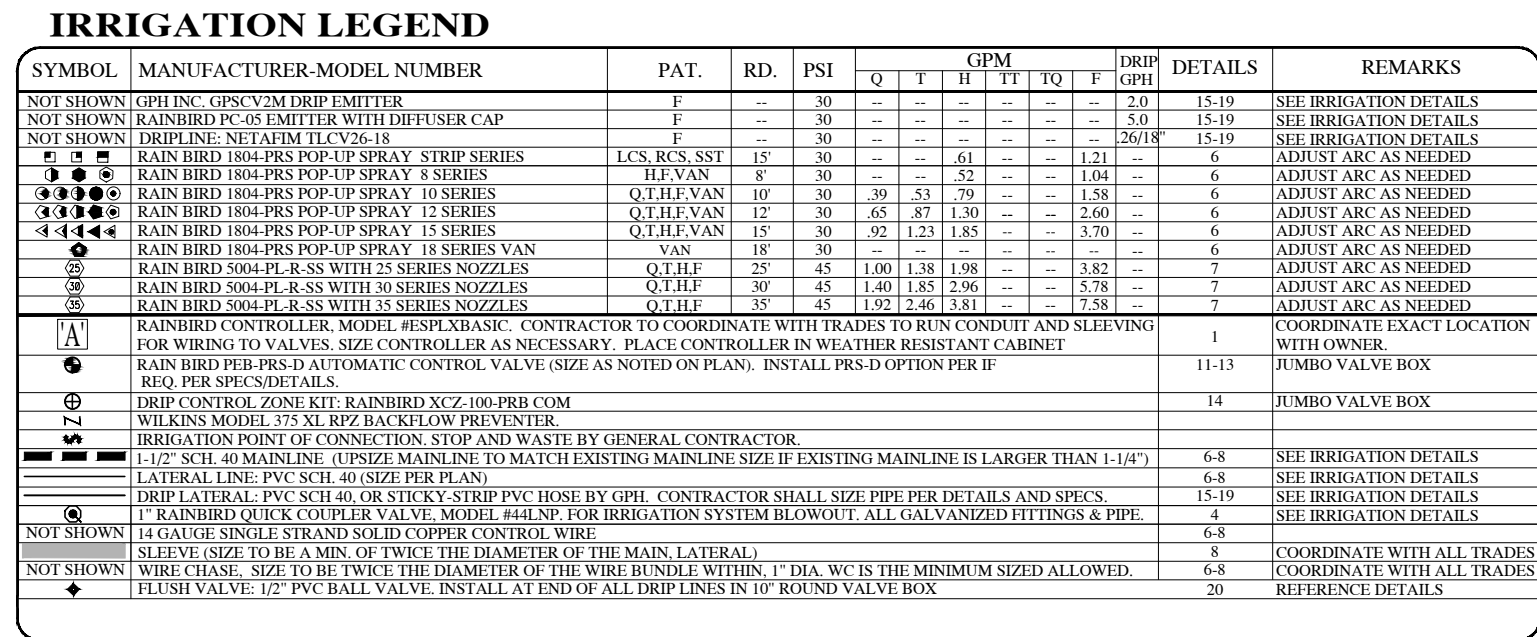
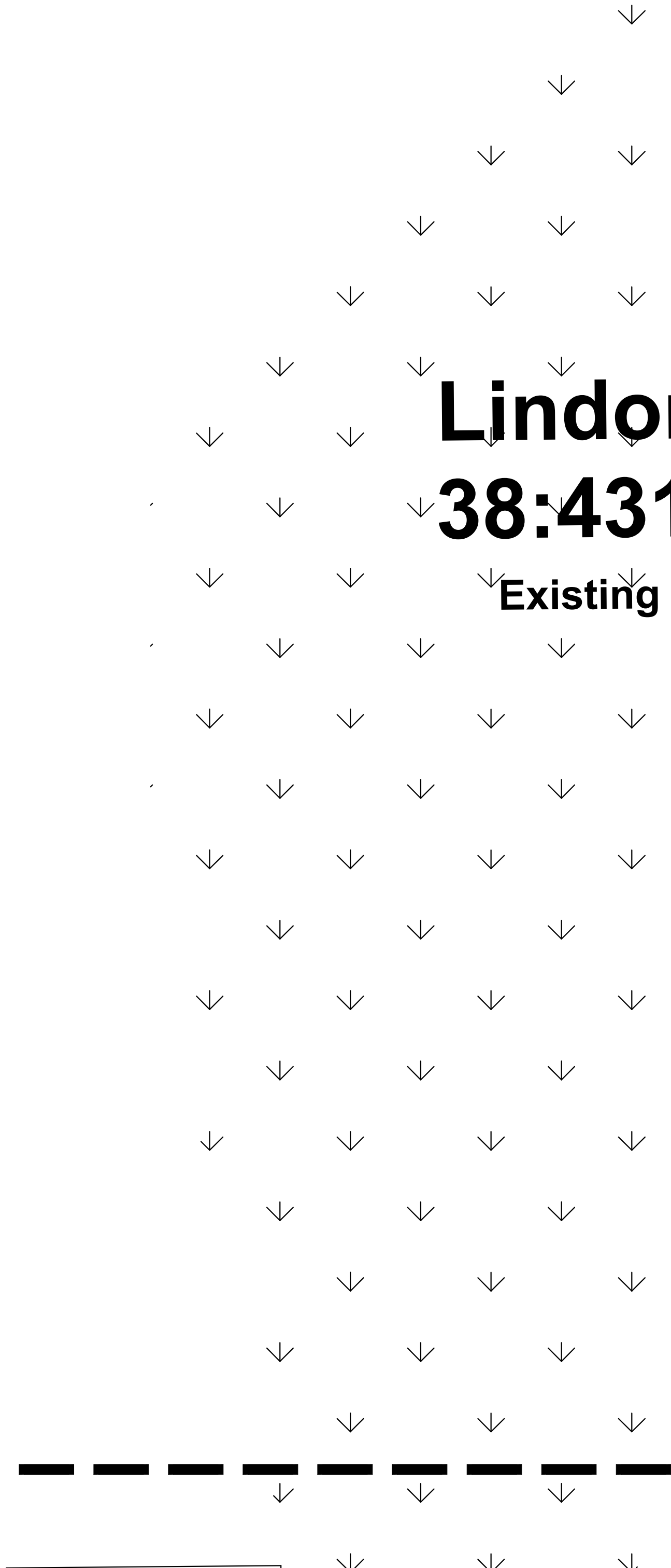
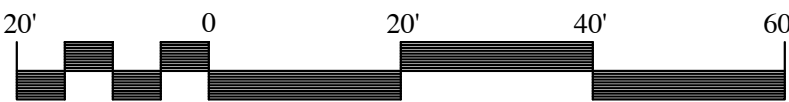
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

TITLE: SCHEMATIC IRRIGATION PLAN

DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

SHEET:  
LS2.2

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006

[illegible]

SCALE: 1"=20'-0" ON 24X36 SHEET



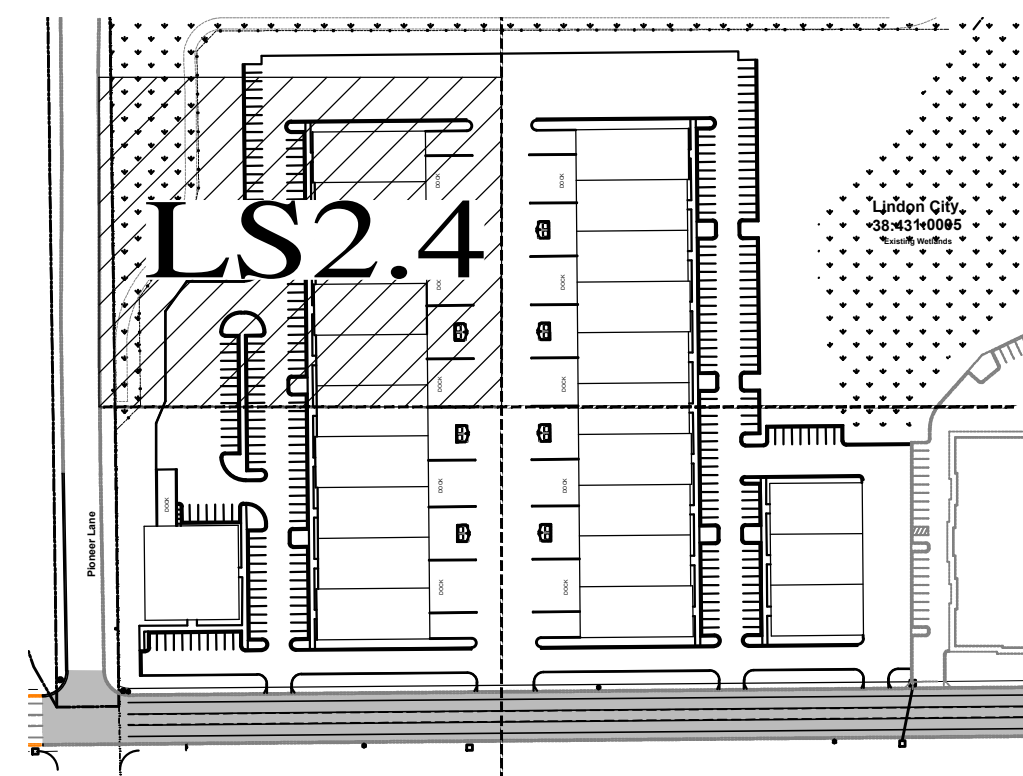
**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

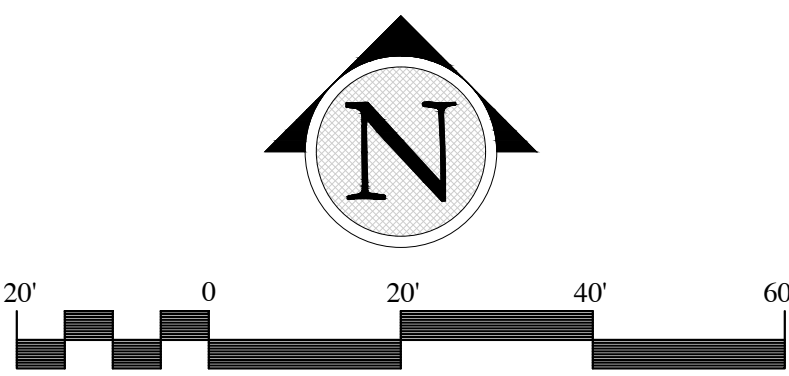
DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS: \_\_\_\_\_  
JOB NO. 20-150

SHEET: **LS2.3**

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



| IRRIGATION LEGEND                                                                   |              |                                |             |      |     |     |       |    |   |   |         |         |                        |
|-------------------------------------------------------------------------------------|--------------|--------------------------------|-------------|------|-----|-----|-------|----|---|---|---------|---------|------------------------|
| SYMBOL                                                                              | MANUFACTURER | MODEL NUMBER                   | PAT.        | RD.  | PSI | GPM | DRIIP |    |   |   | DETAILS | REMARKS |                        |
|                                                                                     |              |                                | F           | T    |     | Q   | T     | H  | T | Q | F       |         |                        |
| NOT SHOWN                                                                           | IRPINC       | 105CM CTR DRIEMITTEE           | F           | —    | —   | —   | —     | —  | — | — | —       | 15-19   | SEE IRRIGATION DETAILS |
| NOT SHOWN                                                                           | IRPINC       | 105CM CTR WITH DISTRIBUTOR CAP | F           | —    | —   | —   | —     | —  | — | — | 5.0     | 19-19   | SEE IRRIGATION DETAILS |
|  | RAIN BIRD    | 100PS POPUP SPRAY SERIES       | L.S.        | R.S. | 15' | 30  | 61    | —  | — | — | 1.21    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    | 79 | — | — | 1.58    | 6       | ADD ST ARC AS NEEDED   |
|  | RAIN BIRD    | 100PS POPUP SPRAY TO SERIES    | Q.T.J.V.L.N | —    | 30  | 30  | 33    |    |   |   |         |         |                        |

[illegible]

SCALE: 1"=20'-0" ON 24X36 SHEET



**In Site**  
**DESIGN GROUP**  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801.756.5043 [www.in-sitedesigngroup.com](http://www.in-sitedesigngroup.com)  
[architects@in-sitedesigngroup.com](mailto:architects@in-sitedesigngroup.com)

CONSULTANTS:



STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH

## PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PROJECT:

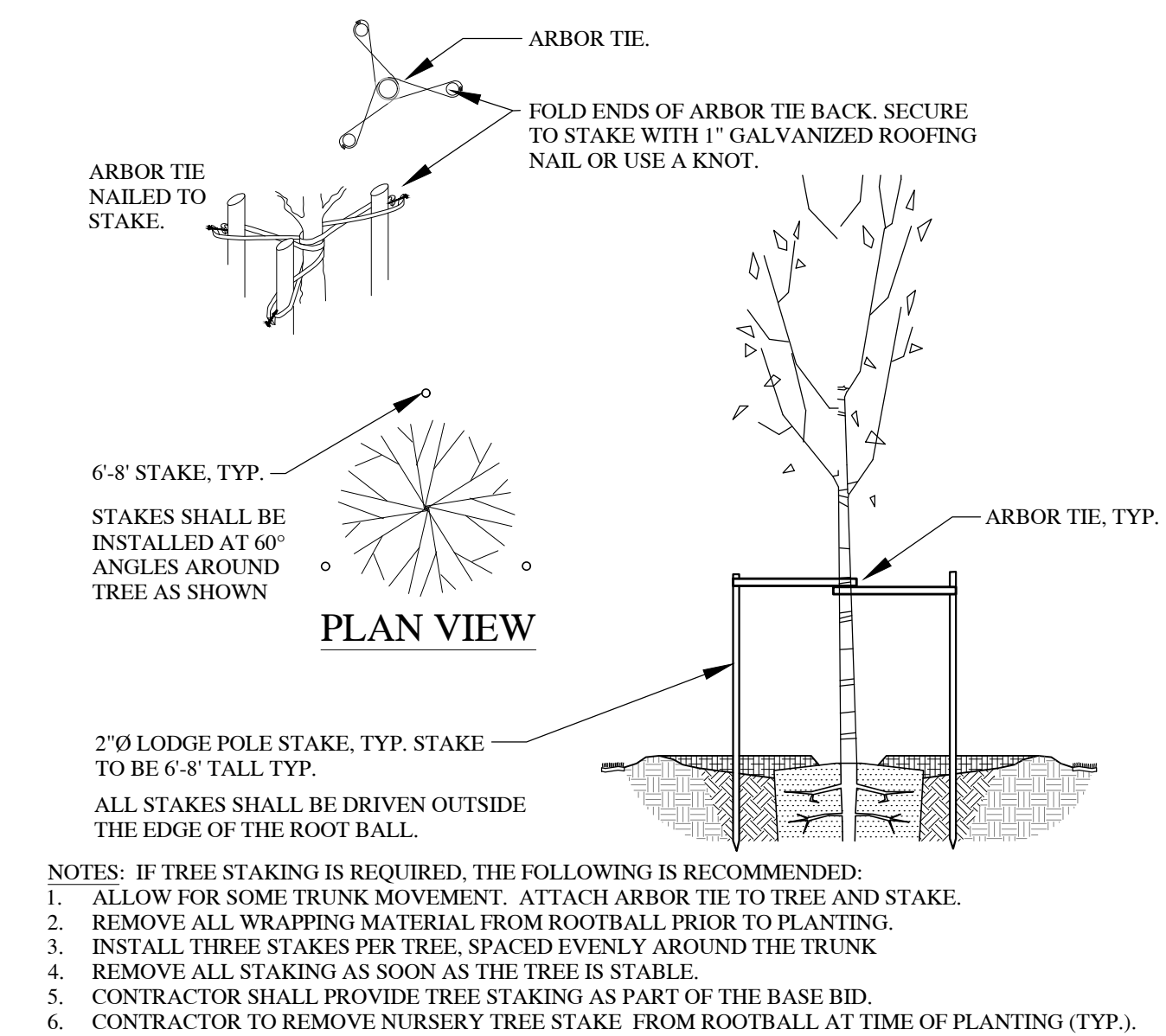
SHEET 111 OF 111

DRAWN BY: LCS  
 CHECKED: DGW  
 DATE: 12-28-2020  
 REVISIONS: \_\_\_\_\_  
 \_\_\_\_\_  
 JOB NO. 20-150

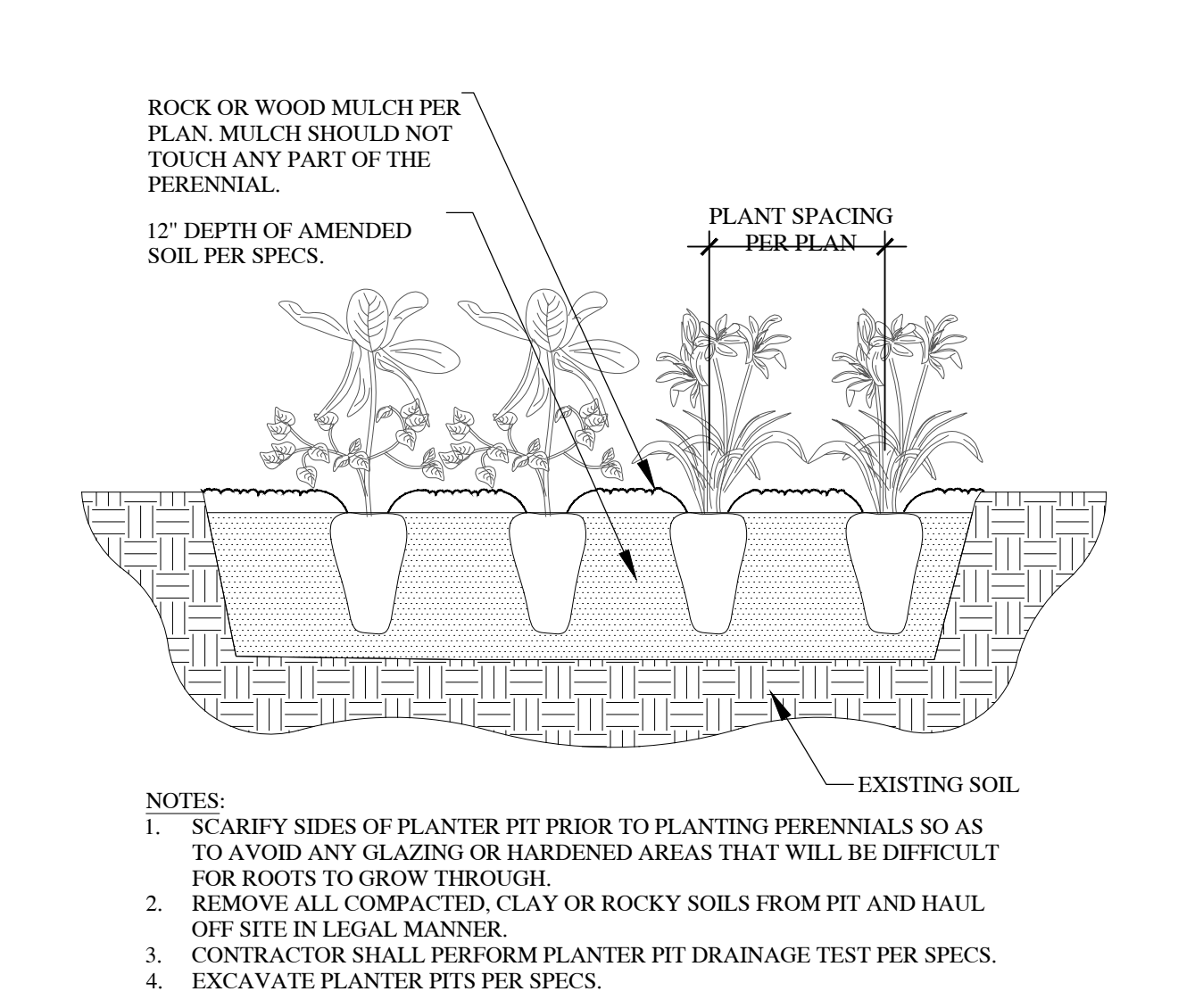
SHEET

LS2.4

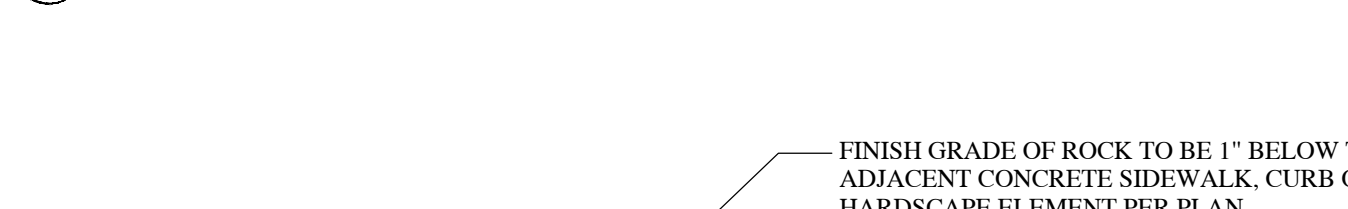
THIS DRAWING IS THE INTELLECTUAL PROPERTY OF N-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF N-SITE DESIGN GROUP. COPYRIGHT © 2006



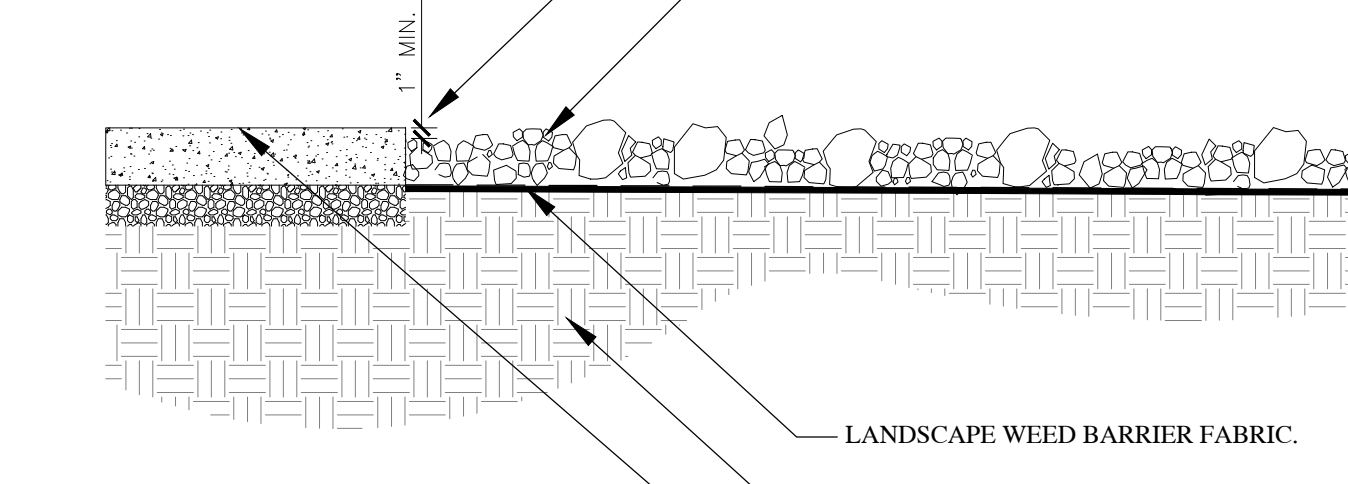
1 TREE STAKING SCALE: NTS



2 DECIDUOUS TREE PLANTING SCALE: NTS



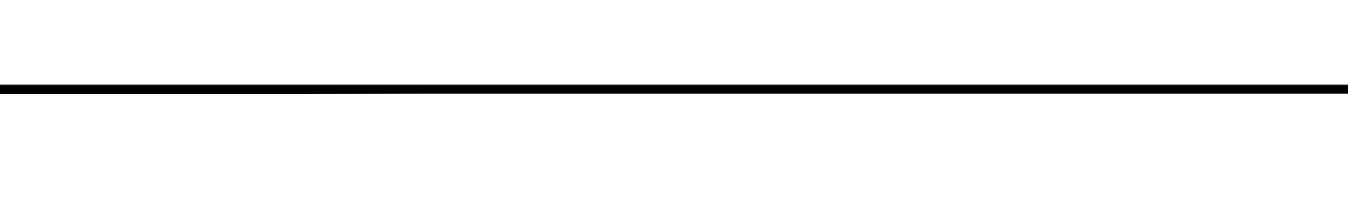
3 TREE WELL IN TURF AREA SCALE: NTS



4 SHRUB & ORNAMENTAL GRASS PLANTING SCALE: NTS



5 PERENNIAL PLANTING SCALE: NTS



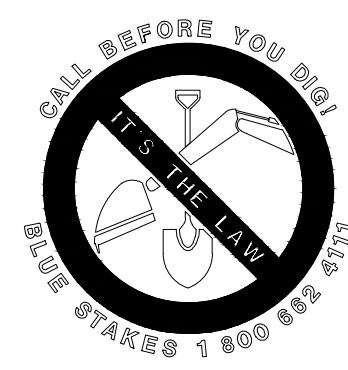
6 SOD LAYING AND EDGE SCALE: NTS



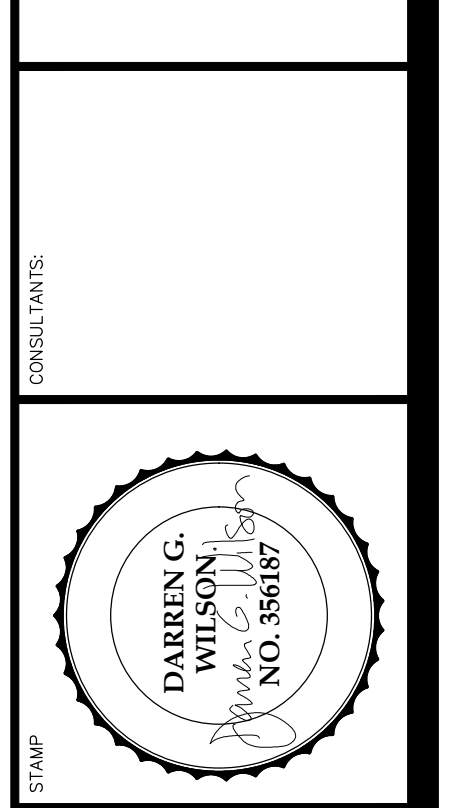
7 CONCRETE MOW CURB SCALE: NTS



8 COBBLE ROCK AND WEED BARRIER FABRIC SCALE: NTS



**InSite**  
DESIGN GROUP  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801-756-3443 www.in-sitedesigngroup.com  
architect@in-sitedesigngroup.com

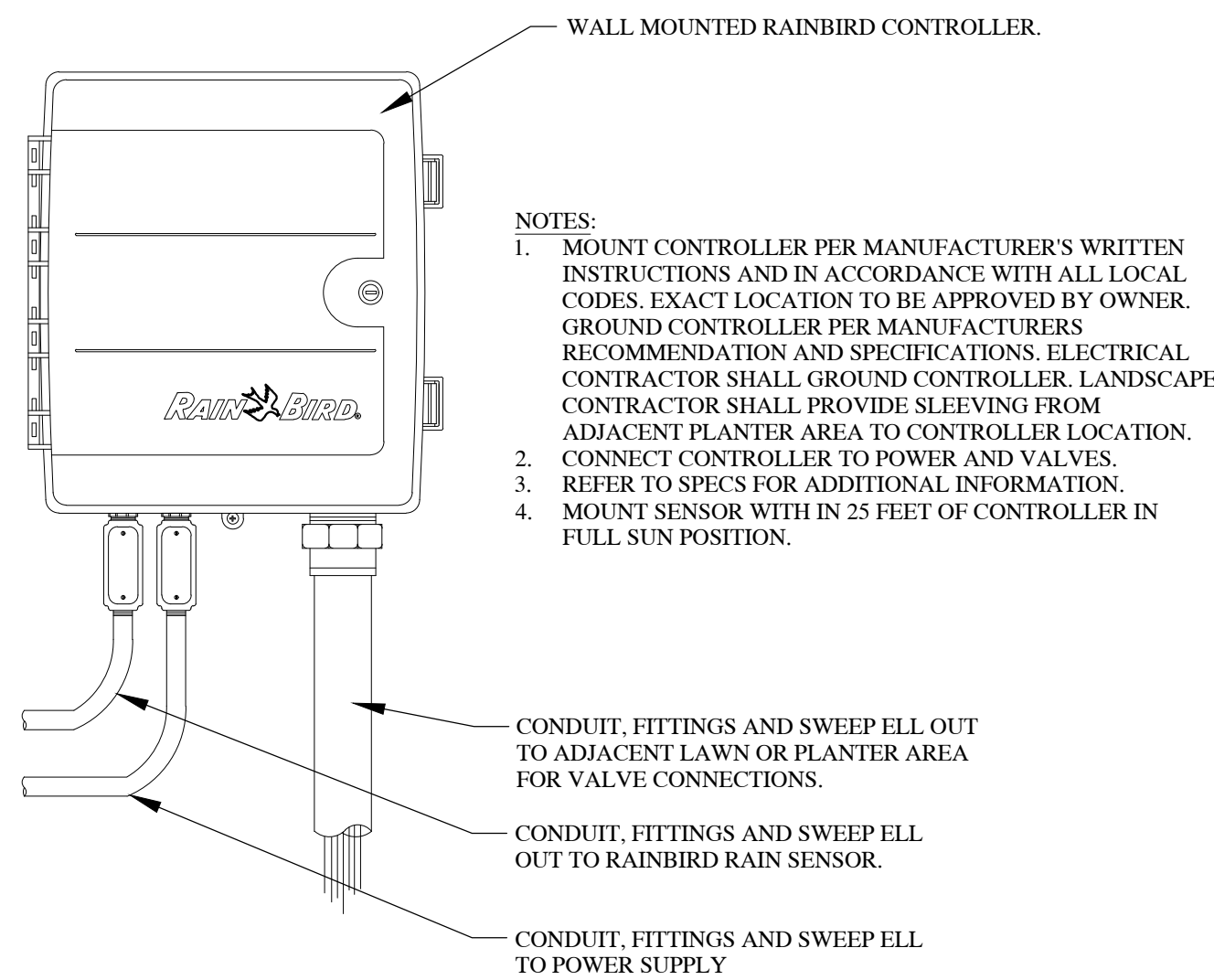


**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
PRELIMINARY PLAN - NOT FOR CONSTRUCTION

PLANTING  
DETAILS

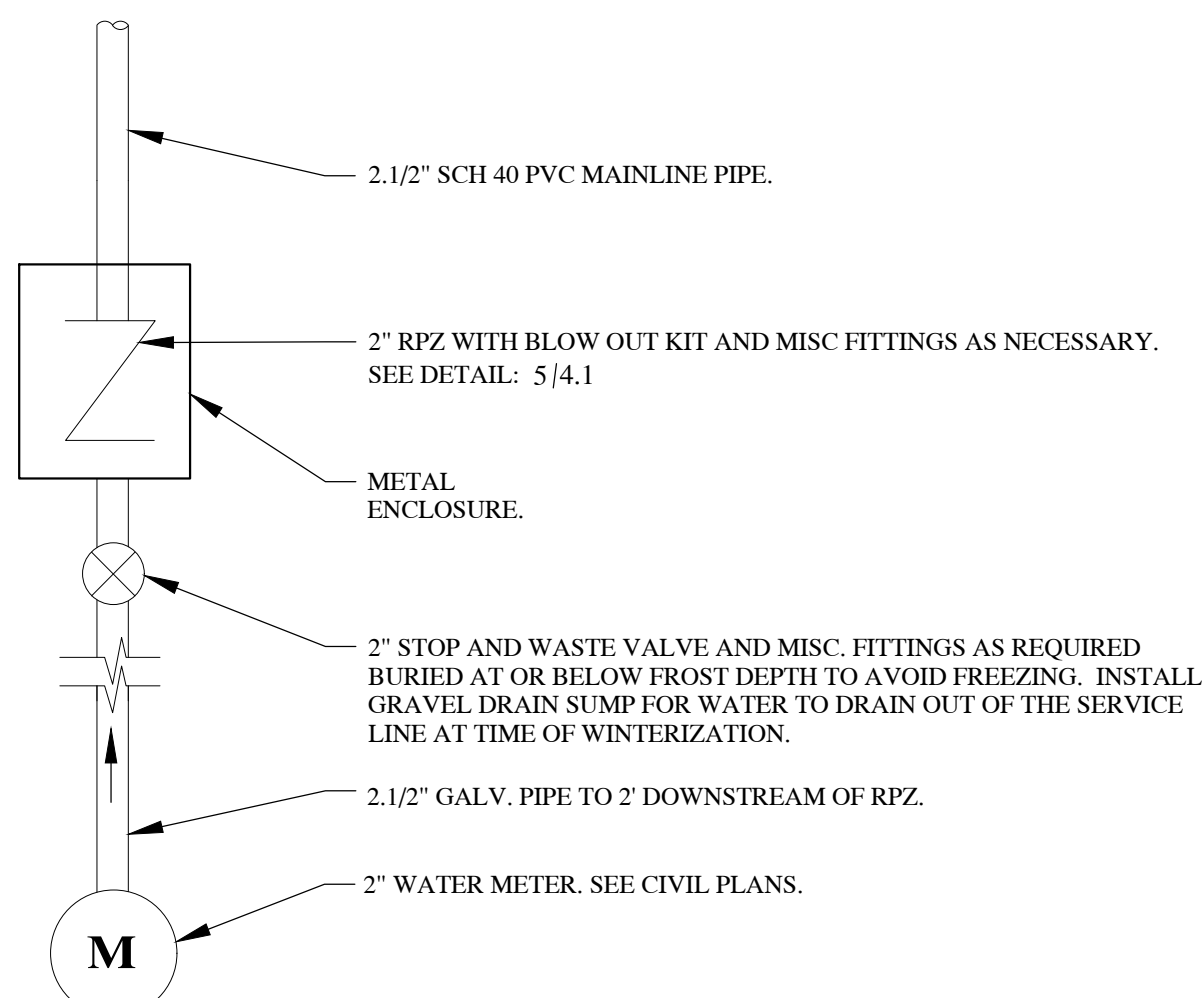
DRAWN BY: LCS  
CHECKED: DGW  
DATE: 12-28-2020  
REVISIONS:  
JOB NO. 20-150  
SHEET: LS3.1

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



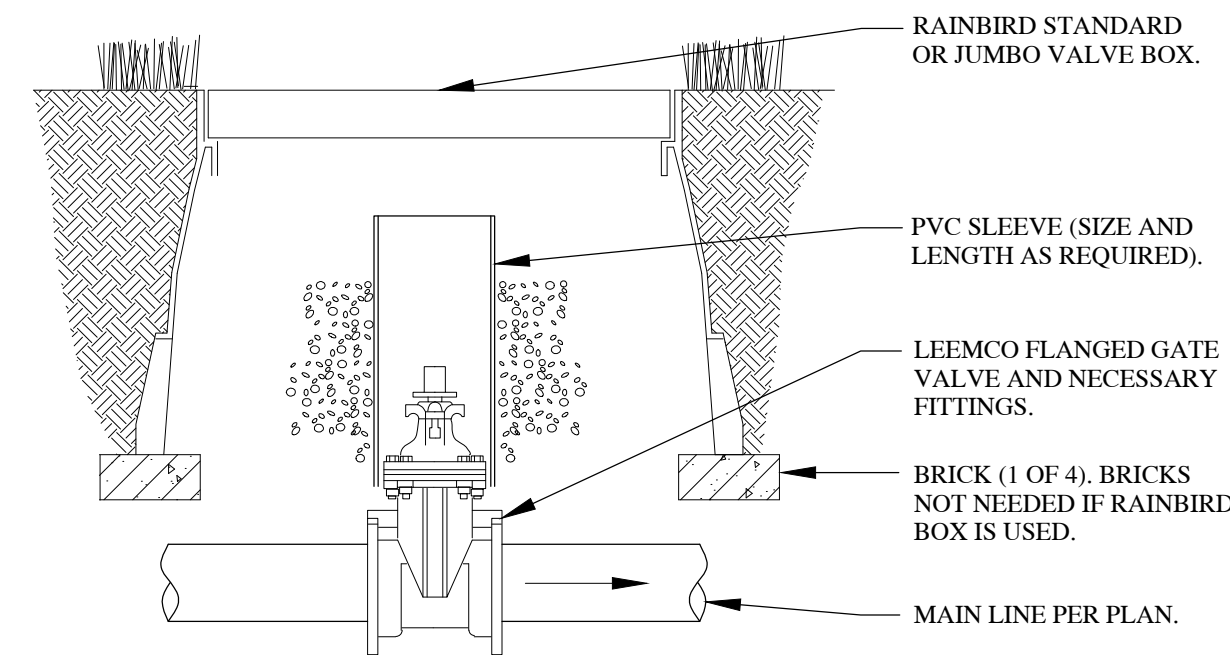
1 CONTROLLER WITH SENSOR

SCALE: NTS



2 2.1/2" POINT OF CONNECTION

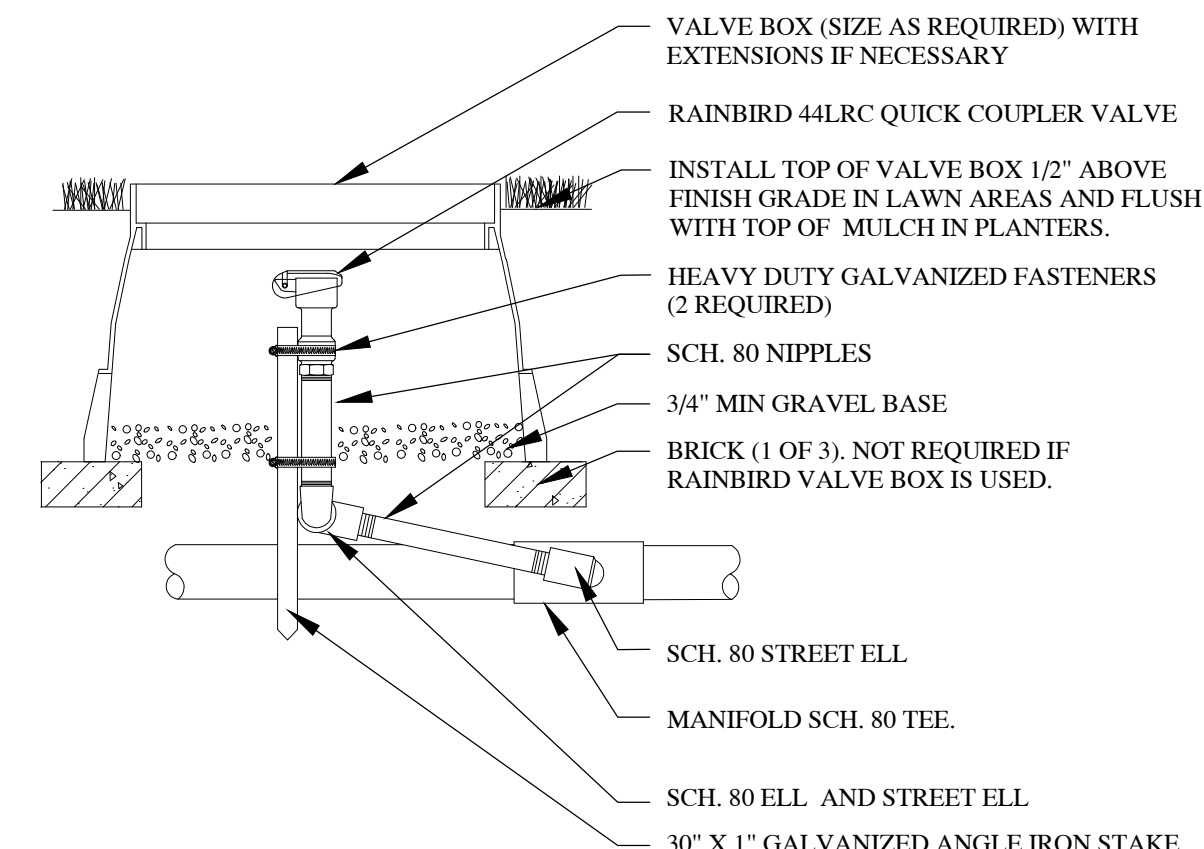
SCALE: NTS



- NOTES:
1. PROVIDE OWNER WITH (2) OPERATING KEYS.
  2. INSTALL FLANGE X BELL ADAPTER TO CONNECT PVC PIPE TO LEEMCO VALVE.
  3. LINE SIZE ISOLATION VALVES AND FITTING.

3 MAINLINE GATE VALVE

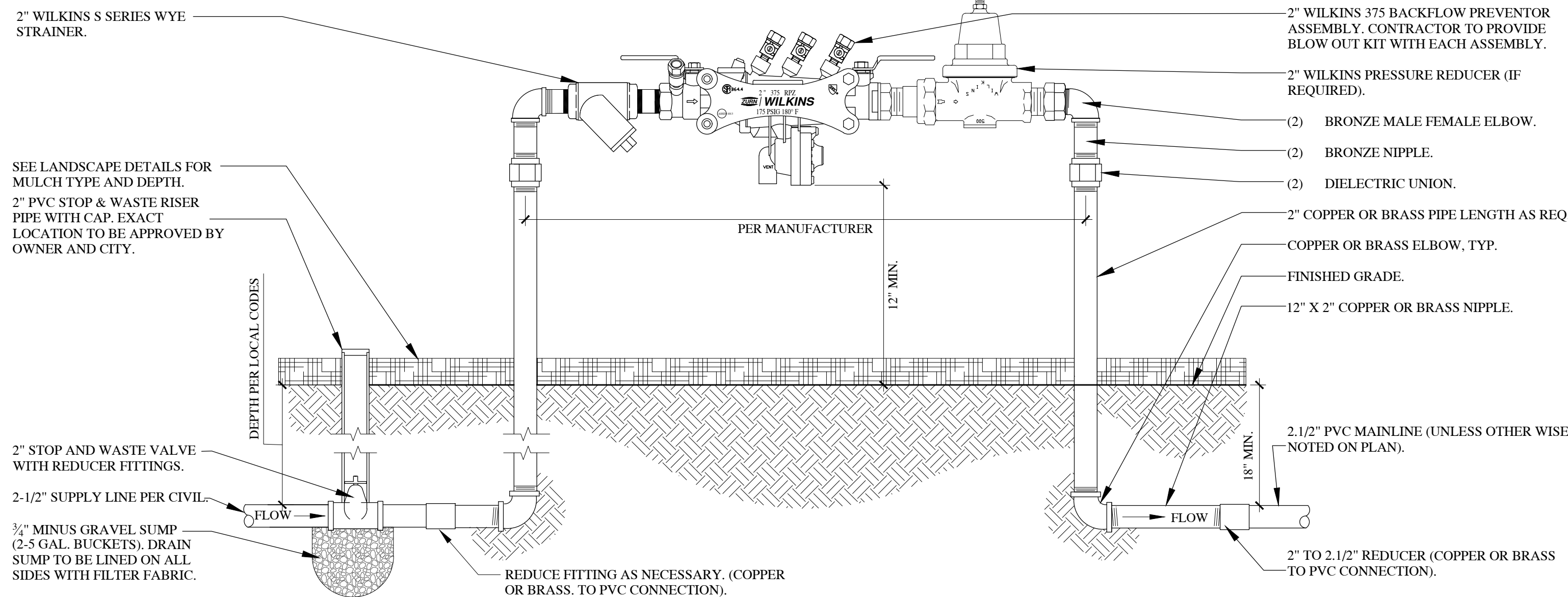
SCALE: NTS



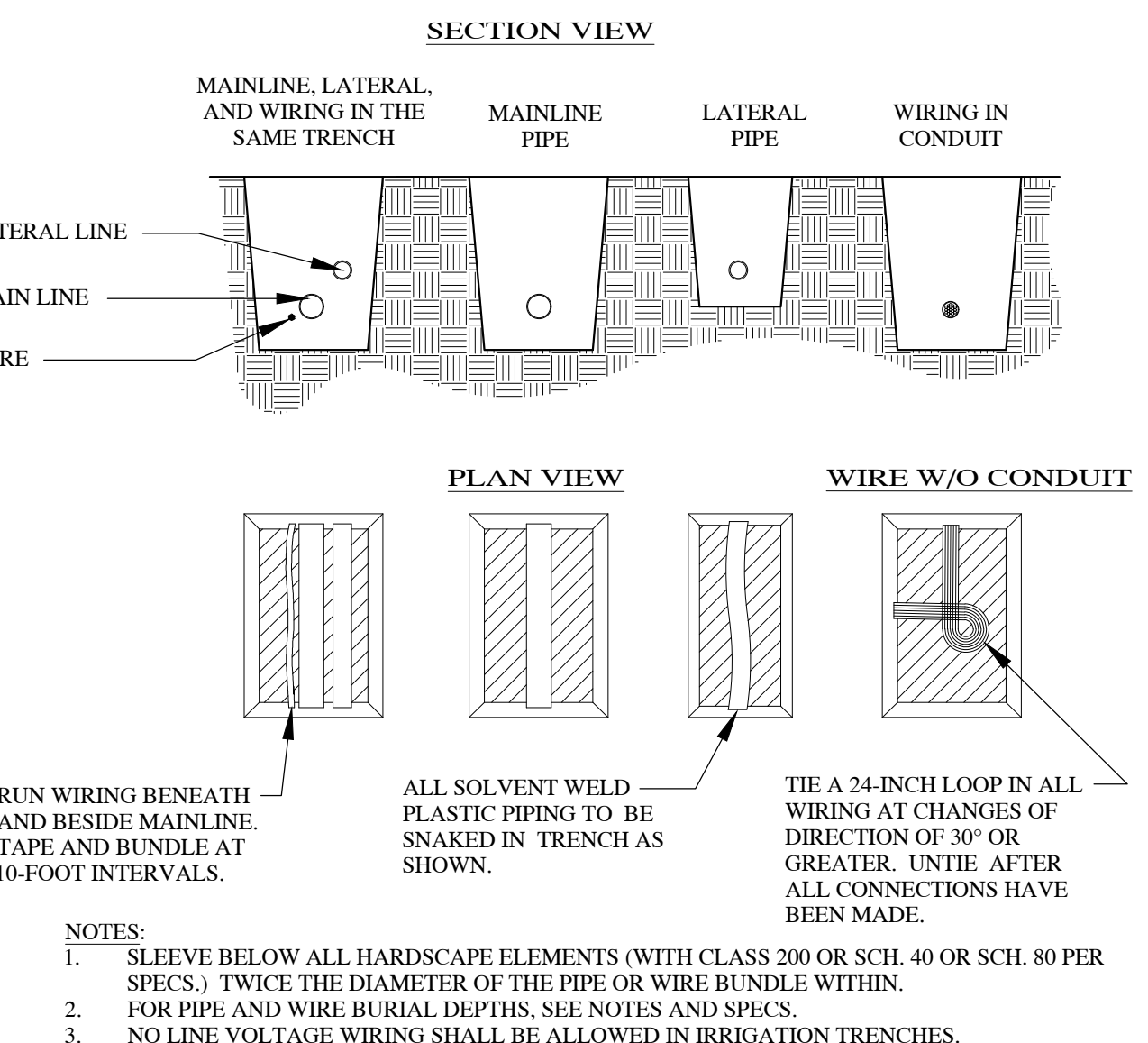
- NOTES:
1. FLUSH ALL PIPING PRIOR TO INSTALLING VALVE.
  2. WRAP ALL THREADS WITH TEFLON TAPE. 1 1/2 TO 2 WRAPS MAXIMUM.
  3. COMPACT SOILS AROUND VALVE BOX TO 80% OF ORIGINAL DRY DENSITY.
  4. INSTALL GEOFABRIC UNDER VALVE BOXES AND TAPE TO PIPE NIPPLES AND VALVE BOX.
  5. BOX COLOR - GREEN IN TURF AND TAN IN PLANTER AREAS.
  6. IRRIGATION SYSTEM TO BE BLOWN OUT WITH AIR COMPRESSOR THROUGH THE RPZ AND QUICK COUPLERS BEFORE FREEZING TEMPERATURES OCCUR. TYP.
  7. SCH 80 PVC TEE OR ELLS CAN BE USED ON ALL QUICK COUPLERS EXCEPT AT POINT OF CONNECTION (IF QUICK COUPLER(S) ARE INSTALLED AT THE POINT OF CONNECTION). ALL QUICK COUPLER FITTINGS AND NIPPLES AT P.O.C. QUICK COUPLER(S) TO BE GALVANIZED.

4 QUICK COUPLER VALVE

SCALE: NTS

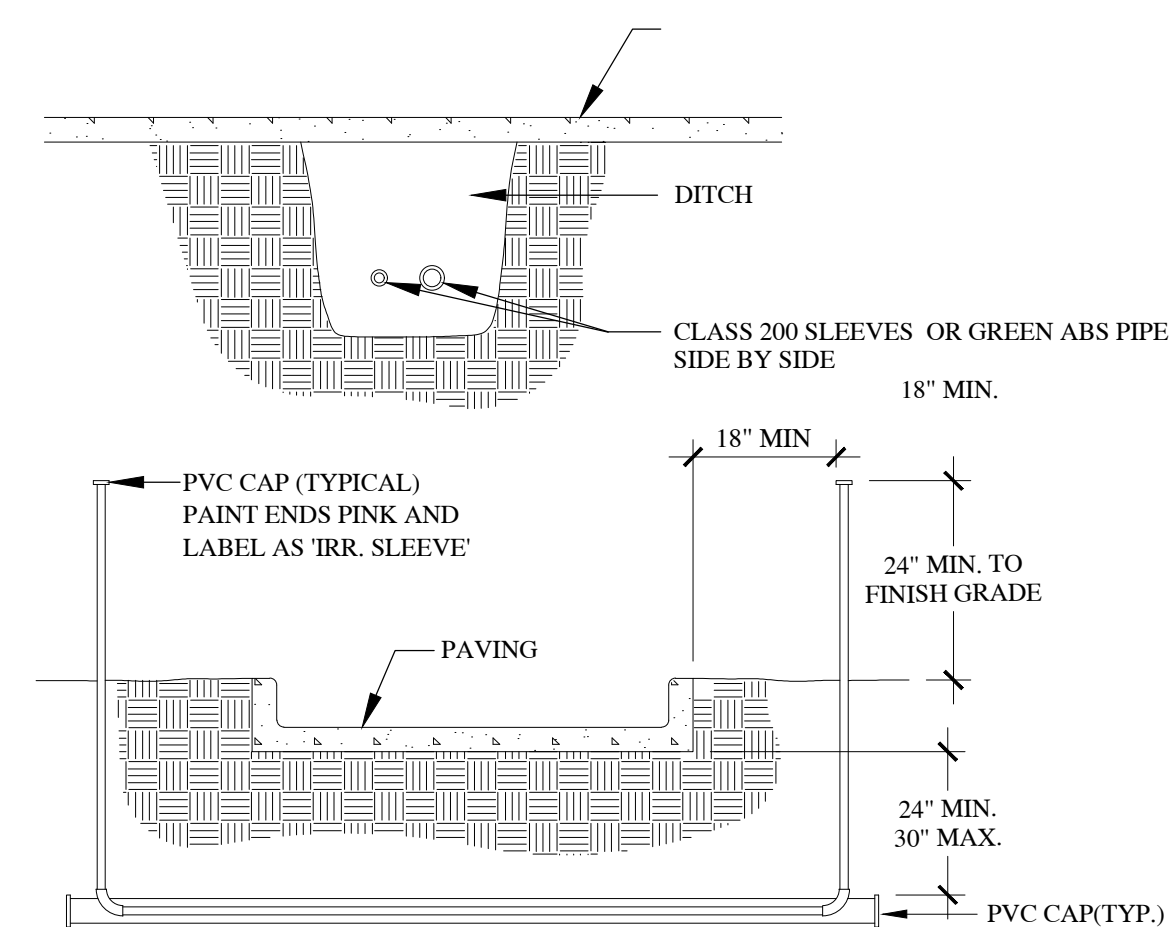


5 2" BACKFLOW PREVENTOR



7 PIPE, WIRE, AND TRENCH

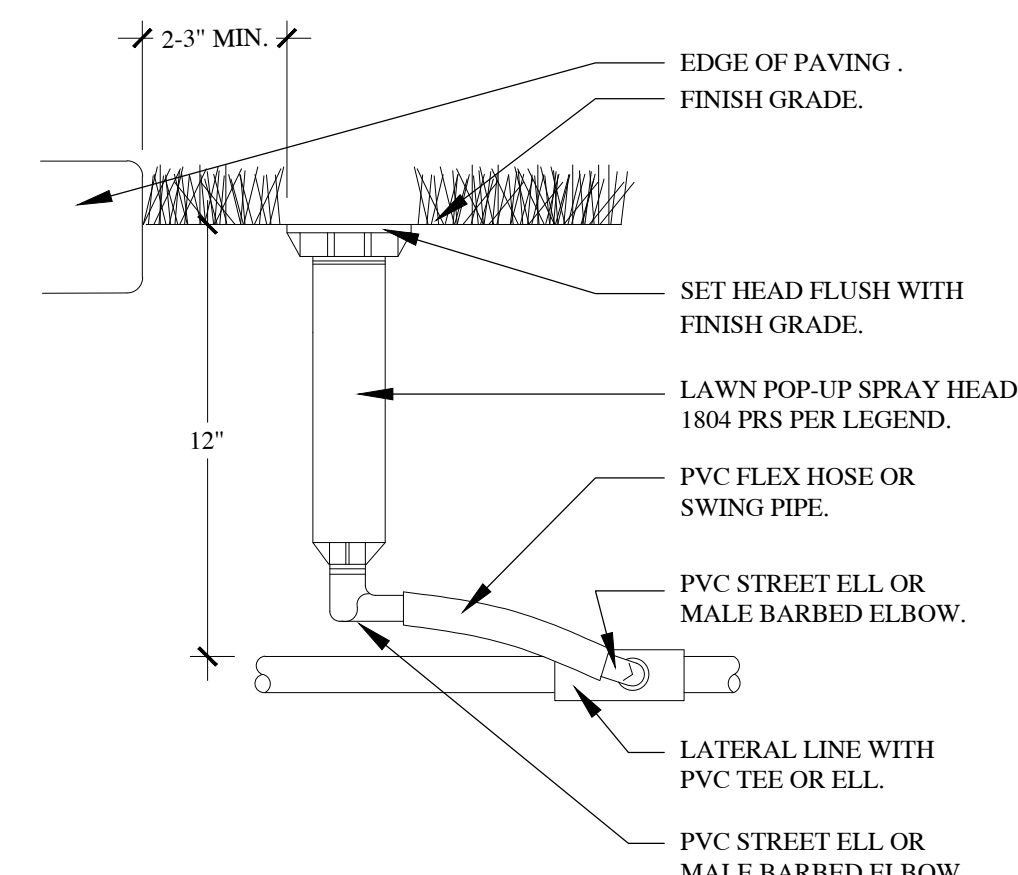
SCALE: NTS



- NOTE:
1. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
  2. ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.

8 SLEEVING

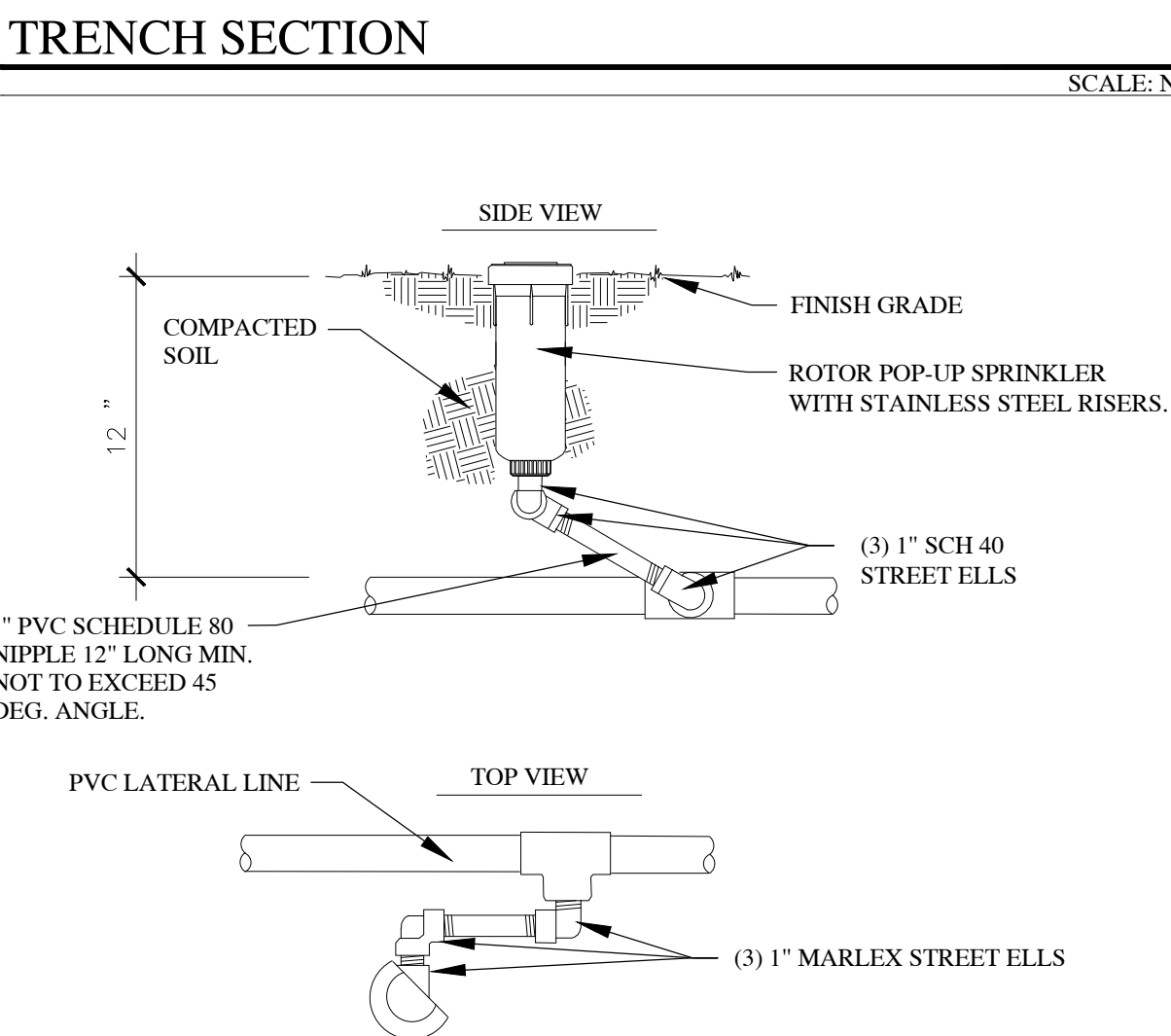
SCALE: NTS



- NOTE:
1. USE VAN OR HE VAN NOZZLES AS NEEDED TO KEEP WATER OFF SIDEWALK AND BUILDING.
  2. LATERAL LINES SHALL BE KEPT MIN. 12" FROM ALL SIDEWALKS AND CURBS.
  3. INSTALL SAM FEATURE FOR SLOPED LAWN AREAS WHERE LOW HEAD DRAINAGE MAY OCCUR.

9 POP-UP SPRAY

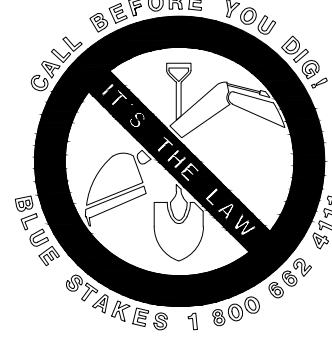
SCALE: NTS



- NOTES:
1. INSTALL ROTORS 2"-3" AWAY FROM HARDSCAPE PAVING AND 12" AWAY FROM WALLS, BUILDINGS, FENCES OR OTHER STRUCTURES.
  2. ALL ROTORS TO HAVE STAINLESS STEEL RISERS.
  3. FOR ROTORS WITH FLOWS LESS THAN 8 GPM, STREET ELLS, TEES AND NIPPLES MAY BE 3/4" IN SIZE.
  4. LATERAL LINES SHALL BE KEPT MIN. 12" FROM ALL SIDEWALKS AND CURBS.

10 ROTOR HEAD

SCALE: NTS



**InSite**  
DESIGN GROUP  
Landscape Architecture Land Planning  
17 North 470 West American Fork, Utah 84003  
801.756.3443 www.in-sitedesigngroup.com  
architect@in-sitedesigngroup.com

CONSULTANTS:



STAMP

**EASTLAKE LOT 5**  
VINEYARD PROPERTIES OF UTAH  
71 EAST 1750 NORTH  
**PRELIMINARY PLAN - NOT FOR CONSTRUCTION**

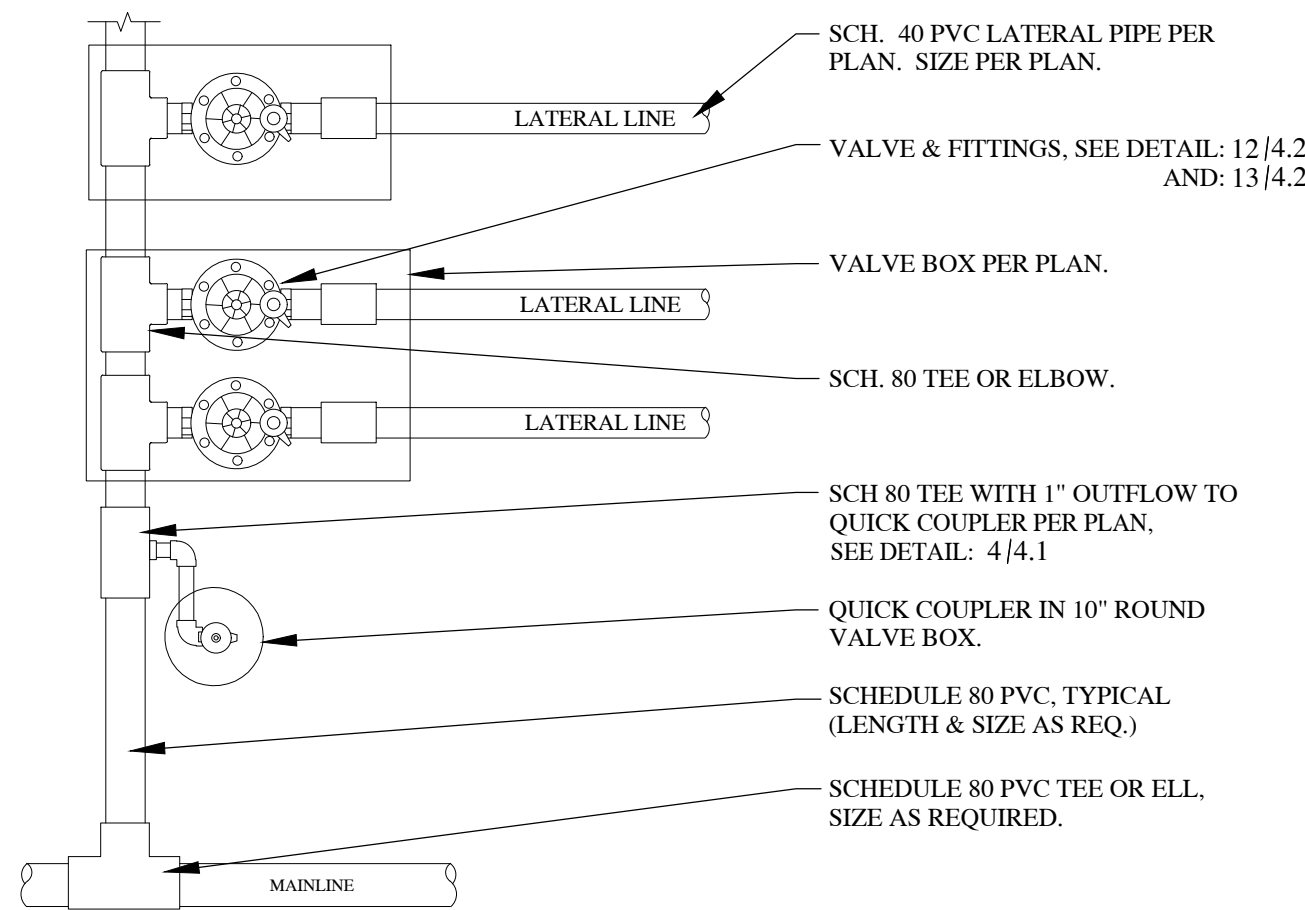
PROJECT:

SHEET TITLE:

**IRRIGATION  
DETAILS**

DRAWN BY: **LCS**  
CHECKED: **DGW**  
DATE: **12-28-2020**  
REVISIONS:  
JOB NO. **20-150**  
SHEET: **LS4.1**

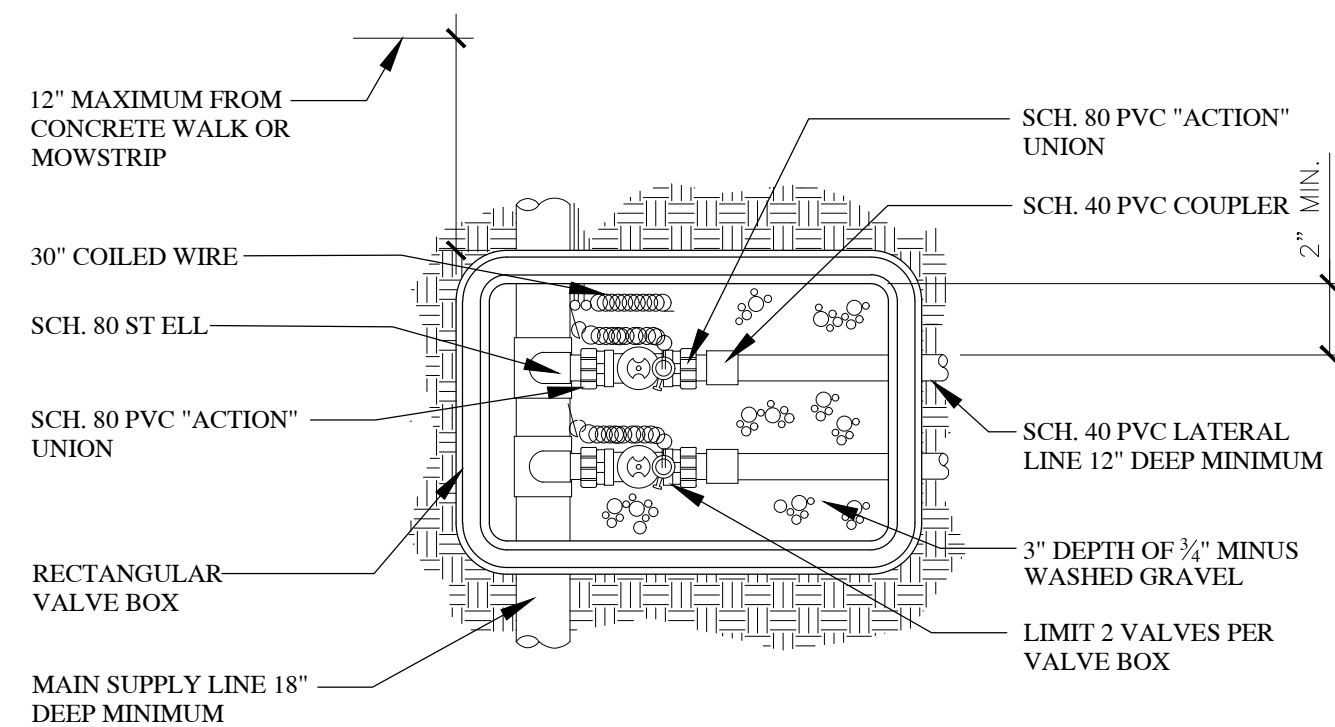
THIS DRAWING IS THE INTELLECTUAL PROPERTY OF IN-SITE DESIGN GROUP. DO NOT COPY OR REPRODUCE IN ANY WAY WITHOUT THE EXPRESS WRITTEN PERMISSION OF IN-SITE DESIGN GROUP. COPYRIGHT © 2006



- NOTES:
1. ALL VALVE MANIFOLD PIPING AND FITTINGS TO BE SCH. 80 FITTINGS, UNLESS THERE IS A DRIP ZONE ALL BY ITSELF IN WHICH CASE THE PIPING SHALL BE SIZED PER THE FLOW OF THE DRIP ZONE.
  2. MODIFY MANIFOLD AS NECESSARY DEPENDING ON HOW MANY VALVES ARE IN A CLUSTER.
  3. MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.

#### VALVE MANIFOLD

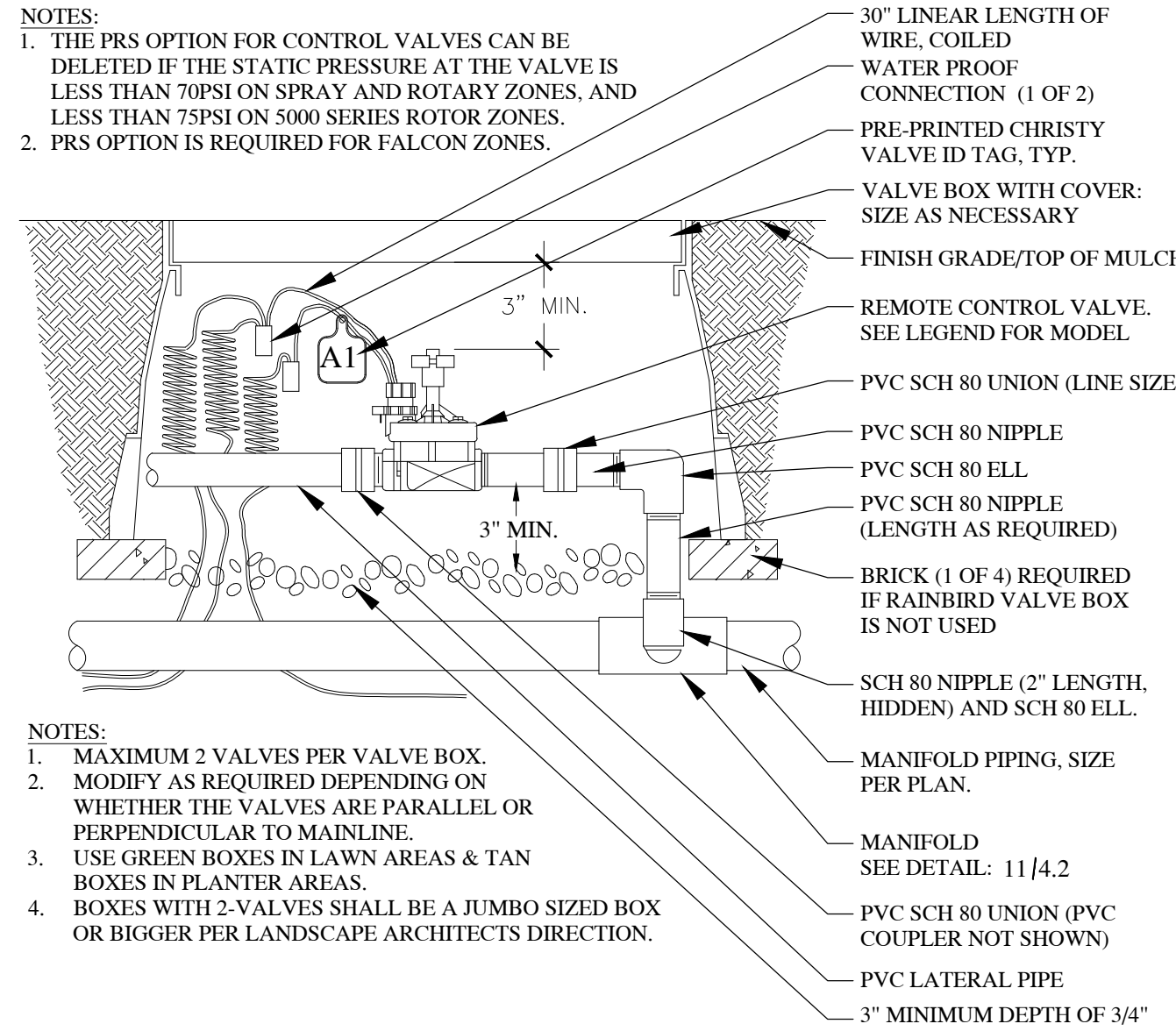
SCALE: NTS



- NOTE:
1. ADD PRE-PRINTED CHRISTY I.D. TAGS TO ALL NEW CONTROL VALVES AND CONTROL ZONE KITS. COORDINATE AND LABEL ALL CONTROL WIRE AT CONTROLLER WITH EACH VALVE IN THE FIELD, TYP.

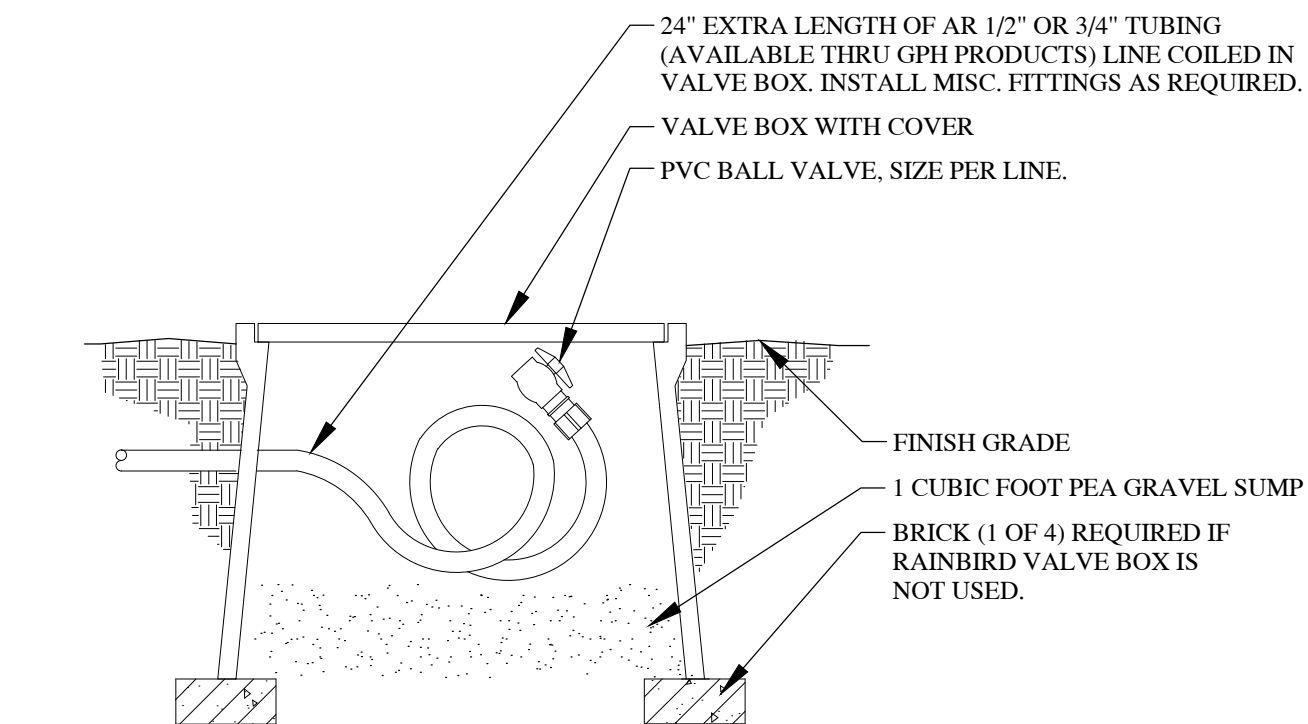
#### VALVE ASSEMBLY

SCALE: NTS



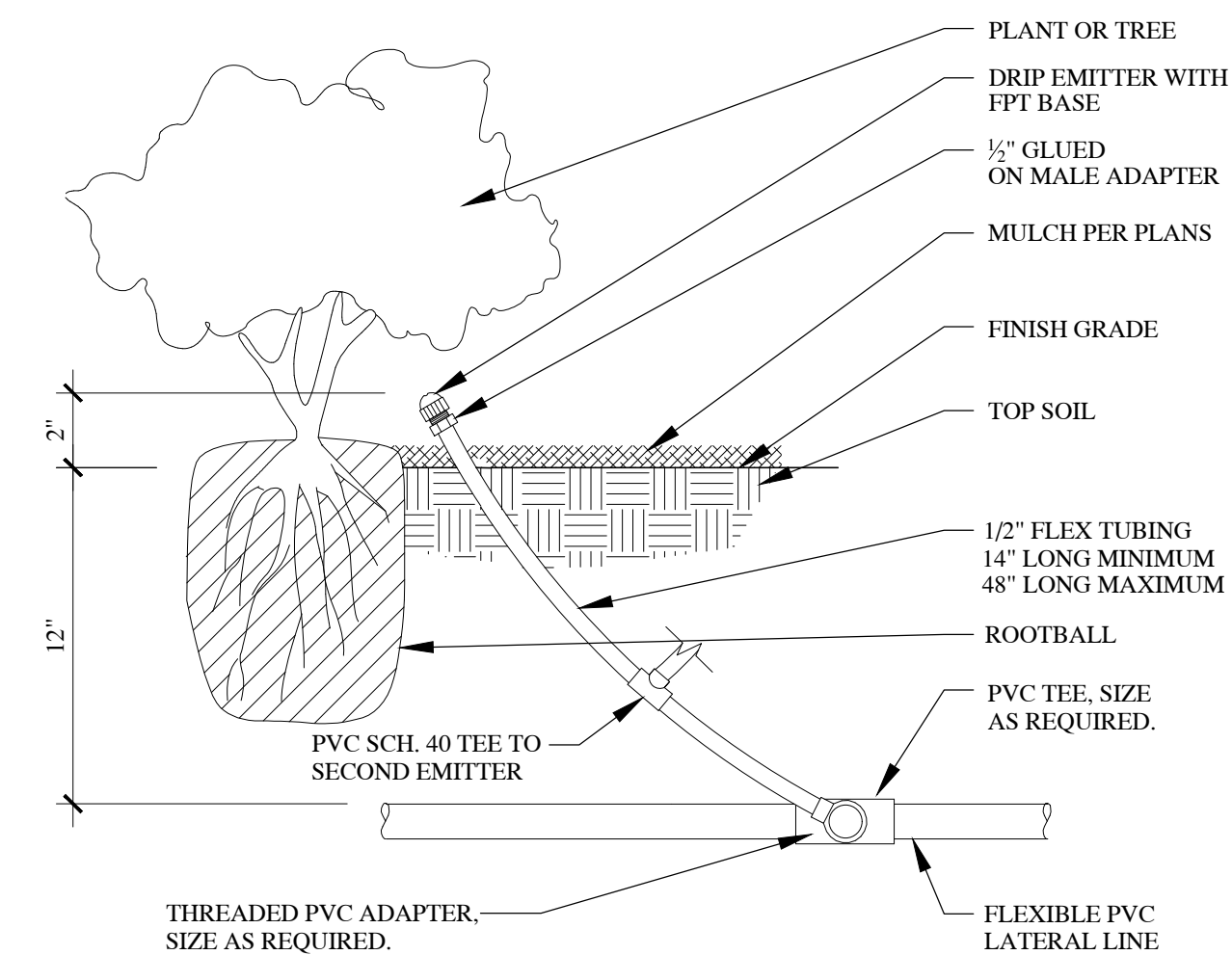
- NOTES:
1. MAXIMUM 2 VALVES PER VALVE BOX.
  2. MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.
  3. USE GREEN BOXES IN LAWN AREAS & TAN BOXES IN PLANTER AREAS.
  4. BOXES WITH 2-VALVES SHALL BE A JUMBO SIZED BOX OR BIGGER PER LANDSCAPE ARCHITECTS DIRECTION.

#### CONTROL VALVE



#### DRIP LINE FLUSH CAP

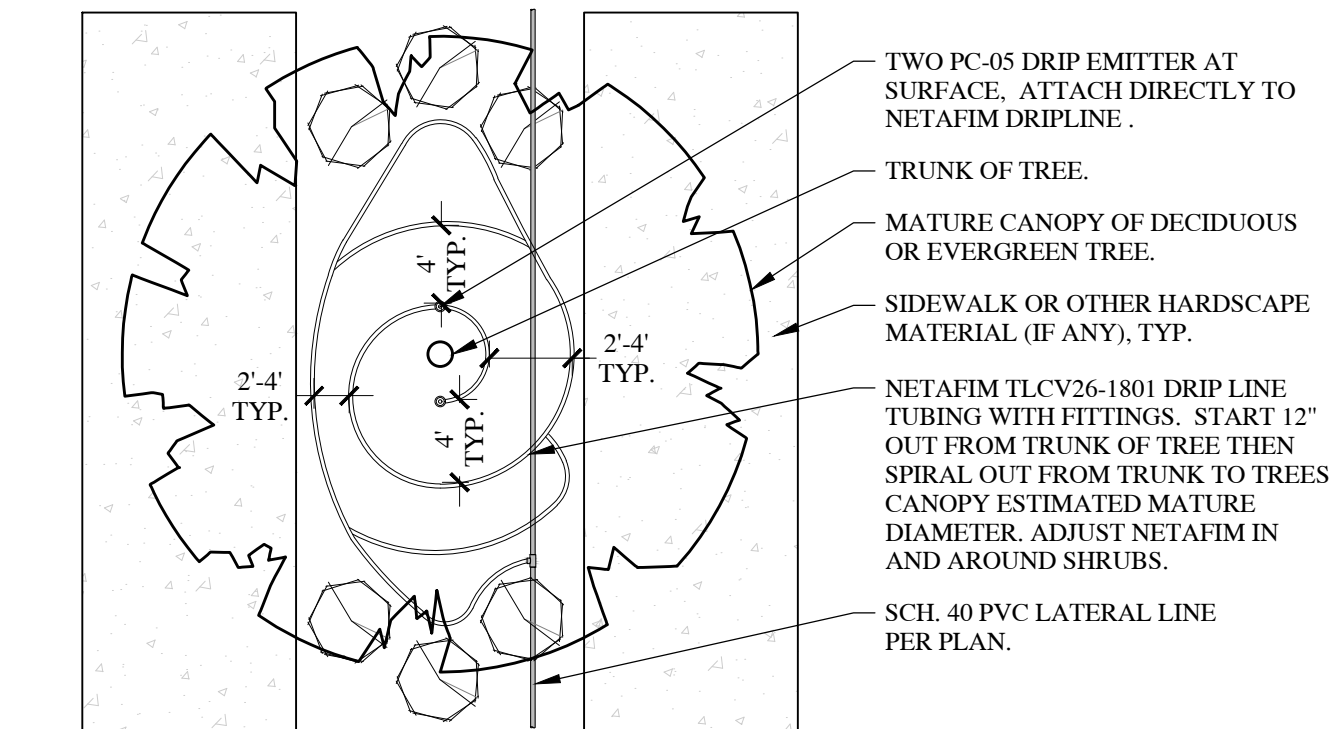
SCALE: NTS



- NOTE:
1. FOR LAYOUT OF MULTIPLE SHRUBS, CONTRACTOR SHALL USE TEES AS NECESSARY. FOR LAYOUT INFORMATION, SEE DETAIL 19/4.2

#### DRIP EMITTER

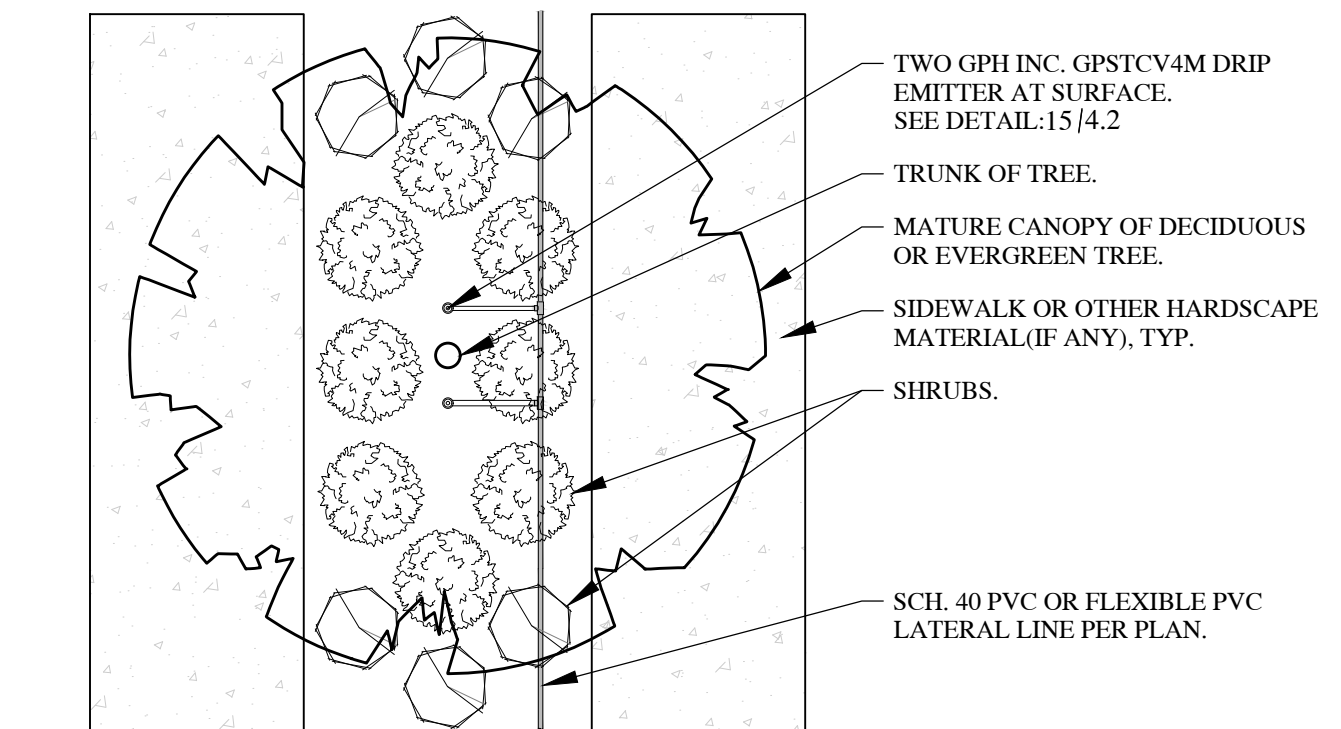
SCALE: NTS



- NOTES:
1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
  2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
  3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
  4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
  5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
  6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

#### TREE DRIP WITH PARTIAL PLANTING UNDER CANOPY

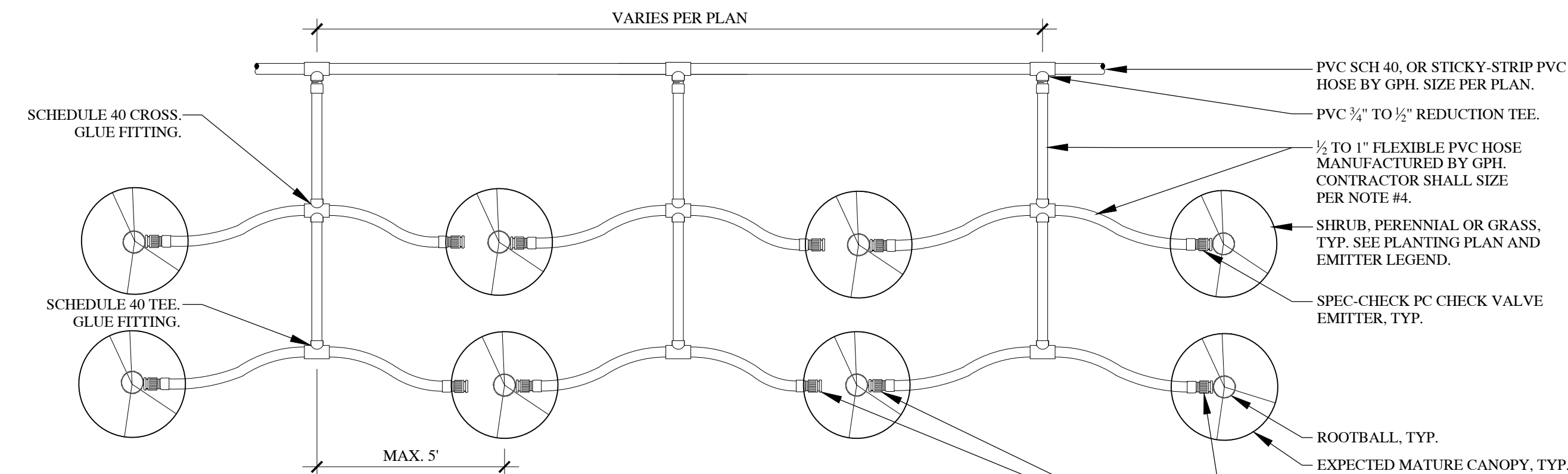
1" = 1'-0"



- NOTES:
1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
  2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
  3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
  4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
  5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
  6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

#### TREE DRIP WITH FULL PLANTING UNDER CANOPY

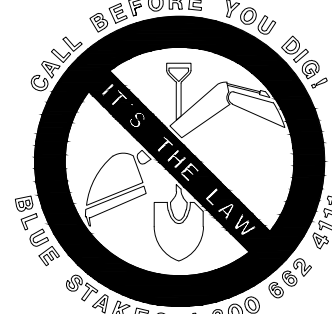
1" = 1'-0"



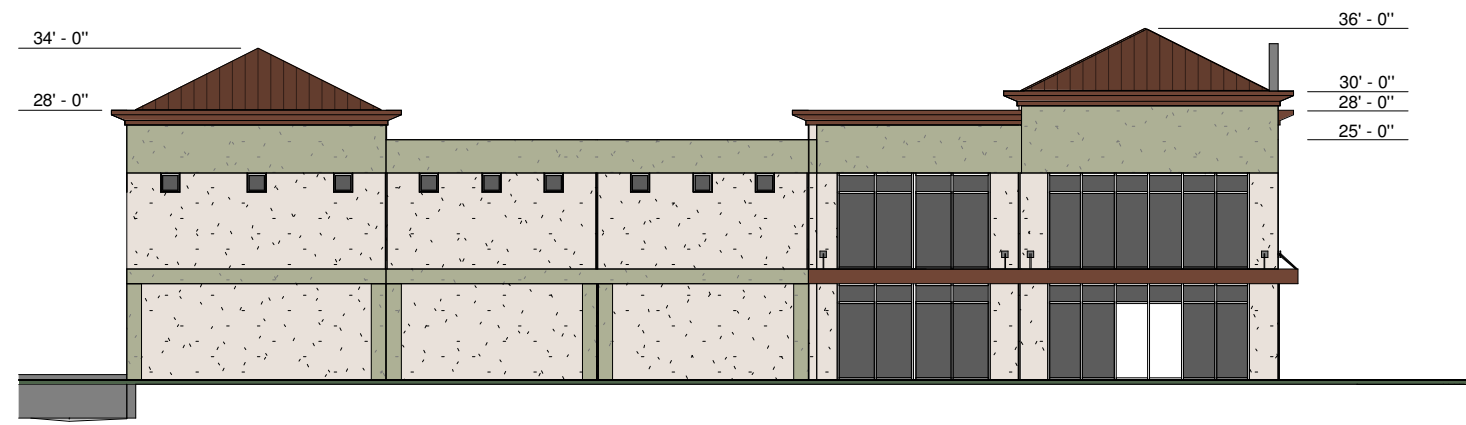
- NOTES:
1. EMITTER SPACING SHALL BE BASED ON PLANT SPACING. INSTALL ALL IRRIGATION USING THE COMPONENTS DESCRIBED ABOVE.
  2. IRRIGATION EQUIPMENT SHALL BE COMPLETELY INSTALLED PRIOR TO PLANT LAYOUTS.
  3. ADJUST IRRIGATION SPACING TO ACCOMMODATE FINAL PLANT LAYOUT.
  4. 1/2" PVC FLEX HOSE SHALL NOT EXCEED 40GPM. 3/4" PVC FLEX HOSE SHALL NOT EXCEED 8GPM AND 1" PVC FLEX HOSE SHALL NOT EXCEED 13GPM.
  5. AT OWNERS DISCRETION, A LESS EXPENSIVE DRIP SYSTEM MAY BE INSTALLED. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SUBMITTAL CUT SHEETS AND POTENTIAL COST SAVINGS TO OWNER. HOWEVER, THE OWNER AND LANDSCAPE ARCHITECT MUST APPROVE ALL CHANGES IN MATERIALS AND CONSTRUCTION PRACTICES IF DIFFERENT FROM THE PLAN.
  6. SMALL EVERGREEN TREES MAY NEED FEWER EMITTERS. CONSULT WITH THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLING IRRIGATION TO DETERMINE QUANTITY OF EMITTERS.
  7. SEE IRRIGATION SHEET FOR DRIP EMITTER LEGEND.
  8. USE IPS WELDON 795 GLUE AND P70 PRIMER PER GPH INC. SPECIFICATIONS.
  9. DO NOT INSTALL PIPE, FITTINGS, OR GLUE IN TEMPERATURES BELOW 40 DEGREES. SEE MANUFACTURER SPECIFICATIONS FROM MORE INFORMATION.

#### GPH DRIP EMITTER PLAN VIEW

SCALE: NTS

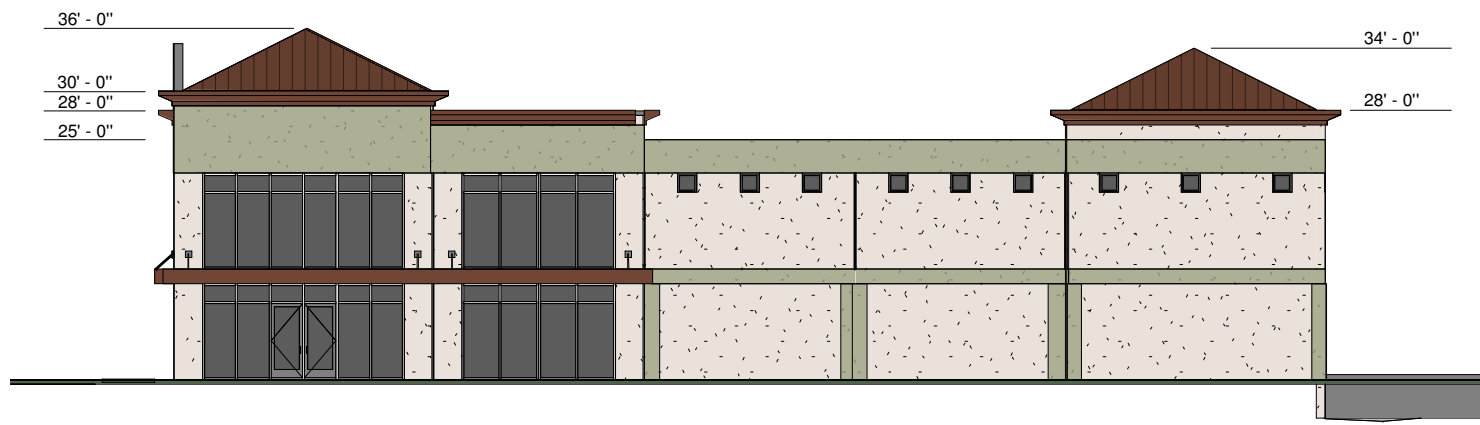


2/12/2021 9:42:14 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



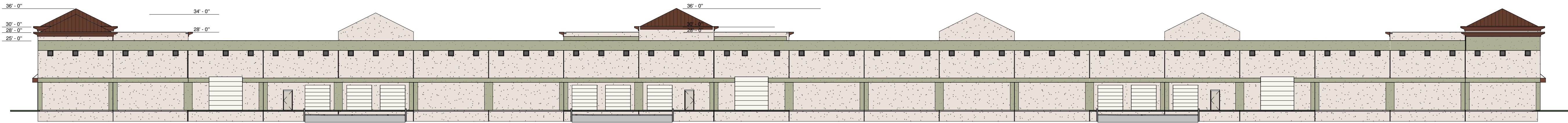
NORTH ELEVATION BUILDING B

SCALE 1" = 20'-0"



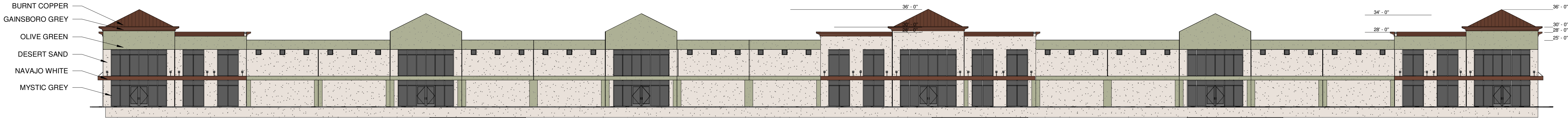
SOUTH ELEVATION BUILDING B

SCALE 1" = 20'-0"



EAST ELEVATION BUILDING B

SCALE 1" = 20'-0"



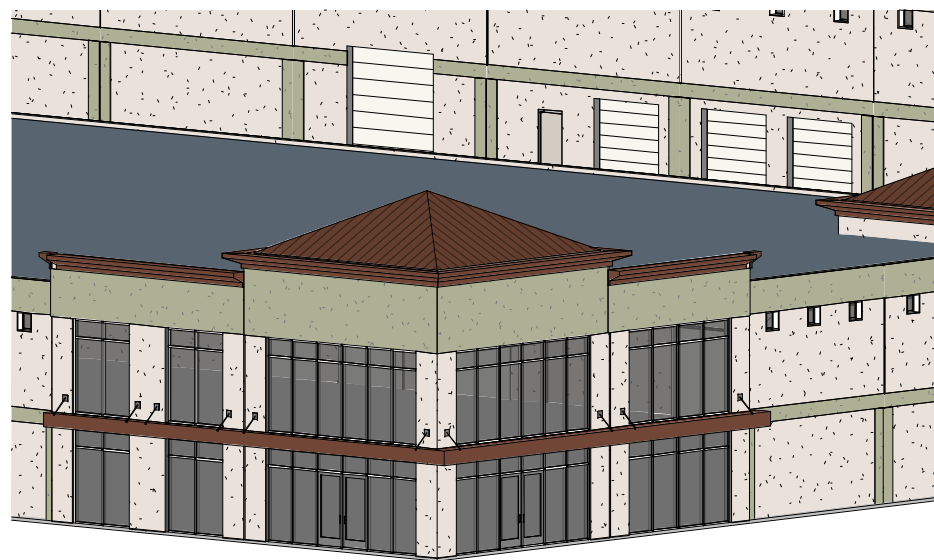
WEST ELEVATION BUILDING B

SCALE 1" = 20'-0"



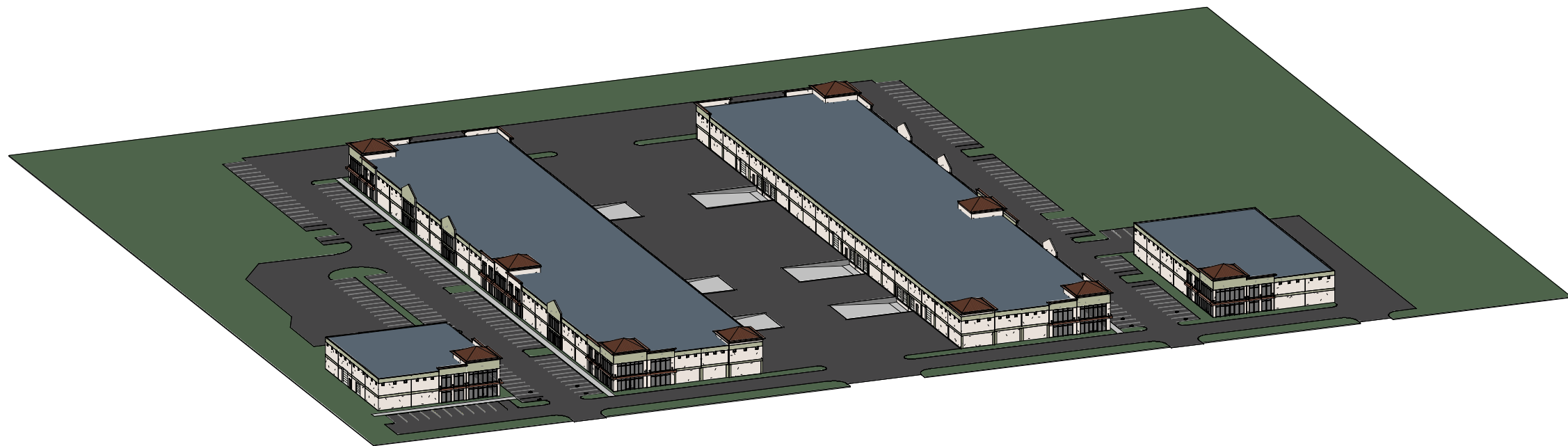
BUILDING B BUILDING B (& C REVERSED)

SCALE



BUILDING -CORNER

SCALE



3D SITE

SCALE

## COLOR LEGEND

|  |                                                        |  |                                                           |
|--|--------------------------------------------------------|--|-----------------------------------------------------------|
|  | TERRA COTTA LPP/7 S/W 2002<br>(METAL ROOFING)          |  | DESTINY FN275 SW 6274<br>(PERSONNEL & OVERHEAD DOORS)     |
|  | PLYMOUTH GREEN EPP 57 SW 2852<br>(WALL BAND HIGHLIGHT) |  | GREY (GLAZING TINT)                                       |
|  | MAUVE TINGE R-V/R S SW 6280<br>(PRIMARY WALL COLOR)    |  | DARK BRONZE ASCBP.COM<br>(FLASHING & TRIM FOR STOREFRONT) |

REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

NO. 123134  
GUILFORD A  
BAND  
02-11-2020  
STATE OF UTAH

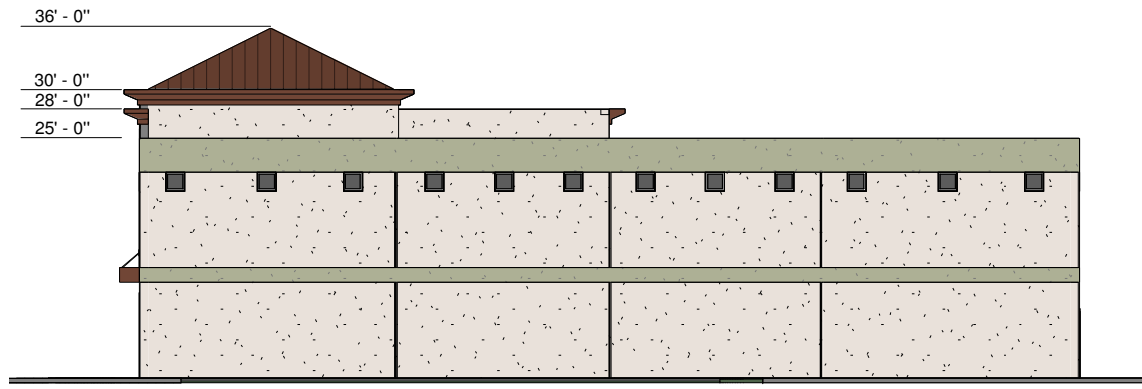
© Copyright 2020, Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-0.7

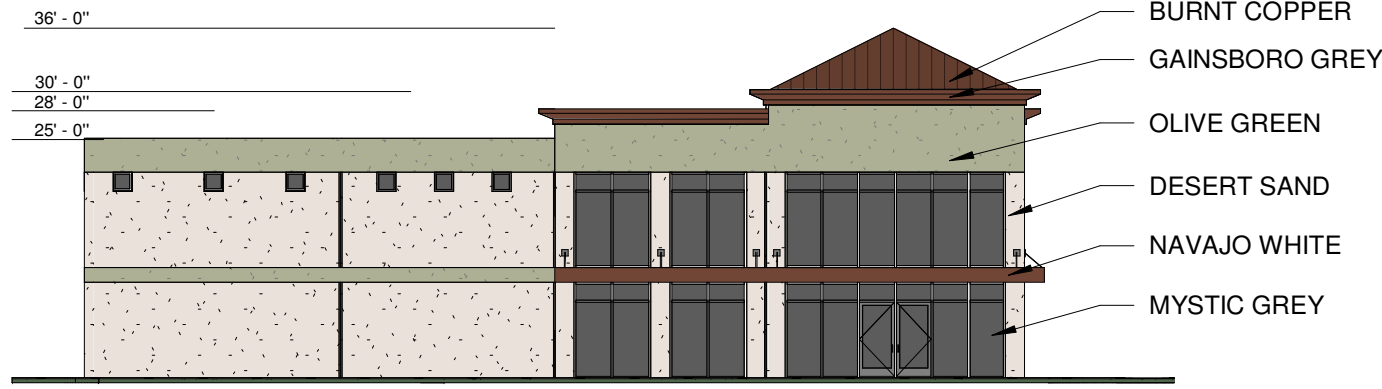
DATE  
02-11-2020

2/12/2021 9:42:16 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



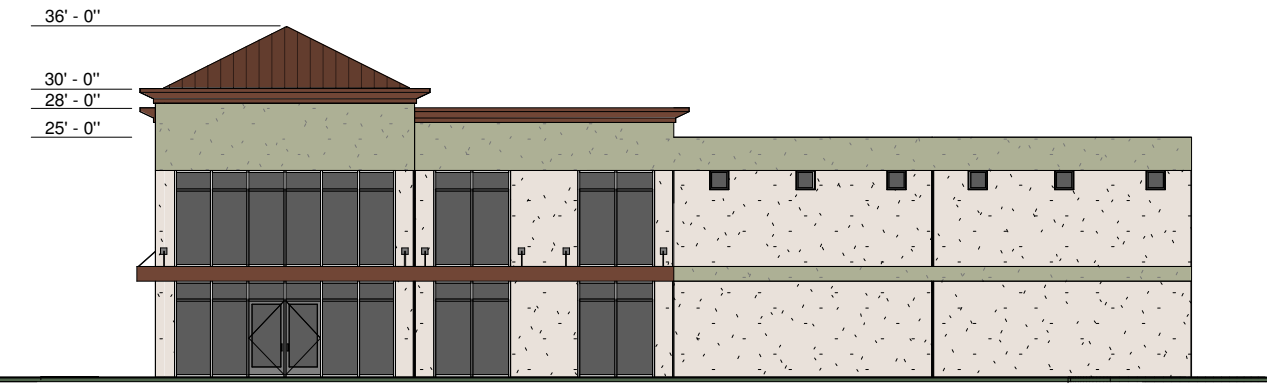
NORTH ELEVATION BUILDING A

SCALE 1" = 20'-0"



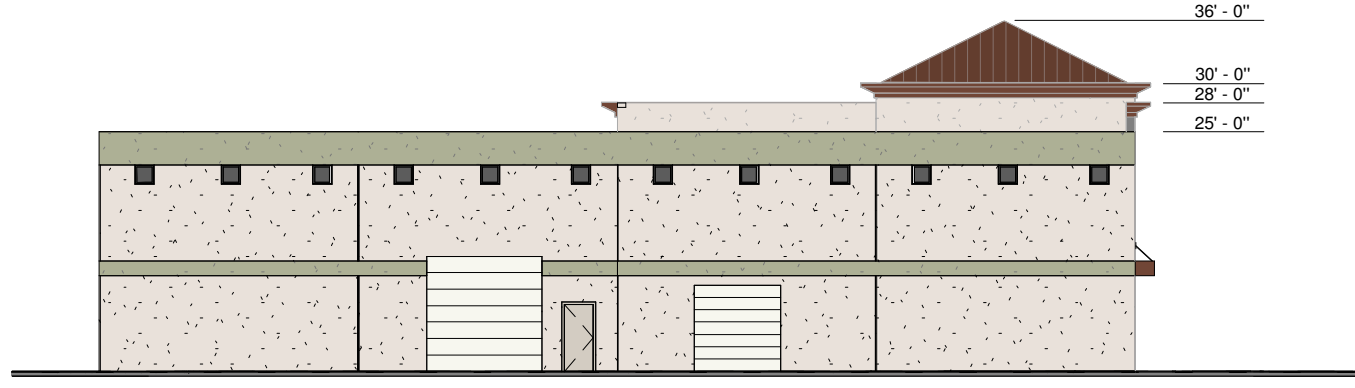
SOUTH ELEVATION BUILDING A

SCALE 1" = 20'-0"



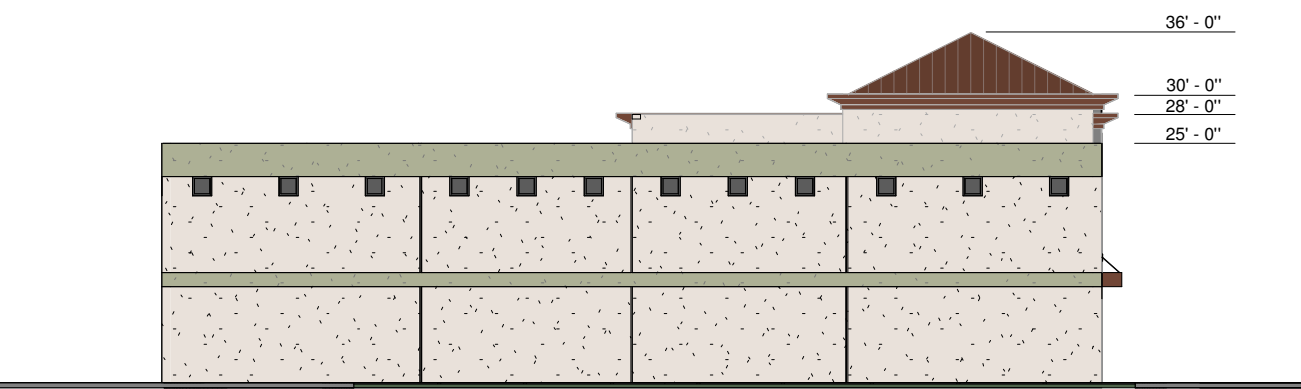
EAST ELEVATION BUILDING A

SCALE 1" = 20'-0"



WEST ELEVATION BUILDING A

SCALE 1" = 20'-0"



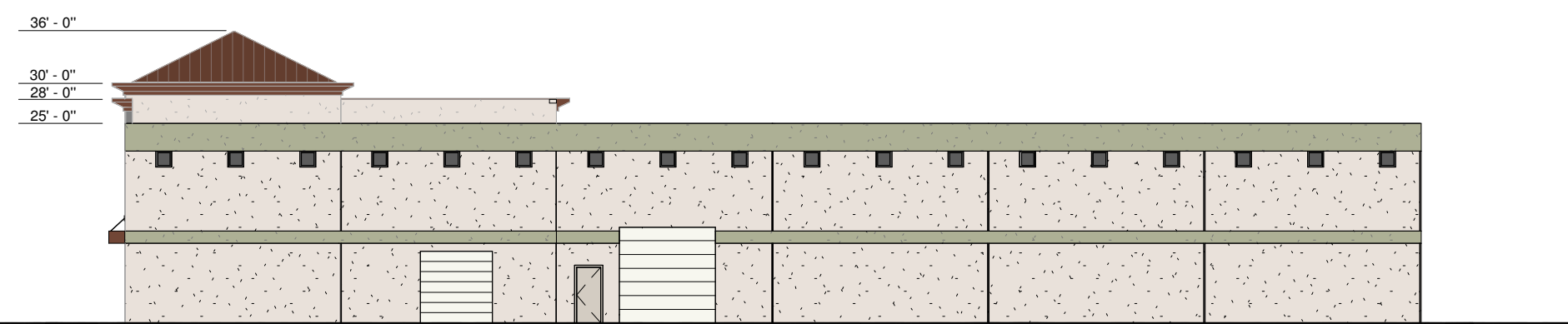
NORTH ELEVATION BUILDING D

SCALE 1" = 20'-0"



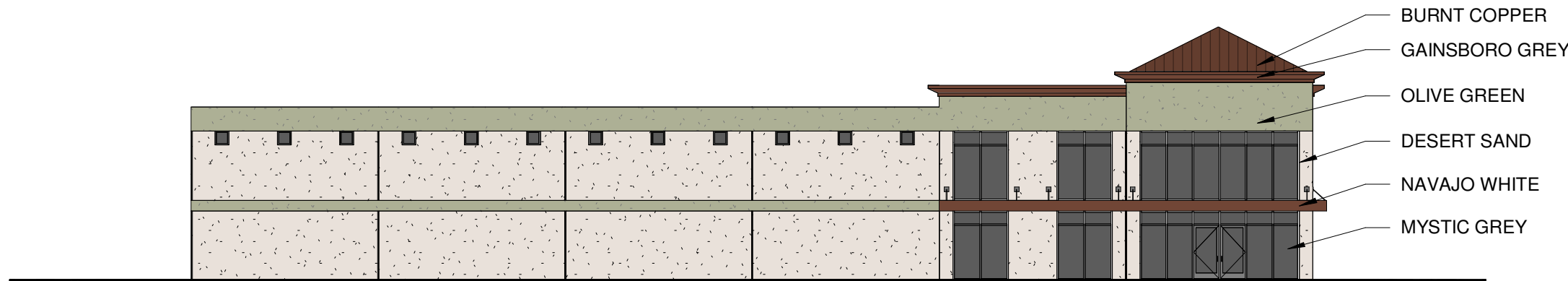
SOUTH ELEVATION BUILDING D

SCALE 1" = 20'-0"



EAST ELEVATION BUILDING D

SCALE 1" = 20'-0"



WEST ELEVATION BUILDING D

SCALE 1" = 20'-0"

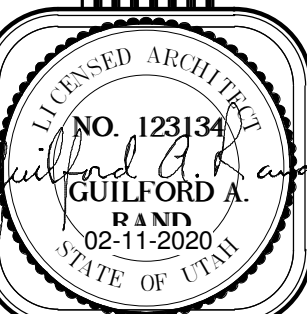
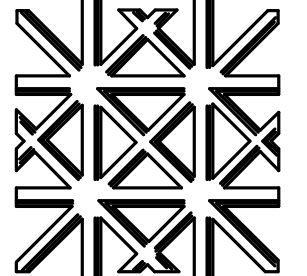
## COLOR LEGEND

|  |                                                        |  |                                                           |
|--|--------------------------------------------------------|--|-----------------------------------------------------------|
|  | TERRA COTTA LPP/7 S/W 2002<br>(METAL ROOFING)          |  | DESTINY FN275 SW 6274<br>(PERSONNEL & OVERHEAD DOORS)     |
|  | PLYMOUTH GREEN EPP 57 SW 2852<br>(WALL BAND HIGHLIGHT) |  | GREY (GLAZING TINT)                                       |
|  | MAUVE TINGE R-V/R S SW 6280<br>(PRIMARY WALL COLOR)    |  | DARK BRONZE ASCBP.COM<br>(FLASHING & TRIM FOR STOREFRONT) |

REVISIONS  
DATE



ARCHITECTURAL COALITION  
1991 South State Road Springville, UT 84663 PH: 801-491-0275



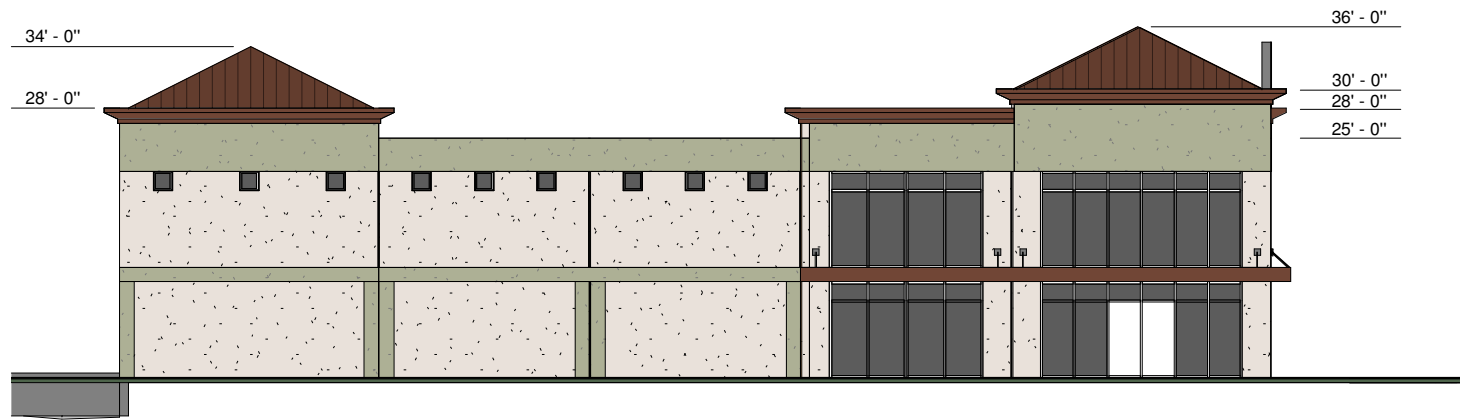
© Copyright 2020, Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North Vineyard, UT

SHEET NO.  
A-0.8

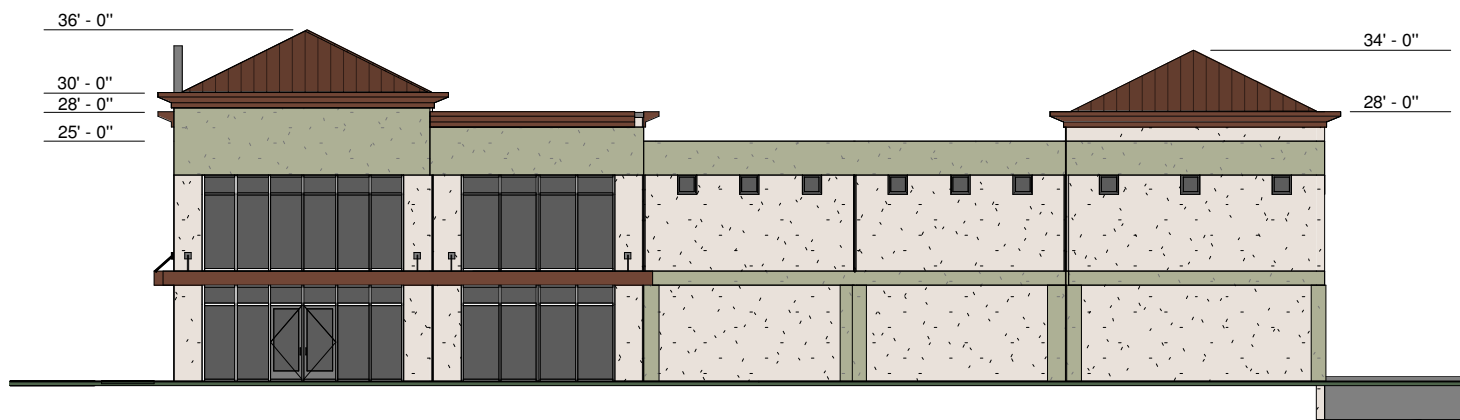
DATE  
02-11-2020

2/12/2021 9:42:20 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



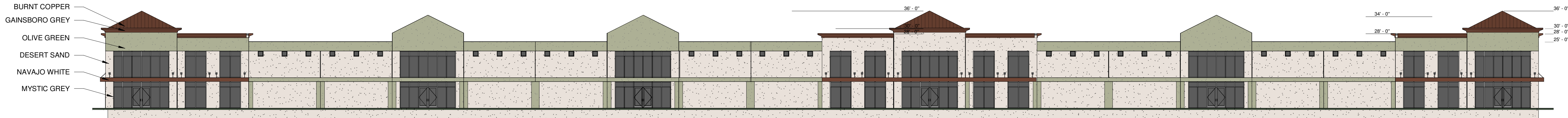
NORTH ELEVATION BUILDING C

SCALE 1" = 20'-0"



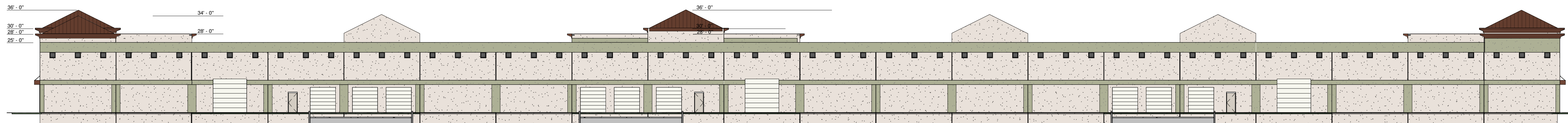
SOUTH ELEVATION BUILDING C

SCALE 1" = 20'-0"



EAST ELEVATION BUILDING C

SCALE 1" = 20'-0"

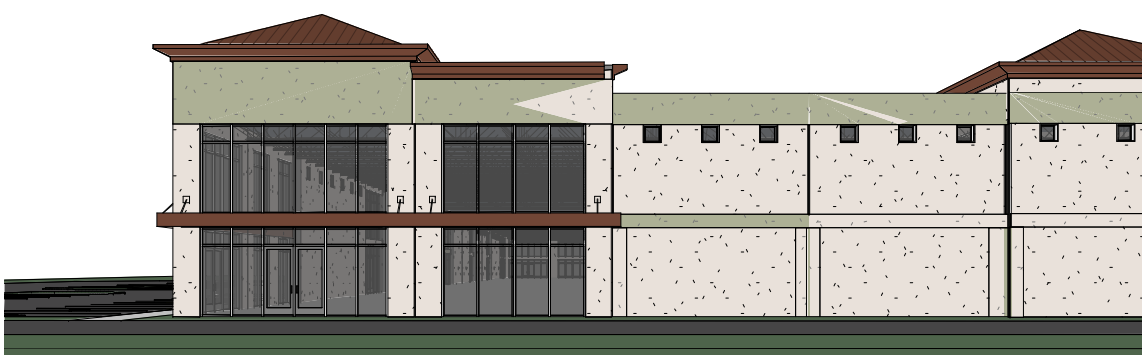


WEST ELEVATION BUILDING C

SCALE 1" = 20'-0"

## COLOR LEGEND

|  |                                                        |  |                                                           |
|--|--------------------------------------------------------|--|-----------------------------------------------------------|
|  | TERRA COTTA LPP/7 S/W 2002<br>(METAL ROOFING)          |  | DESTINY FN275 SW 6274<br>(PERSONNEL & OVERHEAD DOORS)     |
|  | PLYMOUTH GREEN EPP 57 SW 2852<br>(WALL BAND HIGHLIGHT) |  | GREY (GLAZING TINT)                                       |
|  | MAUVE TINGE R-V/R S SW 6280<br>(PRIMARY WALL COLOR)    |  | DARK BRONZE ASCBP.COM<br>(FLASHING & TRIM FOR STOREFRONT) |



PERSPECTIVE

SCALE

REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

LICENSED ARCHITECT  
NO. 123134  
GUILFORD A  
BAND  
02-11-2020  
STATE OF UTAH

© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5

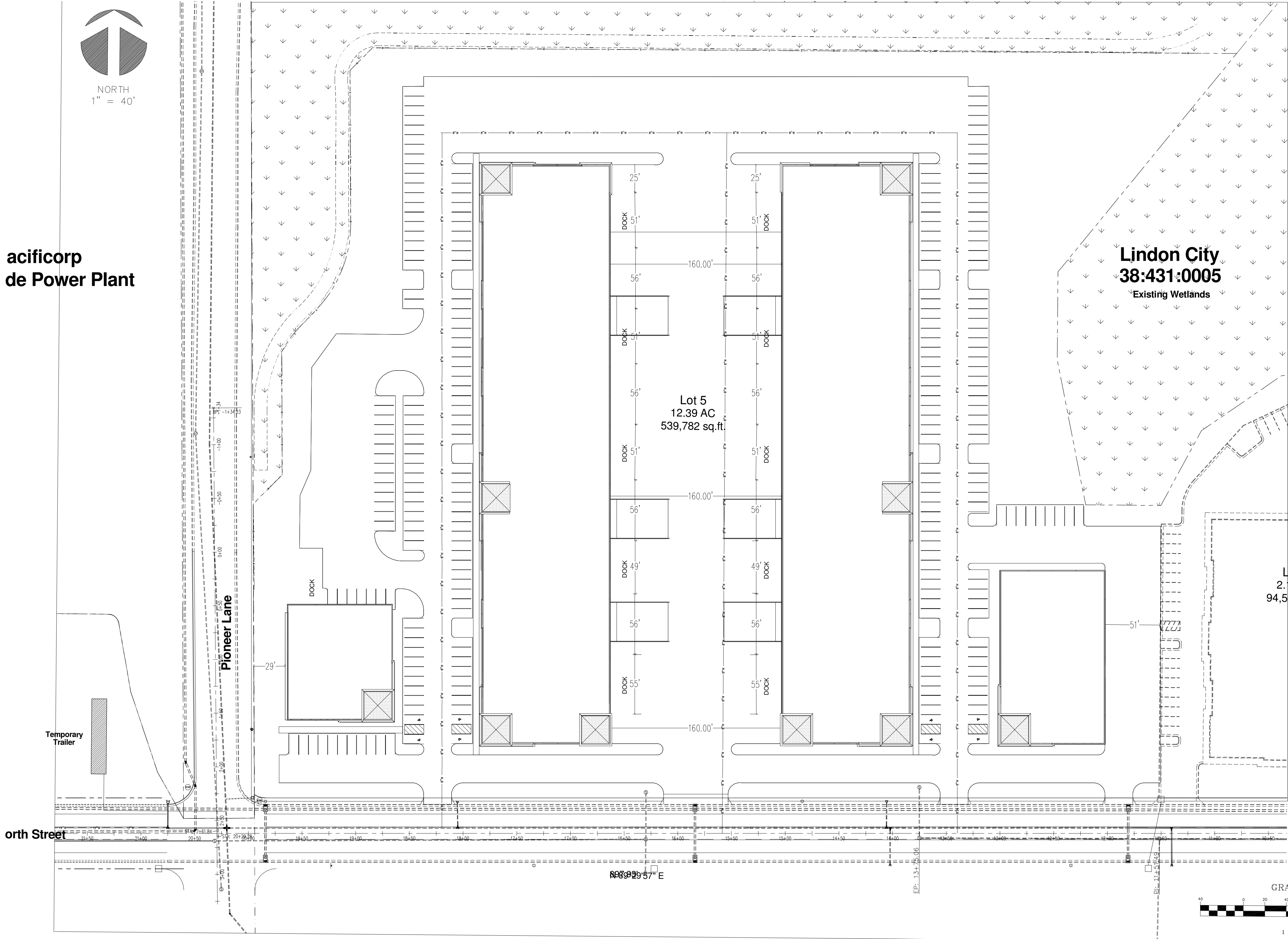
Vineyard Properties of Utah

71 East 1750 North Vineyard, UT

SHEET NO.  
A-0.9

DATE  
02-11-2020

Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt 2/12/2021 9:42:21 AM



| PARKING CALCULATIONS |         |                                            |                    |                    |                                    |
|----------------------|---------|--------------------------------------------|--------------------|--------------------|------------------------------------|
| USE                  | AREA    | FORMULA<br>Vineyard City Code 2016-07 ch19 | SPACES<br>REQUIRED | SPACES<br>PROVIDED | ADA SPACES<br>per IBC Table 1106.1 |
| MANUFACTURING        | 16,000  | 1 SPACE per 750 Sq Ft                      | 22                 |                    |                                    |
| WAREHOUSE            | 125,000 | 1 SPACE per 1000 Sq Ft                     | 125                | 222                | 249                                |
| OFFICE SPACE         | 15,000  | 1 SPACE per 200 Sq Ft                      | 75                 |                    |                                    |

| SITE TABULATION TABLE |         |            |
|-----------------------|---------|------------|
|                       | AREA    | PERCENTAGE |
| BUILDING              | 156,000 | 18.2       |
| LANDSCAPE             | 448,100 | 52.3       |
| HARDSCAPE             | 253,600 | 29.5       |
| TOTAL SITE            | 857,000 | 100        |

REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

LICENSED ARCHITECT  
NO. 123134  
GUILFORD A. BARNES  
02-11-2020  
STATE OF UTAH

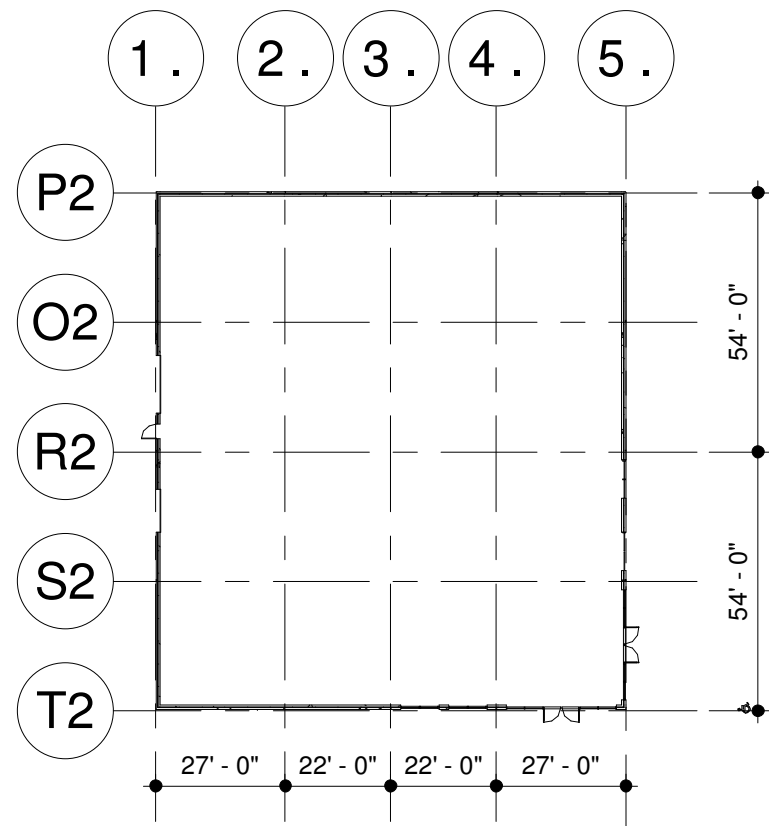
© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-1.0

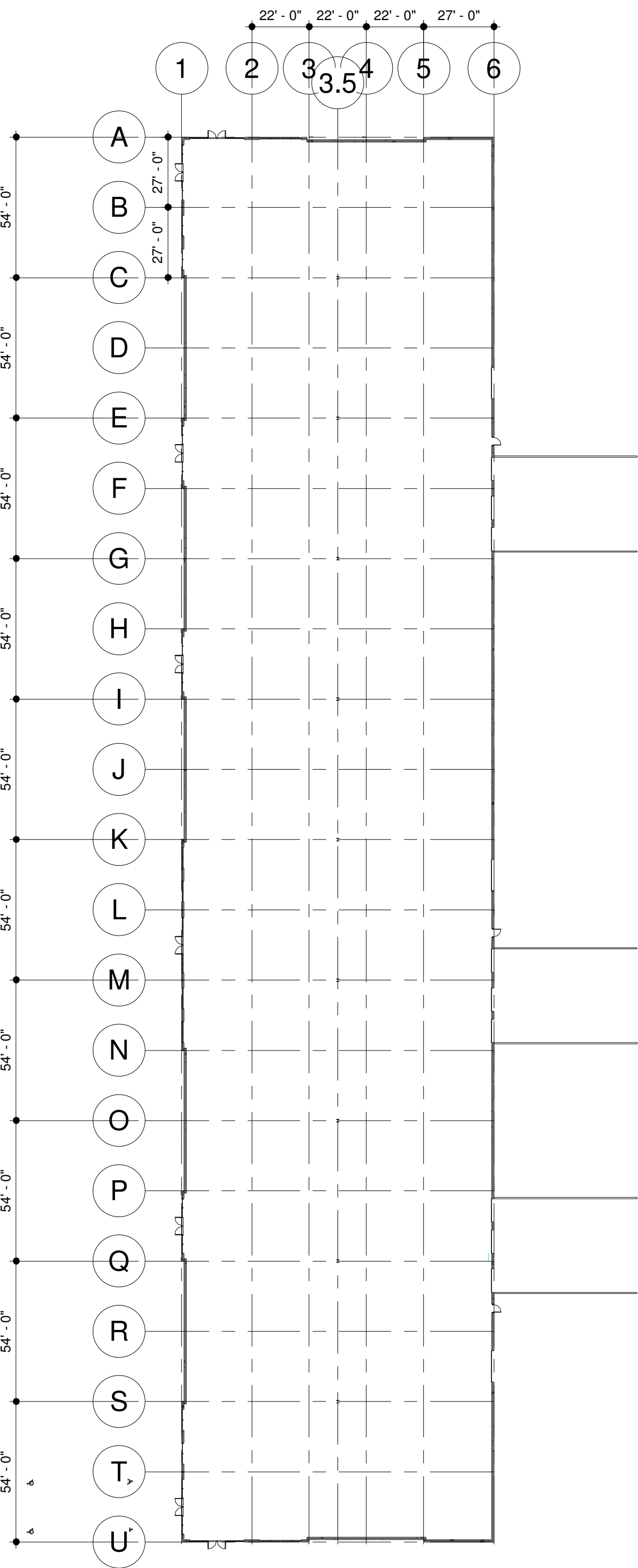
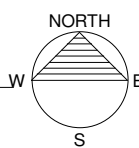
DATE  
02-11-2020

2/12/2021 9:42:22 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS.rvt



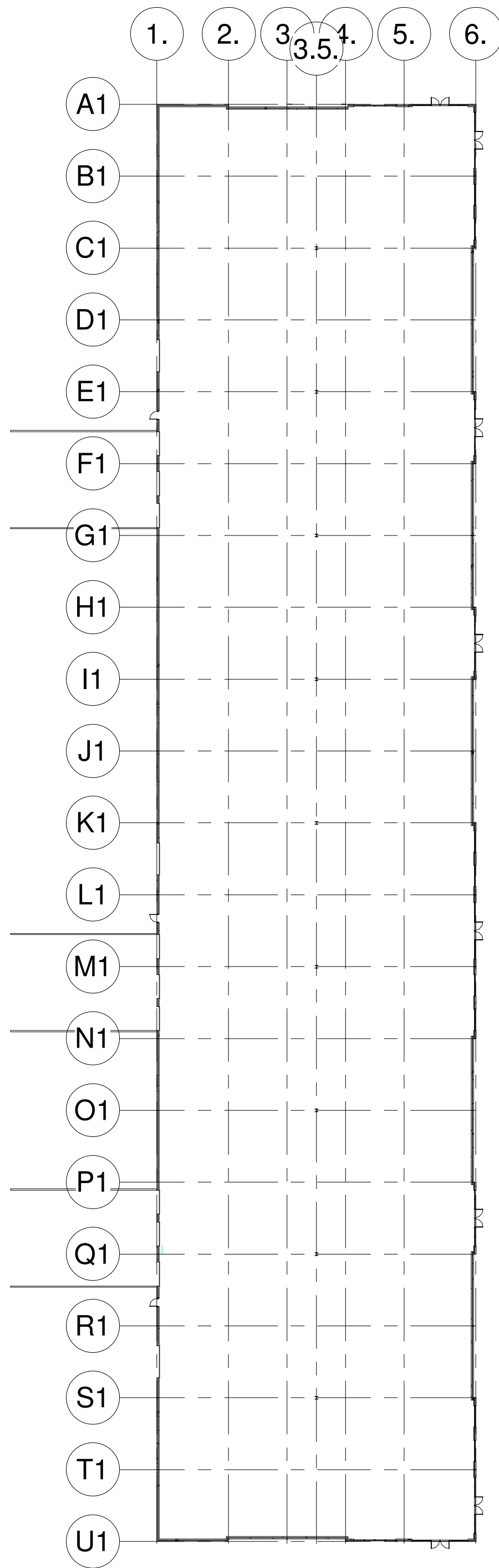
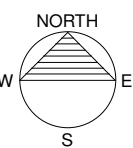
BUILDING A

SCALE 1" = 40'-0"



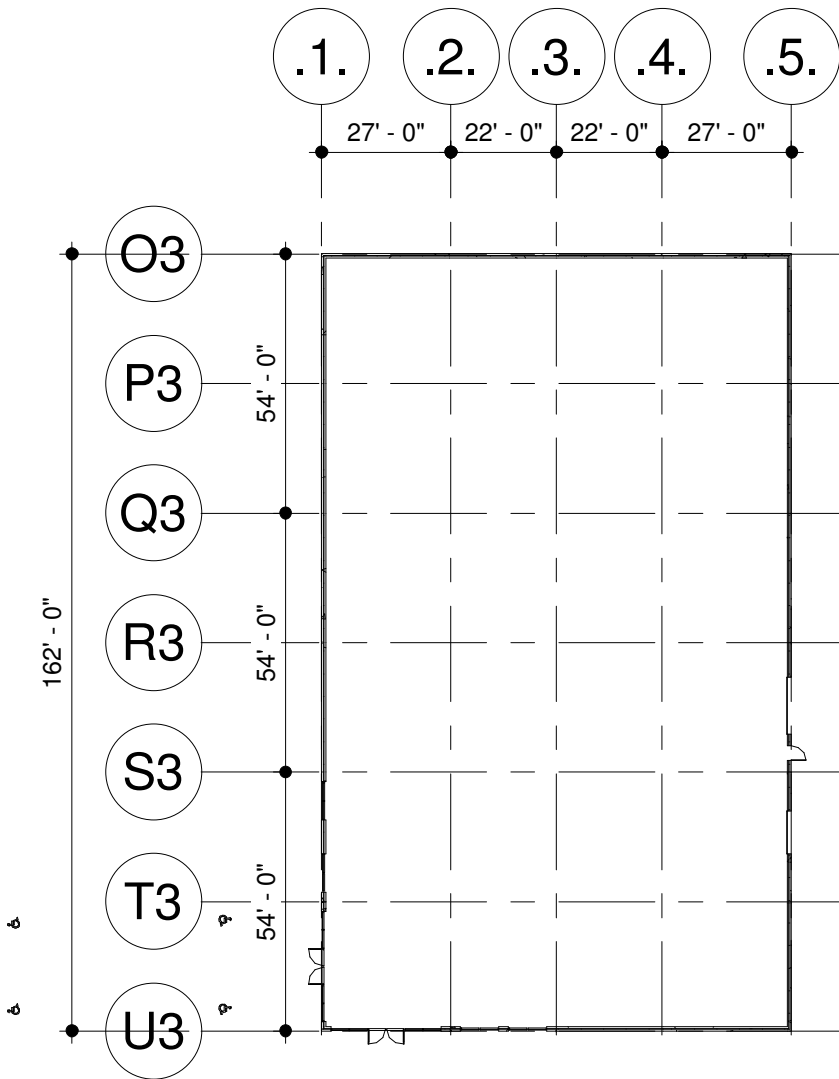
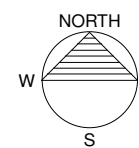
BUILDING B

SCALE 1" = 40'-0"



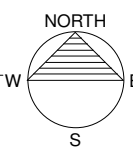
BUILDING C

SCALE 1" = 40'-0"



BUILDING D

SCALE 1" = 40'-0"



- SEE SHEET A-5.1 FOR DOOR SCHEDULE
- ⬡ SEE SHEET A-5.1 FOR WINDOW SCHEDULE
- ◊ → SEE SHEET A-6. FOR WALL TYPE DETAILS

REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

NO. 123134  
GUILFORD A. BANDY  
02-11-2020  
STATE OF UTAH

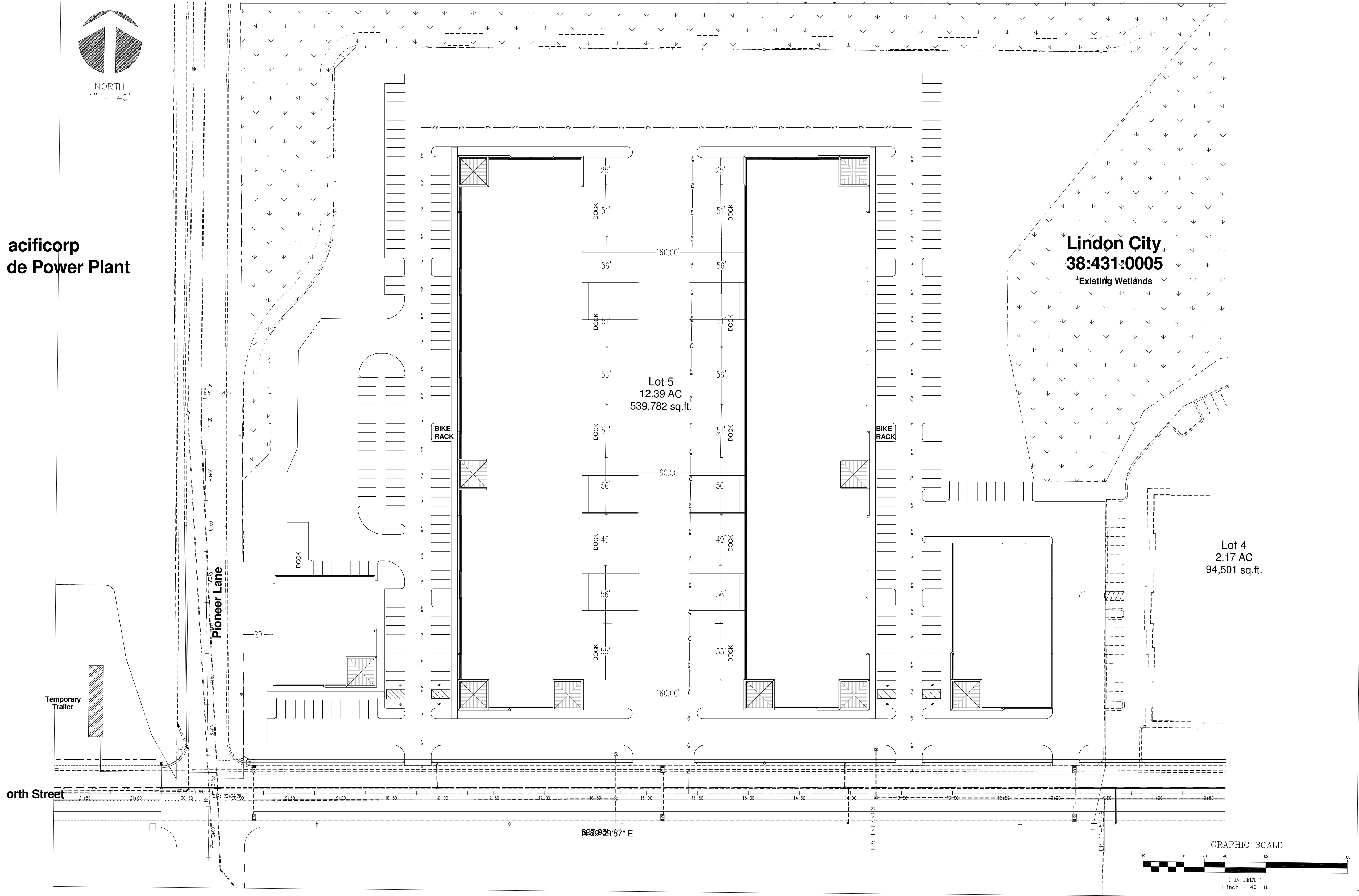
© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT THE  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-1.1

DATE  
02-11-2020

2/12/2021 11:17:00 AM Z:\Drawings 2020\2020-057 Eastlake Lot 5 - Martin Snow\LOT 5- 2021 SITE ALL BUILDINGS WITH BIKE RACKS.rvt

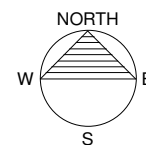


| PARKING CALCULATIONS |         |                                            |                    |                    |                                    |
|----------------------|---------|--------------------------------------------|--------------------|--------------------|------------------------------------|
| USE                  | AREA    | FORMULA<br>Vineyard City Code 2016-07 ch19 | SPACES<br>REQUIRED | SPACES<br>PROVIDED | ADA SPACES<br>per IBC Table 1106.1 |
| MANUFACTURING        | 16,000  | 1 SPACE per 750 Sq Ft                      | 22                 |                    |                                    |
| WAREHOUSE            | 125,000 | 1 SPACE per 1000 Sq Ft                     | 125                | 222                | 249                                |
| OFFICE SPACE         | 15,000  | 1 SPACE per 200 Sq Ft                      | 75                 |                    |                                    |

| SITE TABULATION TABLE |         |            |
|-----------------------|---------|------------|
|                       | AREA    | PERCENTAGE |
| BUILDING              | 156,000 | 18.2       |
| LANDSCAPE             | 448,100 | 52.3       |
| HARDSCAPE             | 253,600 | 29.5       |
| TOTAL SITE            | 857,000 | 100        |

ARCHITECTURAL SITE PLAN

SCALE 1" = 50'-0"



REVISIONS  
DATE

ARCHITECTURAL COALITION

1991 South State Road Springville, UT 84663 PH: 801-491-0275

LICENSED ARCHITECT  
NO. 123134  
GUILFORD A. BARNES  
02-11-2020  
STATE OF UTAH

© Copyright 2020.  
Architectural Coalition  
THE PURCHASER IS GRANTED  
A SINGLE USE LICENSE FOR  
CONSTRUCTION ONLY.  
UNAUTHORIZED USE AND/OR  
FURTHER DISTRIBUTION IS  
PROHIBITED WITHOUT  
WRITTEN APPROVAL OF THE  
ARCHITECTURAL COALITION.

Eastlake Lot 5  
Vineyard Properties of Utah  
71 East 1750 North  
Vineyard, UT

SHEET NO.  
A-1.0

DATE  
02-11-2020