



**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
June 2, 2021 at 6:00 p.m.**

PUBLIC NOTICE is hereby given that the Vineyard City Planning Commission will hold a regularly scheduled meeting at City Hall, 125 South Main Street, Vineyard, Utah. You can also view the meeting on our [live stream channel](#).

REGULAR SESSION

Call to Order

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE – *to be announced*

2. OPEN SESSION - Time dedicated for public comment. Comments will be limited to three (3) minutes. No actions may be taken by the Planning Commission due to the need for proper public noticing.

3. MINUTES REVIEW AND APPROVAL:

3.1 May 5, 2021

4. BUSINESS ITEMS

4.1 DISCUSSION AND ACTION – POD 1 Clubhouse Site Plan

The applicant is requesting an approval of a site plan for the POD 1 Clubhouse at The Homesteads. Parcel ID 18:018:0070. The Planning Commission will act to approve (or deny) the proposed application.

5. WORKSESSION

**6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION
DISCLOSURE**

7. ADJOURNMENT

The next regularly scheduled meeting is June 16, 2021.

The Public is invited to participate in all Planning Commission meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this public meeting should notify Cache Hancey, Planning Technician, at least 24 hours prior to the meeting by calling (801) 226-1929 or email at cacheh@vineyardutah.org.

The foregoing notice was posted on the Utah Public Notice Website and Vineyard Website, posted at the Vineyard City Offices, delivered electronically to city staff, and each member of the planning commission.

AGENDA NOTICING COMPLETED ON: 5/27/2021

NOTICED BY: /s/ Cache Hancey

Cache Hancey, Planning Technician



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**REGULAR MEETING
OF THE VINEYARD PLANNING COMMISSION,
May 5, 2021 at 6:00 p.m.**

Commissioners Present:

Commissioner Tim Blackburn
Chair Bryce Brady
Commissioner Anthony Jenkins
Commissioner Jessica Welch

Commissioners Absent:

Commissioner Tay Gudmundson
Commissioner Jeff Knighton
Commissioner Amber Rasmussen
Vice-Chair Shan Sullivan

Staff Present: Community Development Director Morgan Brim, Planner II Briam Amaya Perez,
Assistant Public Works Director Chris Wilson, Planning Technician Cache Hancey

Others Present: Resident David Lauret

Call to Order

Chair Bryce Brady called the meeting to order at 6:06 p.m.

1. INVOCATION/INSPIRATIONAL THOUGHTS/PLEDGE OF ALLEGIANCE

Commissioner Tim Blackburn offered the invocation.

2. OPEN SESSION

No items were addressed during the open session.

3. MINUTES REVIEW AND APPROVAL:

3.1 February 3, 2021

3.2 April 7, 2021

MOTION: COMMISSIONER JENKINS MOTIONED TO APPROVE THE FEBRUARY 3, 2021 AND APRIL 7, 2021 MINUTES AS RECORDED. COMMISSIONER BLACKBURN SECONDED THE MOTION. ROLL WENT AS FOLLOWS: COMMISSIONER BLACKBURN, CHAIR BRADY, COMMISSIONER JENKINS, AND COMMISSIONER WELCH VOTED AYE. THE MOTION CARRIED UNANIMOUSLY.

4. BUSINESS ITEMS

No business items were presented.

5. WORKSESSION

5.1 Zoning Text Amendment (ZTA) Lighting Standards

- The Planning Commission will discuss city-initiated code amendments to VZC 15.36.030 Project Site Planning and Building Design Requirements and VZC 15.38.030 Parking Requirements.

Community Development Director Morgan Brim displayed both sections of code. He mentioned that staff discovered a discrepancy in the height of lighting poles for parking lots, one section allowing for 25-foot poles and the other allowing for up to 15-foot poles. The Commission discussed what changing the code would do for future developments. Mr. Brim clarified that the other lighting standards would still apply and recommended either option for approval.

5.2 Zoning Text Amendment (ZTA) for Home-Based Occupations in Accessory Dwelling Units (ADU)

- The Planning Commission will discuss city-initiated code amendments to VZC 15.34.150 Home Occupations regarding home occupations in single family homes with an ADU.

Mr. Brim explained that due to impacts in the neighborhoods and ADA requirements, the city wanted to propose a limit to home occupations within accessory dwelling units. The city would prefer limiting home occupations in accessory dwelling units to businesses without impact, such as a home office. Because Building Official George Reid was not in attendance at the meeting, the Commission decided to push this back a few weeks at Mr. Brim's recommendation.

5.3 Zoning Text Amendment (ZTA) Accessory Dwelling Units

- The Planning Commission will discuss city-initiated code amendments to VZC 15.34.060 Accessory Dwelling Units as it relates to code updates aligning with recent Utah State Code changes.

Mr. Brim explained that the current code meets most of the changes made by the State Legislature. The city will have to update the parking requirement for accessory dwelling units and no longer require internal connections. There will also be a change in the exterior entrance requirements as garage entrance can fulfill the state requirement. Mr. Brim will draft the ZTA for a vote in the coming weeks.

5.4 Zoning Text Ordinance for Retaining Walls

- The Planning Commission will discuss city-initiated code amendments regarding retaining walls and fencing located on top of retaining walls.

Mr. Brim stated that there are only a few properties in the city that could be affected by this ordinance. Currently, the city treats retaining walls as fences as the city does not have a zoning ordinance regarding retaining walls. The reason for this ordinance is to allow for retaining walls and expand on the allowance of fences on top of walls.

6. COMMISSION MEMBERS' REPORTS AND EX PARTE DISCUSSION DISCLOSURE



Commission Jessica Welch stated that the Vineyard Children's Library is opening up soon and that the book V is for Vineyard will be printed in the coming weeks. The book is written for families to read together and learn more about the city.



Commission Anthony Jenkins stated that May is Bike Month and that the Bicycle Advisory Committee has a few tours and events planned.

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92 **7. ADJOURNMENT**

93 **MOTION:** COMMISSIONER BLACKBURN MOTIONED TO ADJOURN THE MEETING.

94 COMMISSIONER WELCH SECONDED THE MOTION. ROLL WENT AS FOLLOWS:

95 COMMISSIONER BLACKBURN, CHAIR BRADY, COMMISSIONER JENKINS, AND

96 COMMISSIONER WELCH VOTED AYE. THE MOTION CARRIED UNANIMOUSLY.

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98 **NOTICED BY:** /s/ Cache Hancey

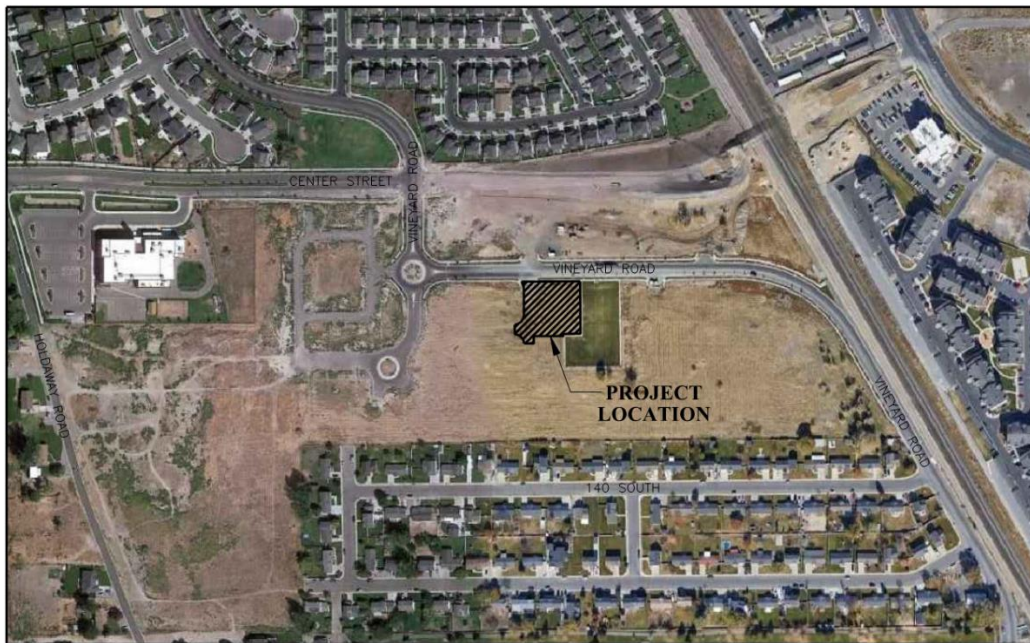
99 Cache Hancey, Planning Technician

DRAFT

Community Development

Date: June 2, 2021
From: Briam Amaya Perez, Planner II
To: Planning Commission
Item: POD 1 Clubhouse at The Orchards at the Homesteads
Address: Clubhouse 47 South, Vineyard, Utah, 84059
Applicant: Michael Olsen, The Homesteads, Home Center Construction
Owner: Glen Petit, Manager/Owner, Home Center Construction

LOCATION MAP



ANALYSIS

The applicant, Home Center Construction, is proposing a site plan for the POD 1 Clubhouse at the Orchards at The Homesteads. The property is zoned High-Density Residential (HDR-2 District) which allows medium and high-density multiple family residential areas. In addition, this district allows the development of single-family, duplex units, townhouses, condominiums, and apartments to provide a full range of housing choices for city residents and amenities and conveniences in a pleasing and attractive residential environment with adequate light, air, open space, and landscaped areas. This property is also located within a Special Purpose Zoning District known as a Planned Development (PD) Overlay. The PD District is provided as an overlay zoning district to allow residential development opportunities with a greater degree of flexibility than may be allowed by the underlying zoning districts. The PD District promotes the efficient use of all land resources and requires the provision of development and community amenities, with the preservation of the natural and scenic qualities of the development site. This proposal includes a 4,520 SF building with 6,846 SF of open space on .93 acres of land. The property is to be located at the intersection of New Vineyard Rd. and Perazzi Lane (future

private road). It will be located immediately to the west of the currently existing detention basin for the existing development. This detention basin shall be incorporated as part of the project and will serve as usable park space. The proposed site plan observes the spirit of the Zoning Ordinance and helps to fulfill the Vineyard City General Plan. The applicant has provided a scope of work, site plan, landscaping plan, materials board, and building elevations.

FINDINGS

The proposed site plan application meets the requirements of the Vineyard Zoning Ordinance.

STAFF RECOMMENDATION

Staff is recommending approval of the site plan with the conditions listed below.

CONDITIONS

1. The applicant must meet all Bicycle Rack General Requirements
2. The applicant pays any outstanding fees and makes any redline corrections.
3. The applicant is subject to all federal, state, and local laws.

PROPOSED MOTION

"I move to approve the site plan as requested by Home Center Construction with the proposed conditions."

ATTACHMENTS

Scope of Work
 POD 1 Phasing Exhibit
 Site Plan
 Landscaping Plan
 Materials Board
 Building Elevations

General Analysis	
Zoning District	HDR-2 (High-Density Residential)
Special Purpose Zoning District	Planned Development (PD) Overlay
Land Use	Parks and Associated Facilities (Permitted Use)
Lot Size	.93 acres (40,510.8 SF)
Building Square Footage	4,520 SF
Building Height	25'
Minimum Front Yard	20' (32.5' actual)
Minimum Rear Yard	20' (22' 10" actual)
Minimum Side Yard	20' (33.5' actual)
Landscaping	1,023 SF (sodded lawn); 5,823 SF (Planting areas)
Parking Stalls	15 spaces provided on site; 13 additional visitor parking spaces shall be provided within walking

	distance of the clubhouse. These will be constructed with Phase 3 improvements.
ADA Parking Stalls	1 required (2 provide)
Open Space	10% required; 16.89% provided on site; 40,713 (.874 acres) of dedicated park space provided on 'Lot A' adjacent to the site.

VZC 15.36 Site Planning and Building Design Requirements			
Category	Standard	Staff Comments	Compliance
15.36.030.1 Subdivision and Project Features	All subdivisions and other projects shall include subdivision and project features that add visual interest and attractiveness to the subdivision or project area and the City. Such features may include subdivision and project entry features, public art pieces, streetscape designs, and biking facilities and trails, consistency in design features, protection of sensitive lands features including drainage ways and wetlands areas, and useable parks and open spaces.	The Clubhouse site will connect to the detention basin east of the site, which will function as dedicated, usable park space measuring 40, 713 SF in size. This park will be named after the late, Kelly Boren, a long-time Vineyard City employee. A plaque will be installed in her memory.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a Building Design	The City encourages creative and varied architectural forms reflecting its historic rural character. The goal is that all man-made structures blend harmoniously with the natural environment.	The structure possesses creative and varied building shapes and configurations. Both form and space are given shape and scale in the design process. Variation in building materials has been accomplished.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.i View Protection	Care shall be taken to control the proportion and massing of buildings to minimize the obstruction of all views. Vertical design elements exaggerating building height and dominate rooflines shall be avoided.	The proposed building meets these requirements.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii Building massing	In order to maximize the integration of all man-made	The proposed design recesses and projects	☒ Yes

	structures and features with the natural environment and to minimize undesirable distractions, all Land Use Applications shall incorporate techniques for reducing the apparent size and bulk of proposed buildings and structures	building elements to avoid flat monotonous facades. Varied roofline patterns also create visual interest.	☐ No ☐ N/A
15.36.030.1.a.ii.1 Coherent building design	All sides of a building may have a visual or other impact and shall be coherently designed and treated. A façade not related to the rest of the building shall be avoided. A consistent level of detail and finish on all sides of a building shall be provided.	All sides of the building have been coherently designed and treated.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.ii.2	Continuous building wall surfaces shall be relieved with variations of wall planes or overhangs that create shadow areas and add visual interest.	All continuous building wall surfaces have been relieved.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iii Reduced roof mass	The roof of a building is often the single greatest contributor to its mass and most obvious obstacle to the views from adjacent properties. Visual impact is minimized when the roof is very shallow pitch, or a hip roof formation (sloping from the sides as well as the front and back) rather than a gabled formation (sloping from the front and back only)	Visual impact has been minimized.	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.iv Varying Roofline	Variation in the roofline is an effective means of harmonizing buildings with their surroundings by blending its line and form.	Roofline provides sufficient variation	☒ Yes ☐ No ☐ N/A
15.36.030.1.a.v Architectural details	Surface details, ornaments, and other building elements that enrich the character of a building are encouraged.	The proposed building provides surface details, ornaments, and other building elements that	☒ Yes ☐ No ☐ N/A

	Attention to detail, including all building and architectural design elements shall be required. The following architectural details are desirable and encouraged: - Stonework - Exposed beams and columns - Cornices, moldings, bands, pop-outs, decorative vents, cast or sculpted features - Covered entries, patios, walkways, breezeways, bays, and balconies - Enclosed courtyards and patios, trellises, landscape areas and wide roof overhangs - Accessories such as art features, benches, pots, lamps, artwork, and sculptures.	enrich the character of the building.	
15.36.030.2. Building Additions	Proposed additions to existing buildings shall incorporate the predominant architectural features, materials, and colors of the existing building	Not applicable	☐ Yes ☐ No ☒ N/A
15.36.030.3 Accessory Buildings and Structures	Materials used for all accessory buildings, structures and fences shall be compatible with the building materials and colors of the primary structure.	Fencing material appears to be compatible with the primary structure.	☒ Yes ☐ No ☐ N/A
15.36.030.4 Mechanical Equipment	Air conditioning units, generators and other auxiliary mechanical and building equipment shall be placed at locations where they will be least intrusive in terms of noise, appearance, and odors, particularly for adjacent properties and	Generators and mechanical equipment will be in the rear of the building and shall be screened by a 6-foot-high wall.	☒ Yes ☐ No ☐ N/A

	public rights-of-way. Screening walls, landscaping, and other screening treatments shall be used so all required mechanical equipment is screened from public streets and adjoining properties. All building-mounted mechanical or communications equipment shall be a color to make it as unobtrusive as possible. If located on or adjacent to a building wall, the color of all mechanical and communications equipment shall blend with the color and design details of all the buildings.		
15.36.030.5.a. Building Location	All site plans shall demonstrate design sensitivity to adjoining structures. New buildings shall not overpower existing buildings. Attention to building height, rooflines, and grade changes will help provide continuity with adjacent and neighboring buildings.	Not applicable; There are currently no buildings in its immediate surroundings.	☐ Yes ☐ No ☒ N/A
15.36.030.5.b Building Location	All project and building plans shall provide for the integration of the existing, or planned, pedestrian and vehicular circulation patterns, protect views, and be harmonious with the adjacent building designs, styles, and size.	The building provides for the integration of pedestrian and vehicular circulation patterns.	☒ Yes ☐ No ☐ N/A
15.36.030.5.c Building Location	All project and building plans shall allow for, and provide interconnected streets, walkways, trails, and parking areas, as applicable	The surrounding area in POD 1 has not yet been platted, therefore, I cannot tell how well this project will be integrated into the surrounding circulation network, but it appears that it will.	☒ Yes ☐ No ☐ N/A

15.36.030.5.d Building Location	All buildings shall have an orientation to the street to encourage a pedestrian relationship. Building placement shall allow interconnected walkways and shared site accesses, as applicable, for increased convenience, accessibility, and enhanced safety for pedestrians.	The primary building shall orient Perazzi Lane to the west of the site. In addition, an entrance has been provided on the north side of the building for those accessing the site from New Vineyard Rd.	☒ Yes ☐ No ☐ N/A
15.36.030.6 Pedestrian Scale	Regardless of overall building size, elements and facades at the pedestrian level shall achieve a sense of human scale and create visual interest at eye level.	Building elements and facades provide sense of human scale and visual interest.	☒ Yes ☐ No ☐ N/A
15.36.030.7 Building Materials and Textures	Exterior building materials shall be similar to and compatible with those found in a rural setting. Restraint should be used in the number of different exterior building materials selected. Masonry, wood siding, board and batten, lap siding and exposed wood structural members are encouraged in natural colors or earth tone finishes.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Material Color	All building materials and colors shall minimize the impact of buildings on the natural setting. All exterior buildings colors shall be subdued earth tones and muted colors that blend and do not contrast with naturally occurring colors. Retaining walls, wall extensions from buildings, and all walls and fences shall be the same or compatible color and materials, as the main buildings.	All building materials are subdued earth tones and muted colors.	☒ Yes ☐ No ☐ N/A
15.36.030.8.a Building Finishes	High gloss paints, factory finished metals or other materials which increase	The proposed site plan meets this requirement.	☒ Yes ☐ No

	visual impacts, and aluminum, white or reflective roofs are prohibited. Matte finishes are recommended. Chimneys, flues, vents, gutters, down, spout, mechanical and electrical equipment, railings, window shading devices shall be similar in intensity of color to surrounding surfaces of the building, unless they are a special building design feature. In such cases, a subdued accent color may be acceptable. Bright, glossy, fluorescent color schemes and mirrored or other highly reflective glass is strongly discouraged.		☐ N/A
15.36.030.9 Subdivision and Site Design and Layout	All subdivision and site plans shall recognize and preserve, as much as practicable, the natural features and sensitive areas occurring on the site. All subdivisions and other projects shall demonstrate efficiencies in the provision of infrastructure, including reductions in hard-surfaced areas, land disturbance, and the retention of existing vegetation, as practicable	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.9.a.i.	All buildings and structures shall be arranged to preserve and provide open space and to protect views. The locations of all buildings and structures shall recognize the existing topography and natural features of the site. All natural features shall be preserved, as practical, and integrated into the subdivision or site plan design.	All buildings and structures have been arranged to preserve and provide open space (land areas that are not occupied by buildings, structures, parking areas, streets, or roads) and to protect views.	☒ Yes ☐ No ☐ N/A

15.36.030.9.a.ii.	Provide an interconnected system of open space areas. The locations of all buildings and structures shall allow and provide areas of open space and landscaping to connect with similar open spaces and landscaping areas existing, or planned to be located on adjacent properties.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.10 Site Access	The location and number of access points to the site, the interior circulation pattern, and the separation between pedestrians and vehicles shall be designed to maximize safety and convenience and should be harmonious with proposed and neighboring buildings.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.11 Noise Impact	Subdivision and site design shall include provisions for limiting noise, particularly to adjacent property. The occupants of a development should be protected from noise from both outside and within the site through screening, setbacks, and building materials. Noise generating uses and equipment shall be located and buffered to minimize site and off-site impacts.	This design reduces noise pollution by providing a vegetation noise barrier on the east and north sides of the property.	☒ Yes ☐ No ☐ N/A
15.36.030.12 Views	Due to the community quality and character created by the surrounding scenic beauty, it is essential that the Town and all subdivision and site plan designs preserve general access to significant views. These views include Mount Timpanogos, Provo Canyon, West Mountain, and Utah Lake	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.36.030.13 Landscaping Design Standards	Landscape improvements shall be an integral element of all subdivision and site plan designs. Landscaping shall complement the architecture of all proposed buildings and structures and provide visual interest and variety, provide screening elements, provide year-round site beautification, blend with the natural landscape and highlight building design features.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.13.a Landscape Buffers	Landscape buffers between dissimilar or conflicting land uses shall be provided. Landscape buffers shall be provided for off-street parking and service areas and these areas shall be screened from public streets.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.13.b Transitional Landscaped Areas	Where new development adjoins areas of natural open space, a soft transitional edge shall be provided to create a gradual transition between the natural open space area and the new development.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.13.c Landscape Materials	All proposed plantings and site materials should be consistent with (but not uniform) and of a similar scale with existing natural neighboring landscape, and adjacent streetscape areas where appropriate. Drought tolerant "xeriscape" landscaping is encouraged. Landscaping improvements may also include berming, contouring, rocks, and boulders.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.13.d Plant Size, Spacing, and Scale	The size and spacing of landscape elements shall be consistent and establish a coordinate relationship to	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	any existing or proposed streetscape plantings. The size and space of landscape elements shall also be of appropriate scale and character to all proposed buildings, structures, and features.		
15.36.030.13.e Streetscape Landscape Treatments	All streetscapes shall create an attractive public space design and include street tree plantings, landscaping and other treatments and improvements, including consistency in street lighting, pedestrian lighting, public art and pedestrian and biking facilities and street furniture.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.14 Wall, Fences, and Other Visual Barriers	Walls, fences, and barriers located adjacent to all public rights-of-way shall be constructed of long-lasting durable materials. Walls, fences, and barriers that create a continuous surface greater than 30 feet in length shall be softened visually with acceptable landscaping or other treatments. Berms, boulders, and vegetation masking are effective substitutes for walls and fences. Walls, fences, and barriers located to separate individual lots should be constructed of materials that are compatible with the residence.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.15 Non-vegetative Ground Cover	Non-vegetative ground cover treatments may include rocks and small stones, granite, and bark. Areas of non-vegetative ground cover materials shall be broken and interspersed with plant materials.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.36.030.16 Landscape Maintenance	All landscape plans shall demonstrate that long-term maintenance factors have been considered in the landscape design. For example, irrigation systems shall be designed to achieve low maintenance and efficient water consumption.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.17 Site Light Standards	To protect views of the night sky, all outside shall be “down lighting” so that lighting does not trespass to adjoining properties. All exterior lighting shall be shielded or hooded so that no light is allowed to spill or trespass onto adjacent properties.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.17. a.	Warming lighting colors are encouraged. Blue-white colors or fluorescent and mercury vapor lamps are prohibited.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.36.030.17. b.	All exterior lighting should be reduced to the minimum levels necessary for safety and security purposes. The use of motion sensors and timers is encouraged.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.36.030.17. c. Parking Lot Lighting	Minimum adequate lighting should be provided in all parking areas, with emphasis placed on appropriate lighting at entrances and exits . All parking area lighting shall be integrated with landscape features. The height of pole-mounted fixtures shall be held to a minimum practical height, but not exceeding twenty (20) feet.	The proposed site plan meets this requirement. The proposed light poles measure 12’ in height.	☒ Yes ☐ No ☐ N/A
17.36.030.18.a. Project, Site and Building Sign Standards	The placement and design of all allowed signs shall be found to be compatible with the development project and	Not applicable.	☐ Yes ☐ No ☒ N/A

	with the surrounding area. Signs shall be provided as an integral site and building design element and shall be compatible with the style of the buildings in terms of location, scale, color, and lettering style.				
17.36.030.18.b	Signs should be located so they comply, at a minimum, with the clear view requirements, as provided herein	Not applicable.	☐ Yes ☐ No ☒ N/A		
17.36.030.c	All sign materials shall be compatible with building materials and colors. The illumination of all signs shall be accomplished in a manner that focuses light on the sign and fully shields the light source.	Not applicable.	☐ Yes ☐ No ☒ N/A		
VZC Chapter 15.38 Parking and Loading Requirements					
Category	Standard			Staff Comments	Compliance
15.38.030.1.e Parking Stall Dimensions	Type	Width	Length	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
	Standard	9 ft	20 ft		
	Parallel	8 ft	24 ft		
	The front of the parking space may overhang 2 feet into a landscape strip or pedestrian walkway, however, any parking spaces protruding over a pedestrian walkway shall maintain at least a 4-foot-wide clearance for pedestrian access (a total of 6 feet from the curb face to the opposite edge of the walkway).				
15.38.030.1.f. Parking Aisle Dimensions	Angle	1way Aisle	2way Aisle	The aisle measures 26' in width	☒ Yes ☐ No ☐ N/A
	90 deg.	24 ft	24 ft		
15.38.030.1.g. Parking Lots	Parking lots shall be designed in groupings no larger than 200 spaces. Larger lots shall be divided by buildings,			The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	plazas, or significant landscaped areas oriented for pedestrian use.		
15.38.030.1.h. Within Structures	The off-street parking requirements may be furnished by providing spaces designed within the principle building or a parking structure. However, no building permit shall be used to convert said parking structures into a dwelling unit, living area, or other activity until other adequate provisions are made to comply with the required off-street provisions of this Section	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.i. Circulation Between Bays.	Parking areas shall be designed so that circulation between parking bays occur within the designated parking lot and does not depend upon a public street or alley. Parking area designs which require backing into a public street are prohibited except for one, two, or three-family dwellings.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.j. Surfacing	All areas intended to be utilized for parking space, access aisles, and driveways shall be paved with concrete or asphalt to control dust and drainage. Areas for outdoor storage of material and equipment may be covered with decomposed granite to provide a dust free surface. Such area shall not be considered as part of a required landscape area.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.k. Striping	Except for one, two, and three-family dwellings, all parking stalls shall be marked with painted lines not less than 4" wide	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.38.030.1.l. Lighting	Parking lots used during hours of darkness shall be illuminated. Any lighting used to illuminate an off-street parking area shall be so arranged as to reflect the light down and/or away from adjoining property, abutting residential uses and public rights-of-way and shall be a maximum of 20 feet in height above the surface parking for non-residential uses and 16 feet for residential uses.	The proposed site plan meets this requirement. The proposed light poles measure 12' in height.	☒ Yes ☐ No ☐ N/A
15.38.030.1.m. Protruding Vehicles	All on-site parking stalls shall be designed and constructed so that parked vehicles shall not protrude over a property line.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.n. Screening	All off-street parking lots of 4 or more spaces shall be screened from the street view and adjacent residential districts by a landscaped berm, decorative wall, vertical landscaping, or combination thereof at 3 feet high, as measured at finished grade adjacent to the parking area to be screened. All walls or berms shall be installed a minimum of 2.5 feet back from the edge of the parking stall.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.i. Parking Area Landscaping	5% of the gross parking surface area shall be of disperse interior landscaping, designed so as to reduce the "heat island" effect and to enhance the aesthetics of a parking area. A development with single drive aisle between a building and property boundary may include the required landscaping on the perimeter of the drive aisle toward this	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	requirement. Acceptable interior landscaping designs: 1) 5' by 5' tree diamonds placed not more than 6 parking spaces apart and located at the intersection of parking stalls. Tree diamonds shall be used only with 90-degree parking spaces. 2) Min. 5' wide landscape medians with trees planted 40 feet apart. 3) Min. 5' wide landscape islands and peninsulas with at least 1 tree 4) Other similar designs that disperse landscaping throughout a parking area, to be determined by the Planning Commission.		
15.38.030.1.o.ii.	Parking areas should be buffered from adjacent residential property and screened from streets, so automobiles are not visible below the average headlight height. Screen methods may include landscaped berms, low walls, and hedges	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.iii.	Access drives, internal circulation drives, parking areas, and pedestrian walkways shall be designed to provide safety and convenience for both motorists and pedestrians and to ensure access for the physically disabled. Areas where pedestrian walkways	Pedestrian crosswalks shall be made of stamped concrete or painted depressed asphalt; an additional crosswalk will be installed at the southwestern end of the site plan across Perazzi Lane to provide safe passage to and from the clubhouse.	☒ Yes ☐ No ☐ N/A

	cross driveways shall be constructed of stamped and/or raised concrete, or of other material and design so as to differentiate the area as a pedestrian/vehicle interface.		
15.38.030.1.o.iv.	In projects greater than 1 acre, every parking space should be no greater than 150 feet from a walkway leading to a building entrance.	Not applicable. The project site is not larger than one (1) acre in size.	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.v.	Joint use of parking is encouraged in order to reduce trips. Access to, and the location of, new parking areas should relate to adopted area plans, planned parking area, or to existing area parking schemes. The Planning Commission may increase or reduce the minimum required number of parking spaces required based on city approved parking studies.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.o.vi.	The number of curb cuts (street accesses) should be minimized and pedestrian access enhanced.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.vii.	Site lighting should be aesthetically attractive, of pedestrian scale, and provide pedestrians with a sense of security.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.viii.	All sites shall meet the requirements of the Americans with Disabilities Act ("ADA")	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.ix.	Parking lot design shall consider development on adjacent sites. The City may require cross access connections/easements to	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	improve traffic circulation and to enhance public safety.		
15.38.030.1.o.x.	Traffic circulation patterns should direct commercial traffic onto arterial streets and not local/neighborhood streets. Multiple family residential traffic should be directed onto collector streets. The City may deny access onto a local/residential street if access to a collector or arterial street is available.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.o.xi.	A site plan shall be designed to separate pedestrian and vehicular traffic to the extent possible.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.p.i. Maintenance	It shall be the joint and separate responsibility of the owner and/or lessee of the principal use, uses or building to maintain in a neat and adequate manner, the parking space, access ways, striping, landscaping, and required fences or screening.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.p.ii. Maintenance	Shrubs within a landscape island shall be maintained to a maximum height of 3 feet and all trees at maturity within such planters shall maintain a minimum clearance of 6 feet from the lowest branch to the adjacent grade elevation.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.q. Use of Required Parking Areas for Parking Only	Required off-street parking spaces in any district shall not be utilized for open storage, sale or rental of goods, or storage of inoperable vehicles, except when permitted as a Temporary Use.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.1.r. Signs	No sign shall be located as to restrict the sight lines and orderly operation and traffic	The proposed site plan meets this requirement.	☒ Yes ☐ No

	movement within any parking area.		☐ N/A
15.38.030.1.s.i. Parking Canopies, Non-Residential and Multi-Family Residential Land Uses	Covered parking canopies may be located within the required side and rear building setbacks provided the structure drains onto the property on which it is located.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.1.s.ii	Covered parking canopies may encroach into required side and rear building setbacks, but may not encroach into required landscaped buffers.		
15.38.030.1.s.iii.	Height of such structures shall be limited to 10 feet		
15.38030.1.s.iv.	All canopies shall include a fascia		
15.38.030.1.s.v.	Setbacks are measured from property line to nearest edge of canopy.		
15.38.030.1.s.vi.	All required landscaping, parking or otherwise, shall be provided.		
15.38.030.2.c. Off-street Parking Requirements Non-residential uses.	Medical Offices and Clinics: 1 space per 200 SF of floor area.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.2.d.i. Mixed Uses	In the case of horizontal mixed-use occupancies in a building or on a lot, the total requirement for off-street parking shall be the sum of the requirements for the various uses computed separately.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.2.d.ii. Mixed Uses	A horizontal mixed-use development may reduce the amount of required parking by 10% if the project is a mixed-use development that includes, as part of an integrated development plan, both residential and non-residential uses or by 25	Not applicable.	☐ Yes ☐ No ☒ N/A

	if the property is within a ¼ mile walking distance to a transit or front runner station. This measurement shall be made along standard pedestrian routes from the property with a parking study submittal by a Registered Professional Engineer, to be approved through the development or site plan approval process.		
15.38.030.2.e. Calculation Spaces	In case of fractional results in calculating parking requirements, the required numbers of the sum of the various uses shall be rounded up to the nearest whole number if the fraction is .5 or greater.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.030.2.f. Joint Use Parking		Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.030.2.g. Offsite Parking		Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.040 Off-Street Loading Requirements		Not applicable.	☐ Yes ☐ No ☒ N/A
15.38.040.2.h. Bicycle Parking	Required bicycle parking shall be convenient, secure, and readily accessible to shoppers, customers, visitors, employees, students, residents, commuters, and others on the site.	The applicant shall install a 3-spot inverted U bicycle rack on the northwest of the site.	☒ Yes ☐ No ☐ N/A
15.38.040.2.h.i. Bicycle Parking	Required Bicycle Parking Spaces: Bicycle parking spaces shall be required in all zones for each site to which this Title applies. The number of bicycle parking spaces to be provided shall be a	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

	minimum of three (3) or a number equal to ten percent (10%) of the required on-site automobile parking spaces, whichever is greater. The total number of bicycle parking spaces required by this Title shall not exceed thirty (30) spaces per building. Exception: The Community Development Director may reduce the bicycle parking requirements by fifty percent (50%) for developments that are not likely to attract bicycle traffic because of the nature, location, or other circumstances associated with the development. Developments which are not likely to attract bicycle traffic, but are not limited to, a car wash and personal storage units.		
15.38.040.2.h.ii.1. Bicycle Rack General Requirements	Racks shall be of an “inverted-U” design or as approved by the Community Development Director. Other types of bicycle rack facilities may be provided with approval from the Community Development Director, so long as they meet the requirements list below.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.040.2.h.ii.2. Bicycle Rack General Requirements	Racks shall be securely anchored so that they cannot be easily removed and of solid construction, resistant to rust, corrosion, hammers, and saws.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.040.2.h.ii.3. Bicycle Rack General Requirements	Racks shall be located in a convenient, highly visible, active, and well-lit area.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

15.38.040.2.h.ii.4. Bicycle Rack General Requirements	Racks may be located no more than fifty (50) feet from the primary entrance of each principal building. If there is more than one primary entrance to a building, the bicycle parking must be along all facades with a main entrance.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.040.2.h.ii.5. Bicycle Rack General Requirements	Racks must hold the bicycle securely by means of the frame. The bicycle frame must be able to be supported so that the bicycle cannot be pushed or fall to one side in a manner that will damage the wheels. The rack should provide two (2) points of contact with the frame, a minimum of six (6) inches apart horizontally. The rack's high point should be at least thirty-two (32) inches.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.38.040.2.h.ii.6. Bicycle Rack General Requirements	Racks should be arranged so that the parking area for each bicycle is a minimum of two (2) feet wide and six (6) feet long.	The proposed design does NOT meet this requirement.	☐ Yes ☒ No ☐ N/A
15.38.040.2.h.ii.7. Bicycle Rack General Requirements	Racks should have a minimum of three (3) feet between rack elements (side by side).	The proposed design does NOT meet this requirement. There is currently about 2'8" between each rack.	☐ Yes ☒ No ☐ N/A
15.38.040.2.h.ii.8. Bicycle Rack General Requirements	A minimum of five (5) feet of aisle width shall be provided between rows of bikes.	Not applicable; there is only one row of bikes.	☐ Yes ☐ No ☒ N/A
15.38.040.2.h.ii.9. Bicycle Rack General Requirements	Where two bikes can be locked on both sides without conflict, each side can be counted as one (1) required space.	Not applicable	☐ Yes ☐ No ☒ N/A
VZC Chapter 15.40 Landscaping			
Category	Standard	Staff Comments	Compliance
15.40.080.1.a. Landscape	All landscape improvements (landscape materials, irrigation system, screening	The proposed site plan meets this requirement.	☒ Yes ☐ No

Improvements and Guarantees	walls et.) shall be installed and paid for by the developer on the site in accordance with the approved final landscape plan prior to the issuance of a certificate of occupancy for the building or use. When considered advisable, upon presentation of a cash bond, cash deposit, or assured letter of credit an amount sufficient to guarantee installation of the landscaping and irrigation system, the City Planner <i>may</i> approve a delay in the immediate installation of the required landscape improvements for a period of time not to exceed 6 months. In those instances where the City Planner approves a delay in the installation of the required landscape improvements, a temporary certificate of occupancy shall be issued for the building or use conditioned upon the satisfactory installation of the required landscape improvements within the time period approved by the Town Planner.		☐ N/A
15.40.080.1.b. Minimum Size of Plantings	Unless otherwise specified herein, all required deciduous trees shall be a minimum of 2-inch caliper in size. All evergreen trees shall be a minimum of 6 feet in height. All shrubs shall be a minimum of 5 gallon in size.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.c. Plant Installation	Plants installed pursuant to this Chapter shall conform to installation standards within the approved Vineyard Tree Manual	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.1.d. Plant Materials	Plants shall be drought tolerant and well-suited to	The proposed site plan meets this requirement.	☒ Yes

	the soil conditions at the project site. Plants with similar water needs shall be grouped together in landscape zones as much as possible. The applicant shall provide water requirements for all plant material. Plant materials shall be chosen from the approved Vineyard Tree Manual.		☐ No ☐ N/A
15.40.080.1.e. Limitation on the Use of Turf.	Turf shall be limited to 60% of the total landscaped area. All landscape areas, other than those designated for recreation purposes such as parks and playfields as determine by the City Planner are subject to this limitation.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.f. Natural Topping of Landscape Areas	All landscaped areas shall be finished with a natural topping material which may include but not limited to the following: turf, groundcover, planting, decorative rock (2 inches minimum depth and a minimum size of ½ inch), or wood mulch (4 inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.g. Irrigation Standards		The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.h. Separate Connection		The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.i. Soil Preparation		The proposed site plan meets this requirement.	☒ Yes ☐ No

			☐ N/A
15.40.080.1.j. Protection of Landscaped Areas	Permanent containment barriers (concrete curbs or bumper guards) shall be installed and properly secured within or adjacent to all proposed parking areas and along all driveways and vehicular access ways to prevent the destruction of landscape materials by vehicles.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.k. Use of Landscaped Areas	No part of any landscape area shall be used for any other use such as parking, signs, or display; except for required on-site retention areas or when such use is shown on the approved final landscape plan.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.1.l. Detention Basins	The detention areas shall not occupy more than fifty (50) percent of the on-site street frontage landscape area, unless approved by the Town Planner where shallow depths for multi-use are proposed for the basin.	Not applicable.	☐ Yes ☐ No ☒ N/A
	All detention areas shall maintain slopes no steeper than a four to one (4:1) ratio when adjacent to public rights-of-way or where there is pedestrian access to that portion of the basin. Side slopes adjacent to walls, fences, hedges and other areas with limited pedestrian access may have side slopes up to a four to one (4:1) ratio.	Not applicable.	☐ Yes ☐ No ☒ N/A
	Provide a minimum five (5) foot wide level area at the top of the basin slope.	Not applicable.	☐ Yes ☐ No ☒ N/A

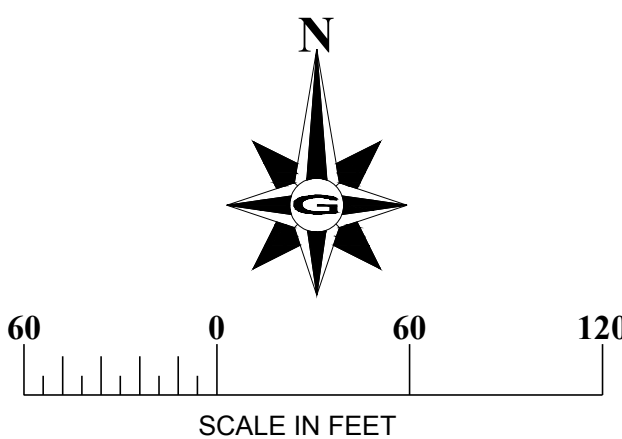
	No sidewalk or walkway shall be located closer than five (5) feet to the top of any adjacent basin slope.	Not applicable.	☐ Yes ☐ No ☒ N/A
	All basins shall be at least five feet in width at the bottom of the basin.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.a. Onsite Landscaped Areas	For all development within the industrial zoning districts, landscaped areas shall be provided on the site in an amount equal to or greater than 5% of the net site area, whichever is greater.	Not applicable.	☐ Yes ☐ No ☒ N/A
15.40.080.2.b.	For all development within all other zoning district, landscaped areas shall be provided on the site in an amount equal to or greater than 20% of the net site area. For the purposes of this section, landscape areas shall also include plazas.	Any subdivision development located within an area identified as a Planned Development Overlay District (PD) shall provide a minimum of ten percent (10%) of the total area of the development site as publicly accessible open space. 16.8% of the net site areas has been provided as open space.	☒ Yes ☐ No ☐ N/A
15.40.080.2.c.	All portions of a development site not occupied by buildings, structures, vehicle access and parking areas, loading/unloading areas, and approved storage areas shall be landscaped in accordance with the provisions of this Chapter. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the City Planner.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.2.d.	The landscaping of all street rights-of-way contiguous	The proposed site plan meets this requirement.	☒ Yes

	with the proposed development site not used for street pavement, curbs, gutters, sidewalks, or driveways shall be required in addition to the on-site landscaped areas required herein.		☐ No ☐ N/A
15.40.080.3.a. Landscaped Buffers	A minimum 10-foot-wide landscape buffer shall be required along those property lines of a site developed for multiple-family residential, commercial, or industrial uses when such property lines are contiguous with any residential development or residential zoning district; except that no such landscape buffers shall be required for multiple-family residential contiguous with other multiple-family development or a multiple-family zoning district. The area of this landscape buffer shall not be used to satisfy the landscape area requirements of this Section.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.3.b.	The landscape buffer areas shall be improved with a minimum of 1 screening tree spaced at each 15-foot interval of the property boundary being screened.	Not applicable	☐ Yes ☐ No ☒ N/A
15.40.080.4. Parking Lot Landscaping	Parking lot landscaping shall be as required in Title 15.38 Parking and Loading Requirements. The landscaped area within these planters may be used to satisfy, to the extent provided, the landscaped area requirements set forth in this Section.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.5. Building Foundations	For each elevation visible from a public or private	The proposed site plan meets this requirement.	☒ Yes

	street, a minimum of 5-foot foundation planting area shall be provided.		☐ No ☐ N/A
15.40.080.6.a. Street Frontages	The landscape setback, measured from the property line, for non-residential and multi-family uses shall be as follows: Arterial: 25 Feet Collector: 20 Feet Local Streets: 15 feet	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.6.b. Street Frontages	The landscape setback for all residential subdivisions, measured from the back of curb, shall be as follows: Arterial: 20 feet Collector: 15 feet	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.6.c. Street Frontages	The landscape setback identified above shall be established and maintained along all street frontages between any perimeter wall, building, on-site parking area or outdoor storage area and the nearest point of the existing or future required street/sidewalk improvements (the back of an existing sidewalk, the line equal to the back of a future required sidewalk, or the back of the street curb where no sidewalk is required). However, for reverse street frontage the landscape widths shall be in accordance with adopted street cross-section designs.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.6.d. Street Frontages	Turf shall be limited to 30% of the total landscape street frontage area. This minimum quantity of trees, shrubs, and vegetative groundcover shall be located between the curb and the landscape setback. The street frontage landscaping shall be designed	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

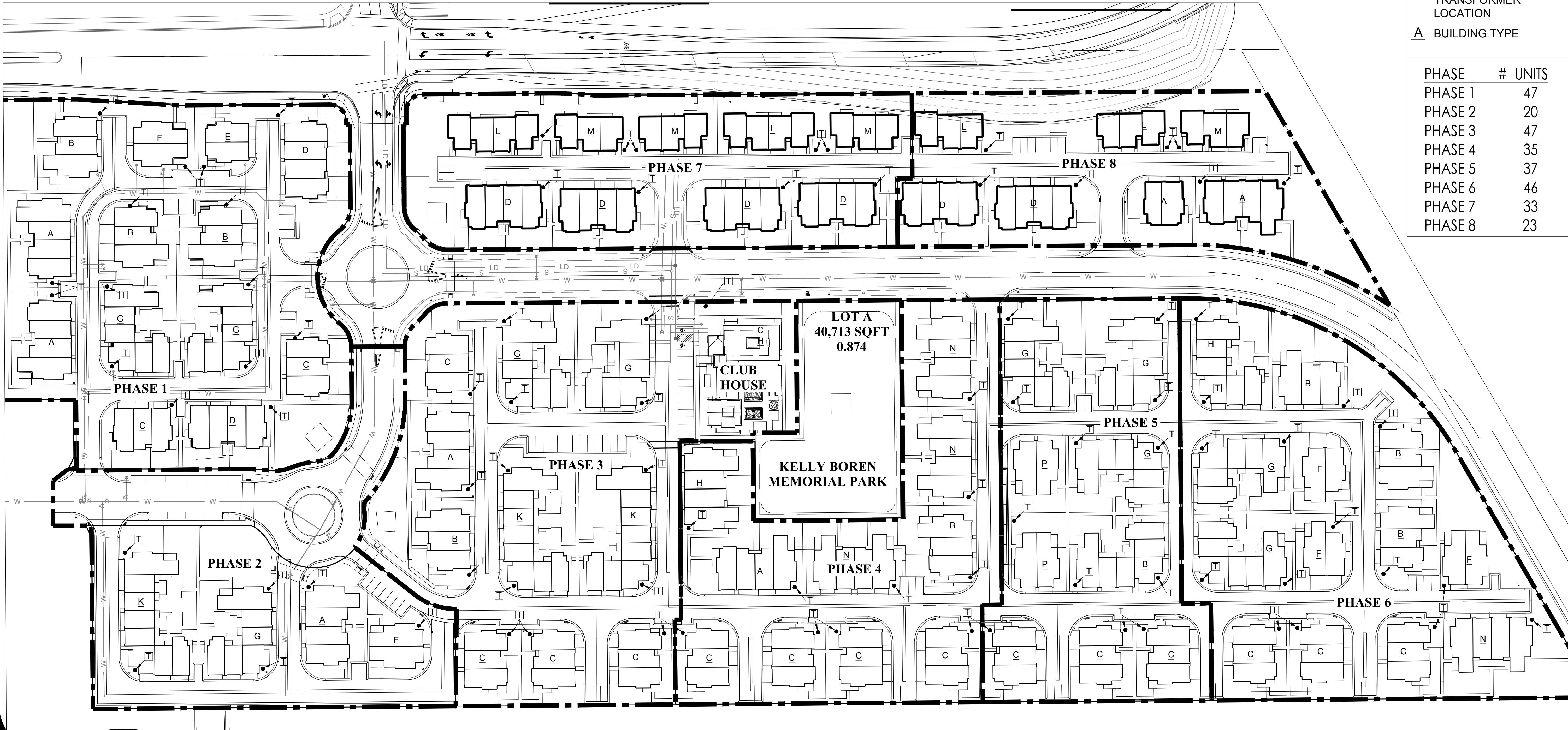
	and located to enhance the proposed development project and the streetscape.		
15.40.080.6.e. Street Frontages	The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than 1 tree and 10 shrubs for every 20 feet of street frontage. Or 1 tree and 10 shrubs for every 40 feet of street frontage for residential subdivisions and vegetative groundcover as required to meet a minimum of 65% of the total street frontage landscaped area.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A
15.40.080.7. Cumulative Totals	Quantities of plants required by each of this Chapter which apply to that projected submitted to the town for landscape approval shall be added together to calculate the minimum total quantity of plant materials required for that particular project.	The proposed site plan meets this requirement.	☒ Yes ☐ No ☐ N/A

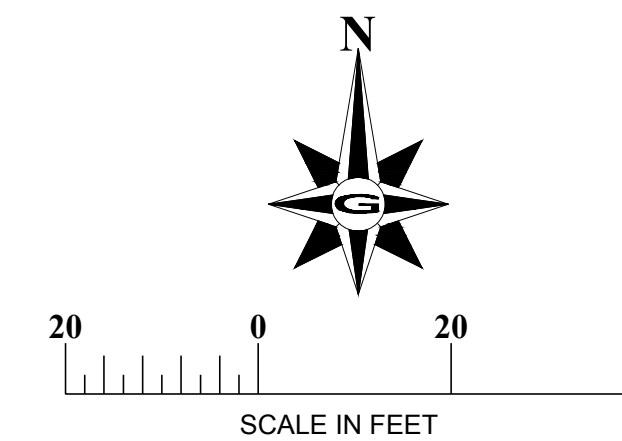
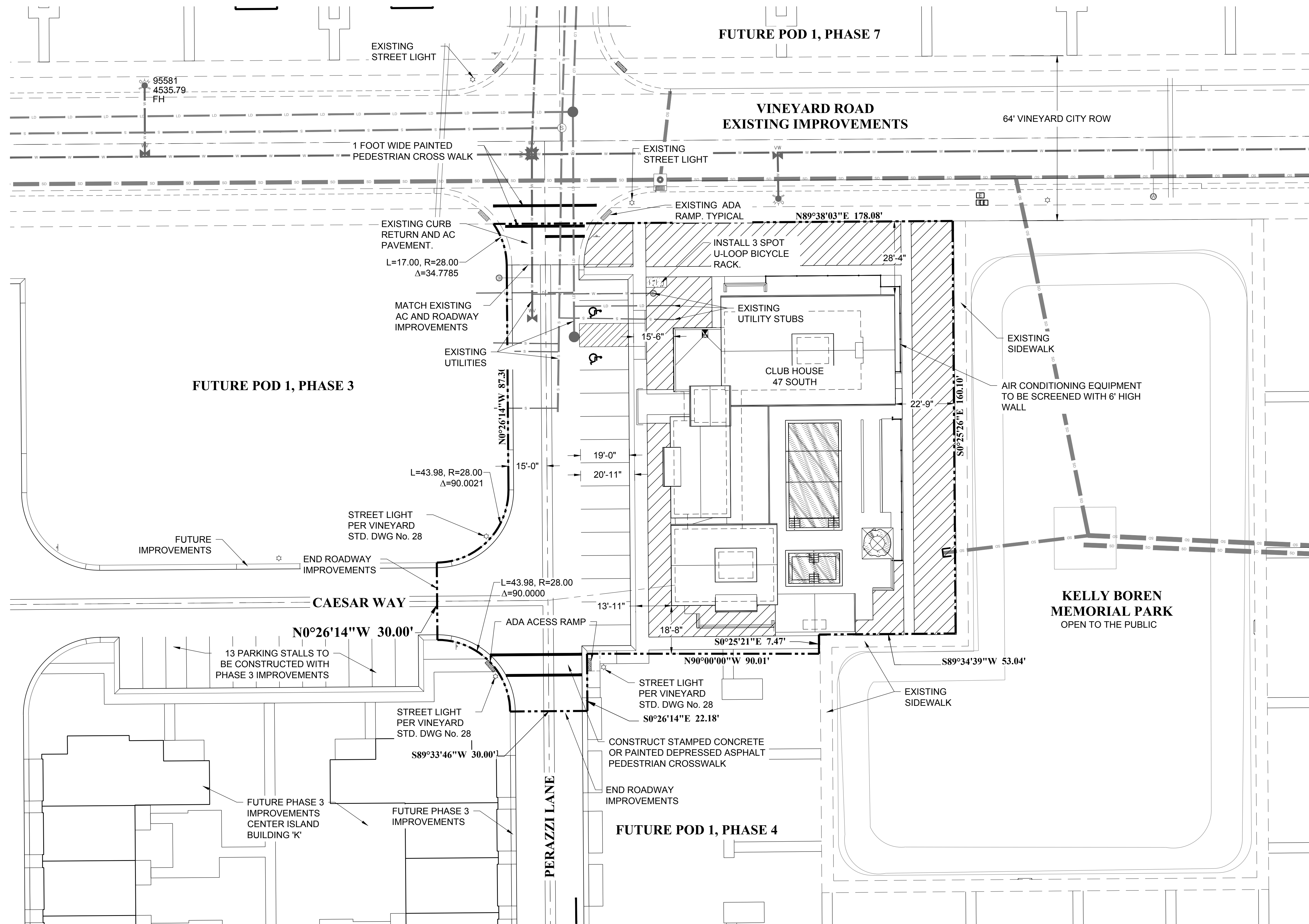
POD 1 PHASING EXHIBIT



POD 1: 288 UNITS
28.0 ACRES

NOTES:		
T	PROPOSED ELECTRICAL TRANSFORMER LOCATION	
A	BUILDING TYPE	
PHASE	#	UNITS
PHASE 1	47	
PHASE 2	20	
PHASE 3	47	
PHASE 4	35	
PHASE 5	37	
PHASE 6	46	
PHASE 7	33	
PHASE 8	23	





LANDSCAPE AREA
SEE LANDSCAPE PLANS

LANDSCAPE NOTES:

1. ALL TREES SHALL HAVE A 2" CALIPER PER LANDSCAPE PLANS
2. ALL EVERGREEN TREES SHALL HAVE A 6' MIN. HEIGHT
3. ALL SHRUBS TO BE A MINIMUM 5 GALLON
4. ALL PLANT MATERIAL SHALL BE FROM THE APPROVED VINEYARD LANDSCAPE MANUAL.

DISCLAIMER NOTE

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



CLUB HOUSE SITE-PLOT PLAN

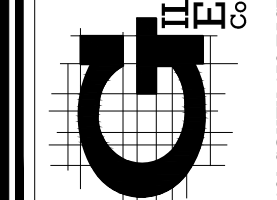
THE ORCHARDS AT THE HOMESTEADS
POD 1, CLUBHOUSE
VINEYARD, UTAH

REVISION: **A**

PROJ. # **AIM.020**

EXHIBIT

THE
ORCHARDS
AT THE HOMESTEADS



ITILSON ENGINEERING
Consulting Engineers & Surveyors
12401 SOUTH 450 EAST BUILDING C, UNIT 2, DRAPER, UT 84020
PHONE: (801) 971-9414 FAX: (801) 971-9449

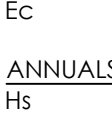
REV	DATE	BY	DESCRIPTION	REVISIONS
1	JUNE 2021	JM/JG/BP	DESIGNED/DRAWN BY	
2		JM/JG/BP	CHECKED	
3			APPROVED	

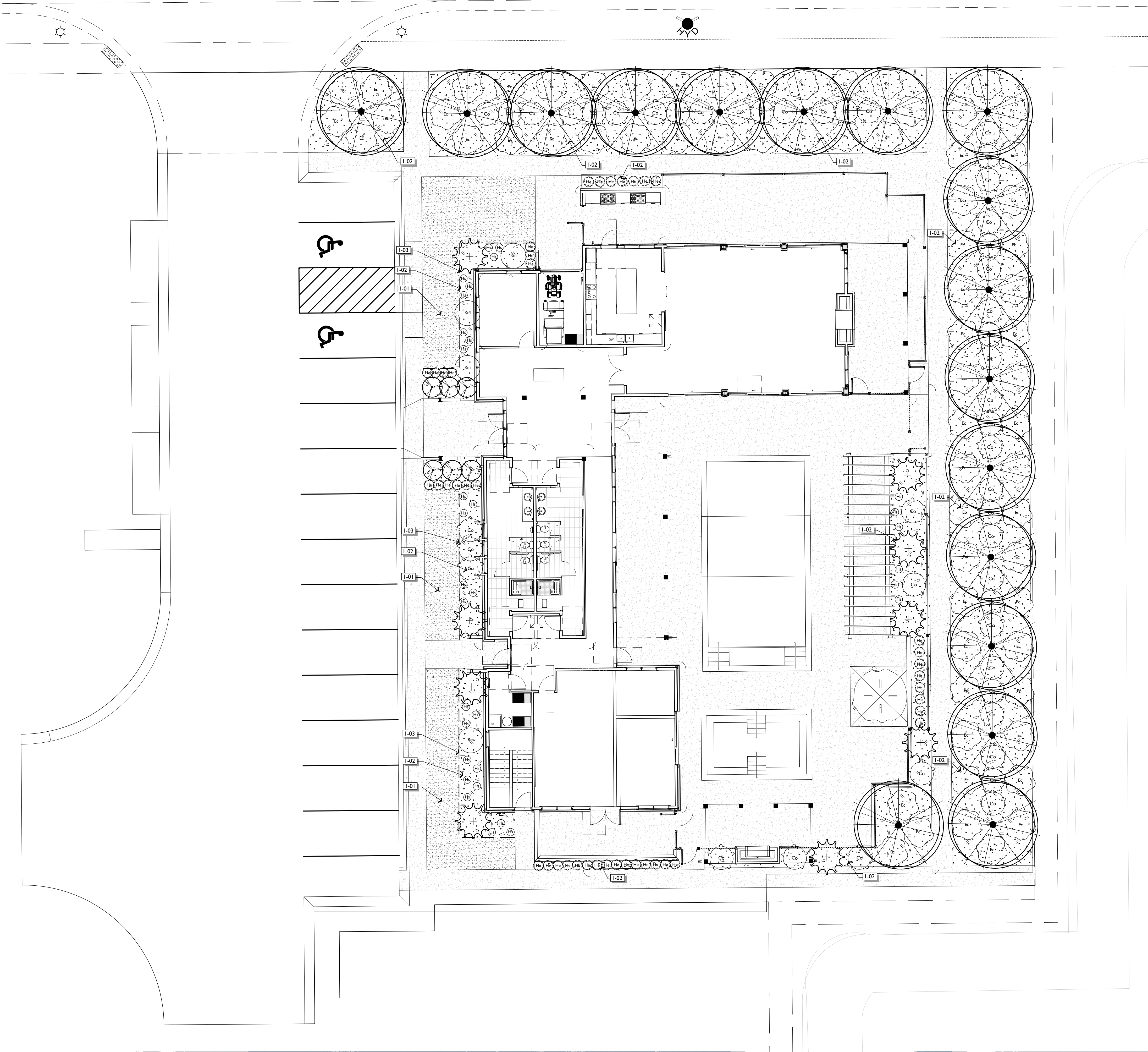
1" SCALE MEASURES 1' ON FULL SIZE SHEET
ADJUST FOR HALF SIZE SHEET

REFERENCE NOTES SCHEDULE

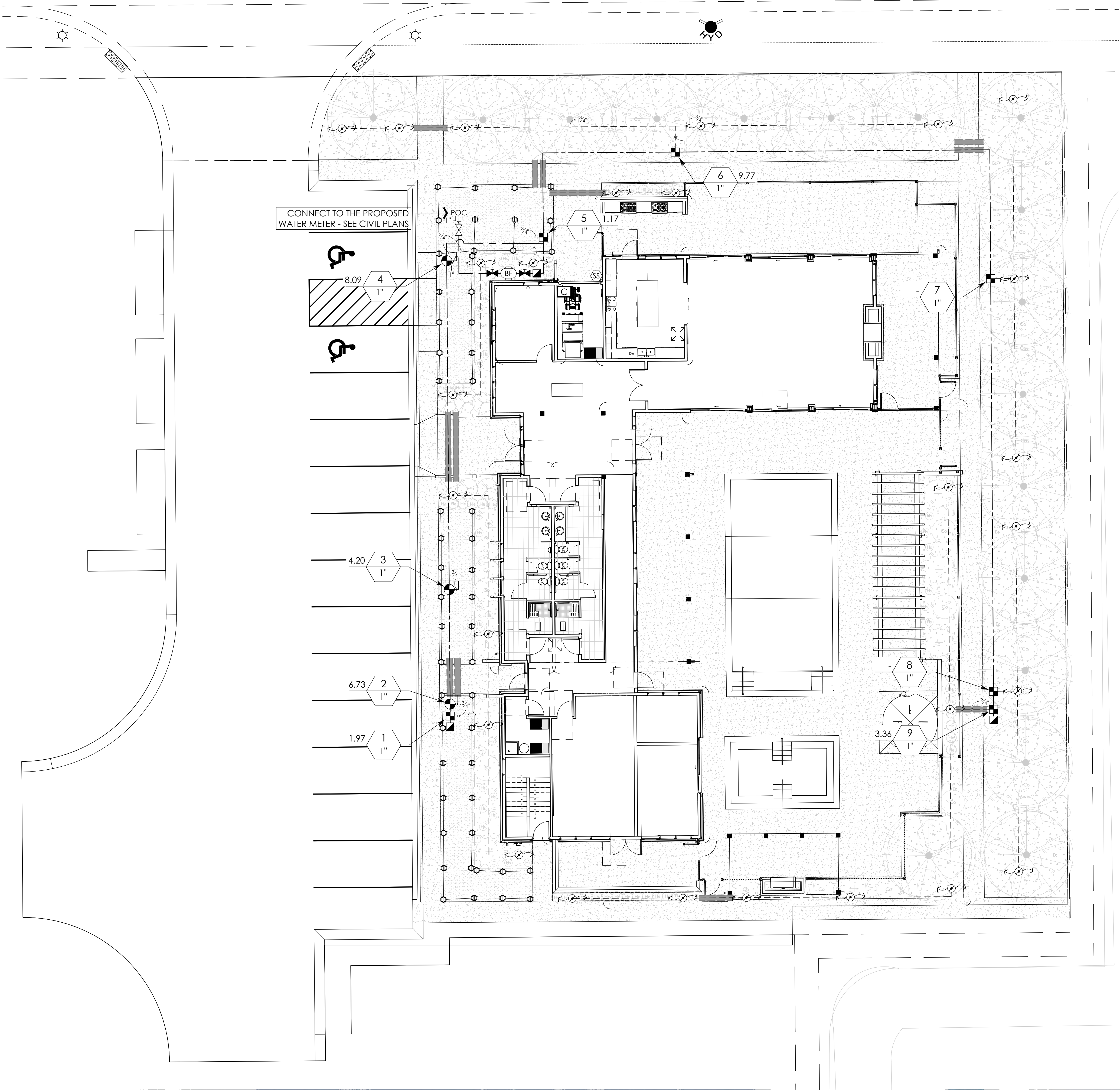
SYMBOL	1 LANDSCAPE DESCRIPTION	QTY	DETAIL
I-01	SODDED LAWN AREA	1,023 sf	
I-02	PLANTING AREAS. WOOD MULCH. SEE SPECIFICATIONS.	5,823 sf	
I-03	SURE-LOC ALUMINUM EDGING-INSTALL AS PER MANUFACTURER SPECIFICATION	129 lf	

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Acer campestre "Panacek" TM	Metro Gold Hedge Maple	15 gal	17
	Liquidambar styraciflua "Slender Silhouette"	Slender Silhouette Sweet Gum	15 gal	6
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Picea glauca "Pendula"	Weeping White Spruce	15 gal	9
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Cornus sericea "Cardinal"	Cardinal Red Twig Dogwood	5 gal	48
	Euonymus fortunei "Colorata"	Winter Creeper	5 gal	68
ANNUALS/PERENNIALS	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Hemerocallis x "Stella de Oro"	Stella de Oro Daylily	1 gal	32
GRASSES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Helictotrichon sempervirens	Blue Oat Grass	5 gal	43
ROSES	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Rosa Meidiland series "Red"	Red Meidiland Rose	5 gal	4



ATTENTION: PRIOR TO PERFORMING ANY WORK ON THIS PLAN, CONTRACTOR SHALL IDENTIFY THROUGH BLUESTAKES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY (I.E. ELECTRICAL, GAS, WATER, SEWER, ETC.). EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITH THESE DRAWINGS. QUANTITIES (IF AND IF) LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLAN. WHERE DISCREPANCIES EXIST BETWEEN SPECIFICATIONS, DETAILS, AND/OR DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS ARE CONSISTENT WITH SURVEYED BASE INFORMATION. DURING CONSTRUCTION IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND THE SITE, CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.



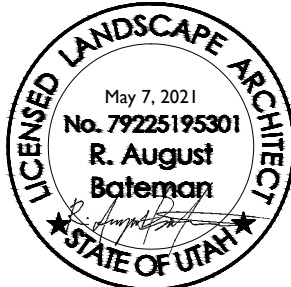
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	DETAIL
	Hunter MP800SR PROS-06-PRS40-CV Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body, ADJ=Orange and Gray (arc 90-210), 360=Line Green and Gray (arc 360)	52	40	10/L-5.2
	Hunter IC2-101-40-LF 1" Drip Control Zone Kit, 1" ICV Globe Valve with 1" HY100 filter system, Pressure Regulation: 40psi. Flow Range: .5 GPM to 15 GPM. 150 mesh stainless steel screen.	6		
	Pipe Transition Point Transition from underground PVC to above ground connection to 1/2" blank lateral drip tubing.	27		
	Dripline Hunter HDL-09-18-PC HDL-09-18-PC: Hunter Dripline with 0.9 GPH flow, Light brown tubing with SEE DETAIL black striping. Emitters at 18" O.C. Install with Hunter PLD barbed or PLD-LOC fittings.	7/L-5.2		
	Hunter IC2-G-DC 1" 1", 1-1/2", 2", and 3" Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With DC Latching Solenoid Factory Installed Option.	3		11/L-5.2
	Hunter HQ-44LRC 1" Quick coupler valve, yellow rubber locking cover, red brass and stainless steel, with 1" NPT inlet, 2-piece body.	3		6/L-5.2
	Matco-Norca 513T 3/4"- 2" Bronze Gate Valve, Full Port, Heavy Duty, Non-Rising Stem, IPS, Wheel Handle. Same size as mainline pipe.	2		5/L-5.2
	Mueller 1/8 MARK II ORISEAL Stop and Waste Valve 1-1/2"	1		
	Zurn 350XL - 1" 1" Double Check Valve Assembly w/ EZswap insert.	1		2/L-5.2
	Hunter I2C-0800-PL 8 Station Outdoor Modular Controller, No Module Required, Commercial Use. Plastic Cabinet.	1		3/L-5.2
	Hunter SolarSync Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and i-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.	1		
	Point of Connection 1"	1		
	Irrigation Lateral Line: Sch 40 PVC - Turf 3/4"	309.8 l.f.		4/L-5.2
	Irrigation Lateral Line: Sch 40 PVC - Turf 1"	3.5 l.f.		4/L-5.2
	Irrigation Lateral Line: Sch 40 PVC - Drip 3/4"	592.1 l.f.		
	Irrigation Lateral Line: Sch 40 PVC - Drip 1"	5.0 l.f.		
	Irrigation Mainline: Type K Copper Pipe 1"	26.9 l.f.		4/L-5.2
	Irrigation Mainline: MAINLINE - SCH 40 PVC	104.2 l.f.		
	Irrigation Mainline: MAINLINE - SCH 40 PVC 1"	226.3 l.f.		
	Pipe Sleeve: Sch 40 PVC Sleeve must be minimum twice diameter of lateral and wiring.	92.8 l.f.		4/L-5.2
	Valve Callout Valve Number Valve Flow Valve Size			

GENERAL IRRIGATION NOTES:

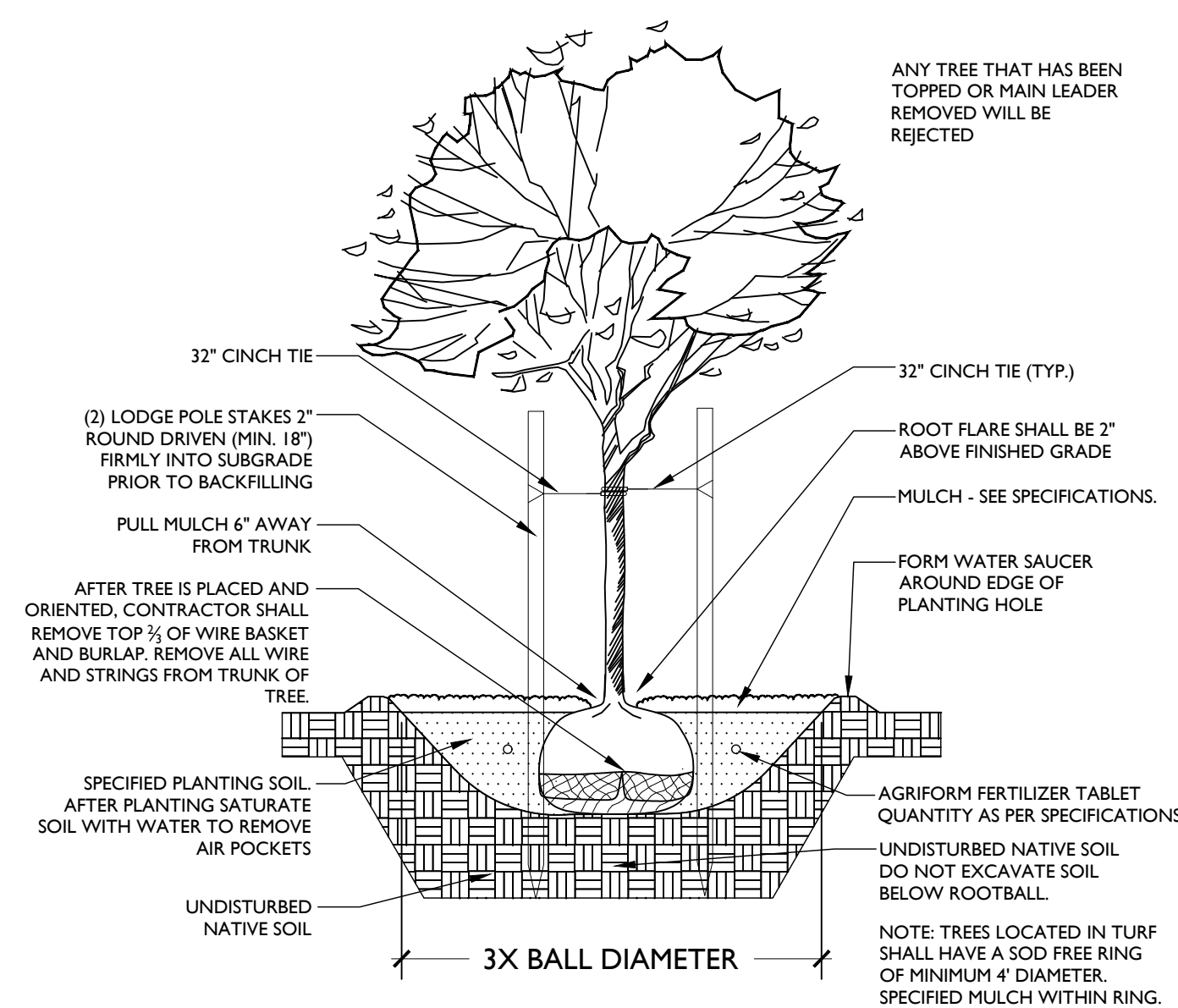
- THIS IRRIGATION DESIGN IS DIAGRAMMATIC. DRIP LATERAL LINE ARE NOT SHOW GOING TO EVERY PLANT FOR DESIGN CLARIFICATION ONLY AND THE CONTRACTOR SHALL ENSURE ALL PLANTS RECEIVE DRIP IRRIGATION. EQUIPMENT, PIPING AND VALVES, ETC. SHOWN WITHIN PAVED AREAS ARE SHOWN FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN THE PLANTING AREAS LOCATE VALVES AND BFPs WITHIN SHRUB AREAS SO THAT THEY ARE VISUALLY UNOBTUSIVE.
- ALL PVC PIPE TO HAVE A MINIMUM PRESSURE RATING OF 200 P.S.I.. ALL POLYETHYLENE PIPE TO BE PE3408 RECLAIMED WATER PIPE.
- ALL SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE. REFER LONG SWEEP NOTE.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE BUNDLED AND TIED OR WRAPPED EVERY TWELVE (12') FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED AT ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNTIED PRIOR TO TRENCH FILL IN.
- FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL LANDSCAPE LATERALS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF 2" OF PEA GRAVEL.
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.
- A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- BEFORE WORK BEGINS ON THE PROJECT, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PROJECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER. THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER IS TO APPROVE ANY CHANGES PRIOR TO THE START OF ANY WORK.
- IRRIGATION CONTRACTOR SHALL INSPECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT TO REPAIR AND/OR REPLACE, AT THEIR OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS DESTROYED DURING CONSTRUCTION. LIKewise, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES OR ANY OTHER AREAS OUTSIDE THE CONTRACT LIMITS. THE DAMAGED ITEMS/AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL IRRIGATION LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. PRIOR TO THE START OF WORK, ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKES AT 622-4111.
- ALL HARDSCAPE, WALLS, SIGNAGE, AND HEADER MUST BE STAKED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
- VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. NOTIFY THE OWNER AND LANDSCAPE ARCHITECT SHOULD CONFLICTS ARISE.
- IRRIGATION CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.

ATTENTION: PRIOR TO PERFORMING ANY WORK ON THIS PLAN, CONTRACTOR SHALL IDENTIFY THROUGH BLUESTAKES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY (I.E. ELECTRICAL, GAS, WATER, SEWER, ETC.). EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITH THESE DRAWINGS. QUANTITIES (If and If) LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLANS. WHERE DISCREPANCIES FIRST BETWEEN SPECIFICATIONS, DETAILS, AND/OR DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS ARE CONSISTENT WITH SURVEYED BASE INFORMATION. DURING CONSTRUCTION IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND THE SITE, CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.



ENG/ARCH:
DRAWN BY: AJG
REVIEWED BY: RAB

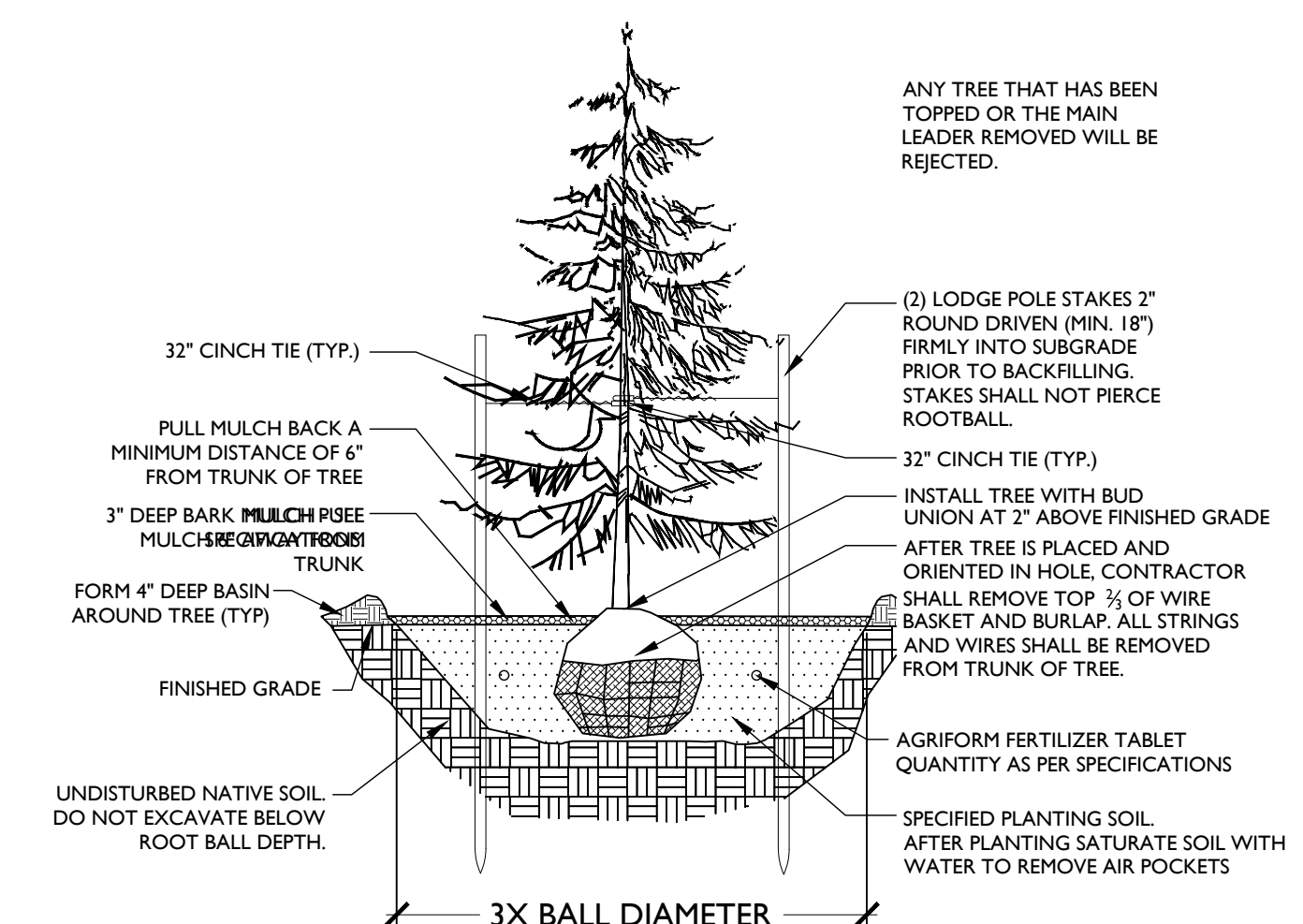
DATE: 07 May 2021



1 DECIDUOUS TREE PLANTING

$$\frac{3}{8}'' = 1'-0''$$

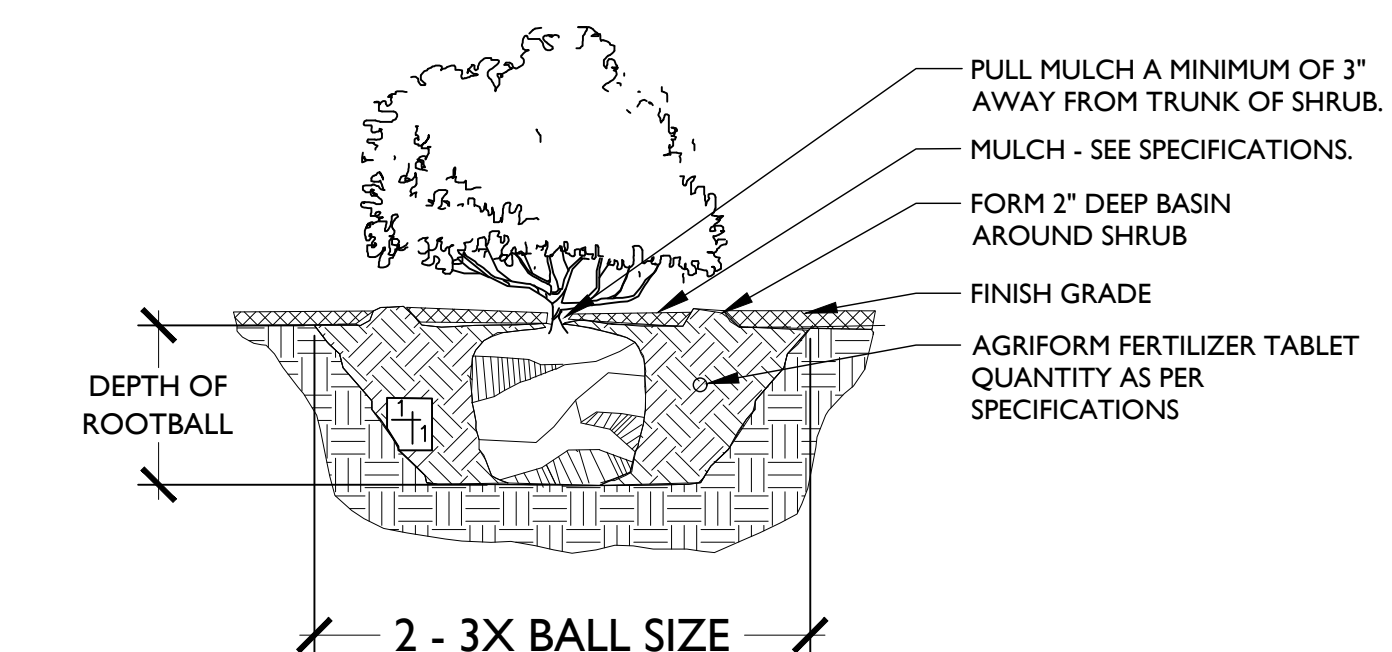
P-CO-HQC-01



② EVERGREEN TREE PLANTING

$$3/8'' = 1'-0''$$

P-CO-HQC-02

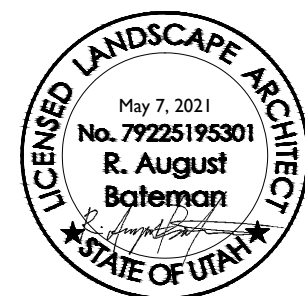


SHRUB PLANTING

$$1/2'' = 1'-0''$$

P-CO-HQC-07

ATTENTION: PRIOR TO PERFORMING ANY WORK ON PLANS CONTRACTOR SHALL IDENTIFY THROUGH BLUELINES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOT PROCEED WITH THE PROJECT UNLESS IT HAS BEEN DETERMINED BY BOTH PARTIES THAT THERE IS NO INTERFERENCE WITH EXISTING UTILITY LINES LISTED HEREON. FOR THOSE ITEMS LISTED ARE FOR REFERENCE ONLY, CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLANS WHERE DISCREPANCIES exist between SPECIFICATIONS, DETAILS, AND/OR DRAWINGS. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS CORRESPOND TO ACTUAL FIELD CONDITIONS.

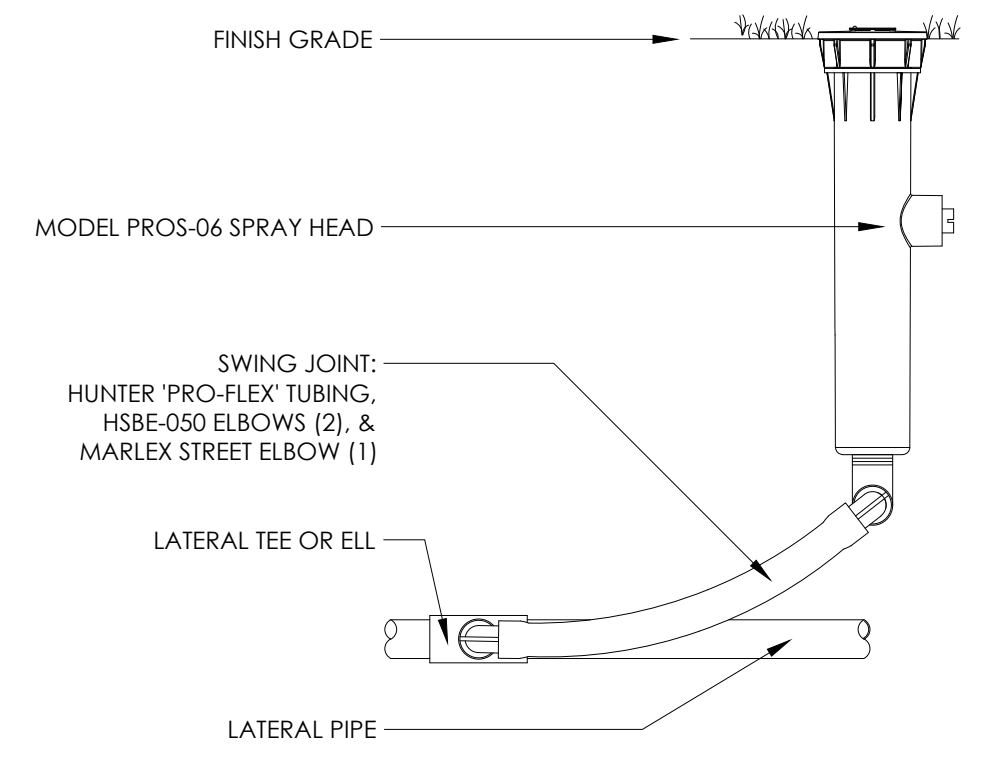


ENG/ARCH:
DRAWN BY: AJG
REVIEWED BY: RAB

DATE: 07 May 202

LANDSCAPE SITE DETAILS

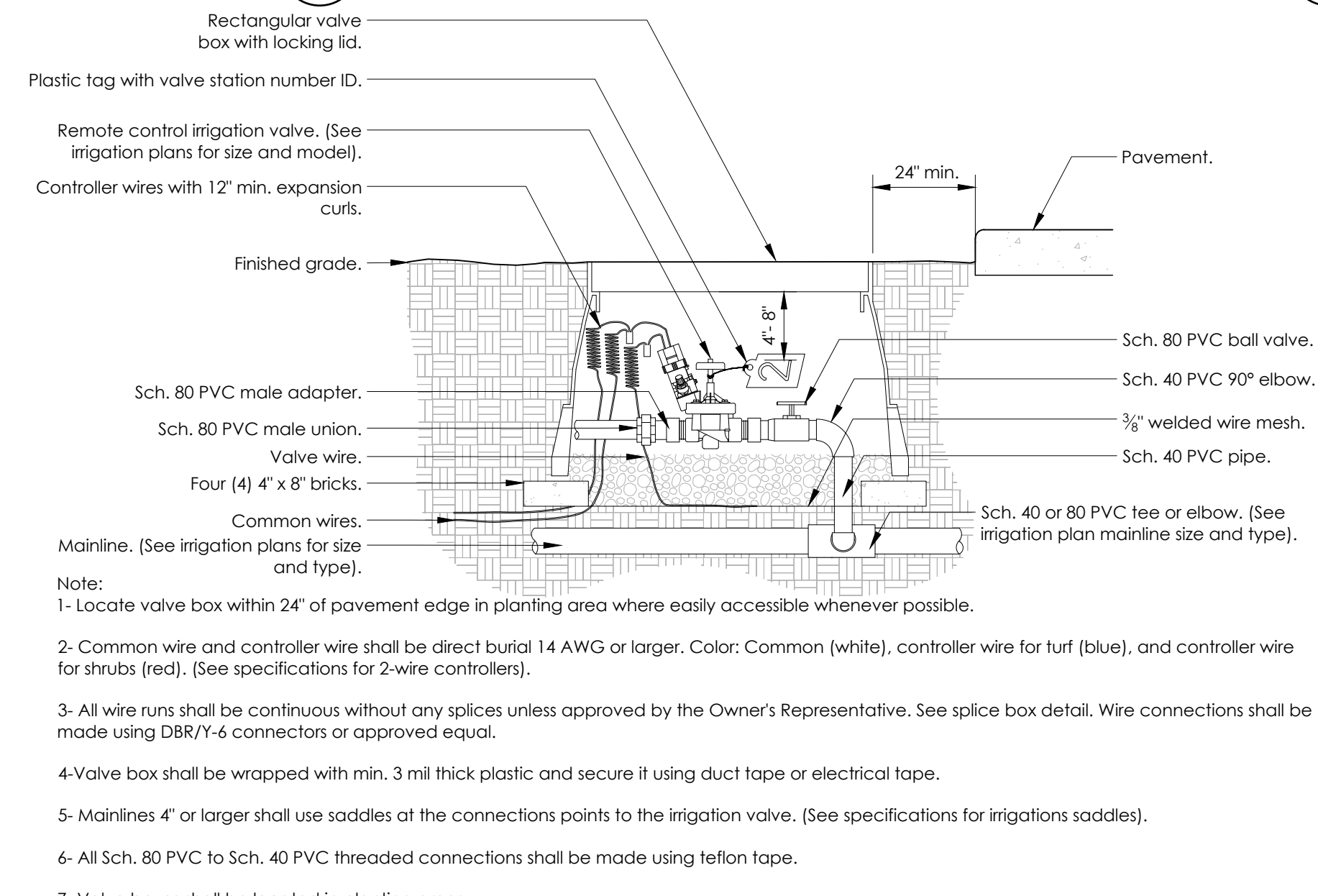
Hunter®



10 TYPICAL SPRINKLER HEAD

3" = 1'-0"

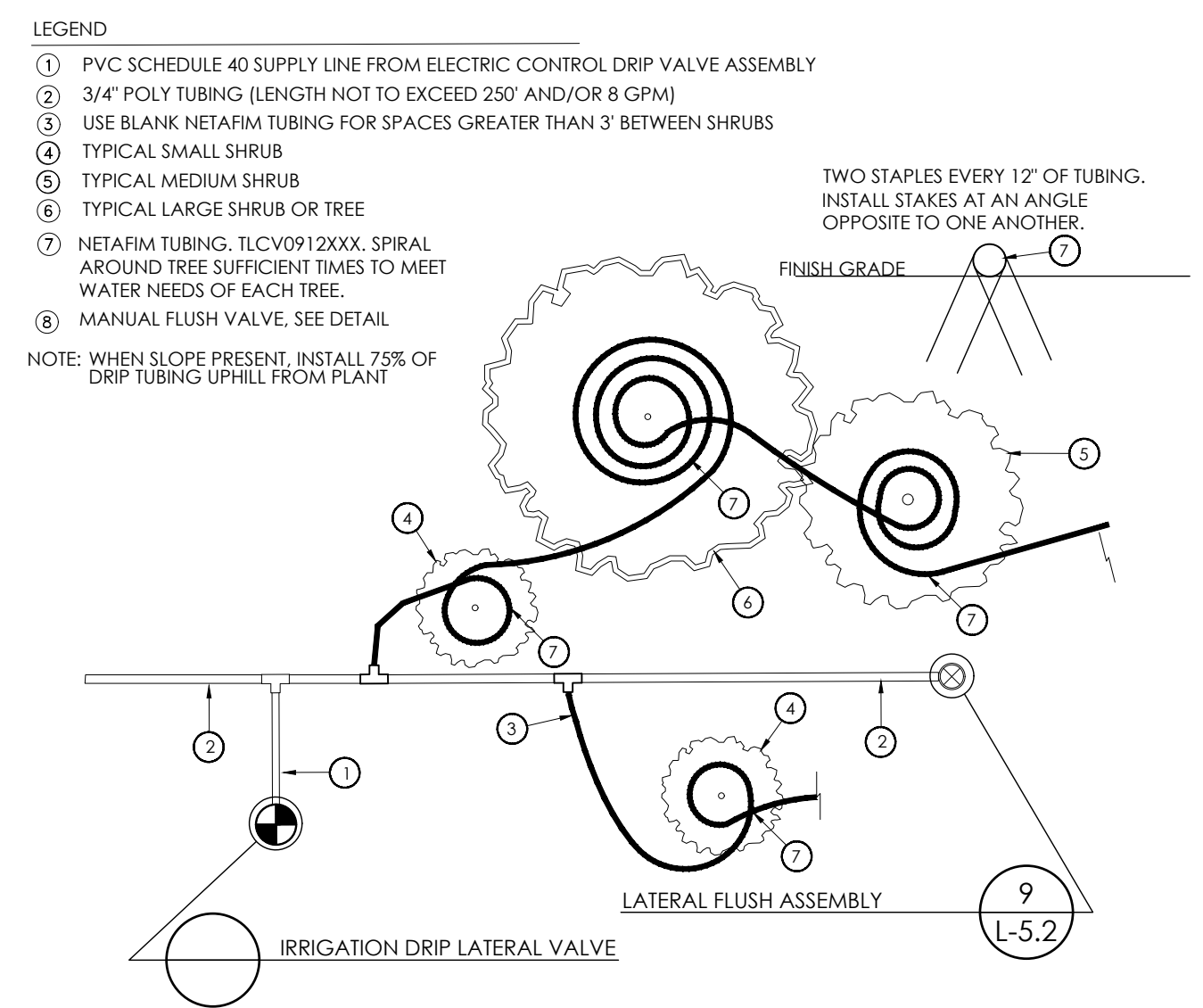
P-CO-ORC-32



11 REMOTE CONTROL IRRIGATION VALVE

1 1/2" = 1'-0"

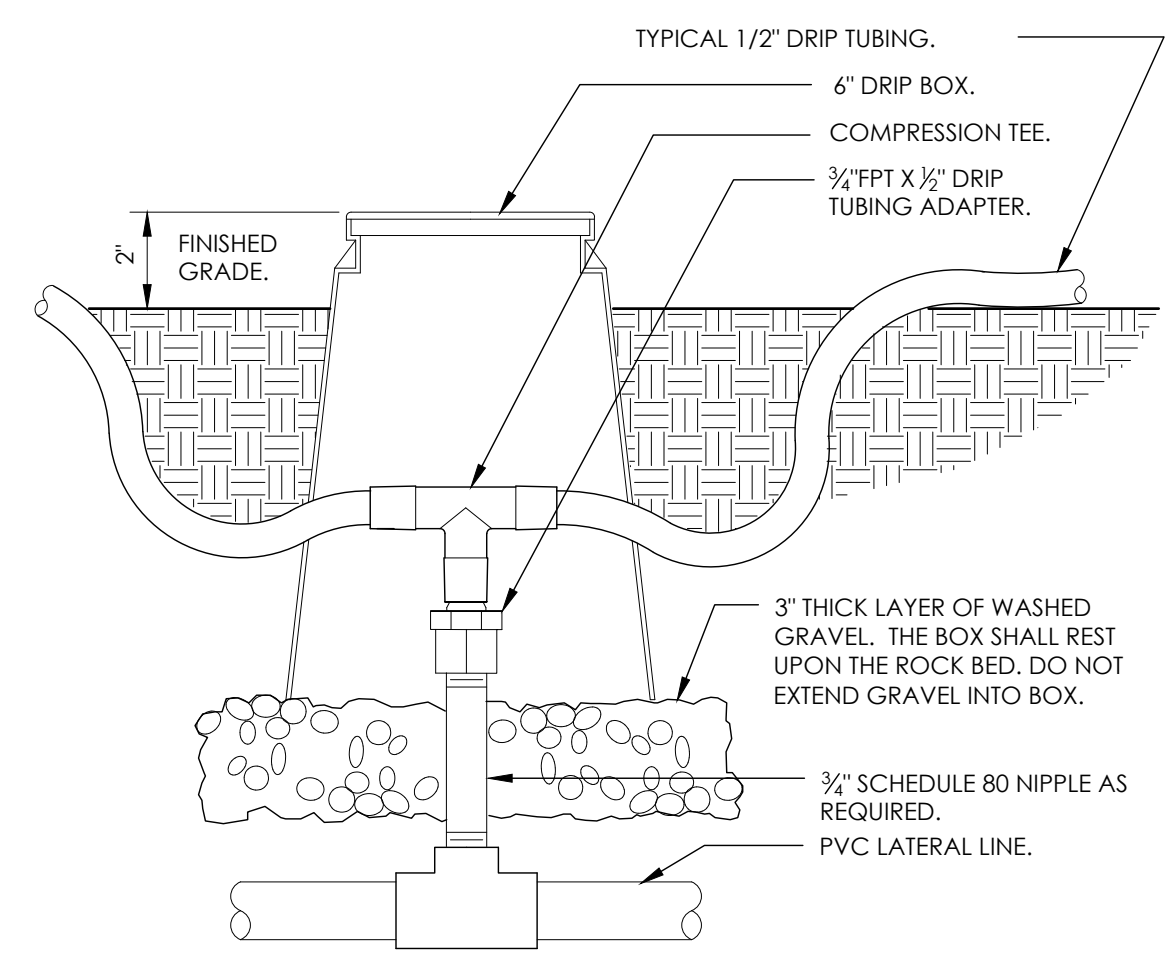
P-CO-ORC-24



7 INLINE EMITTER TUBING TYPICAL LAYOUT

1/8" = 1'-0"

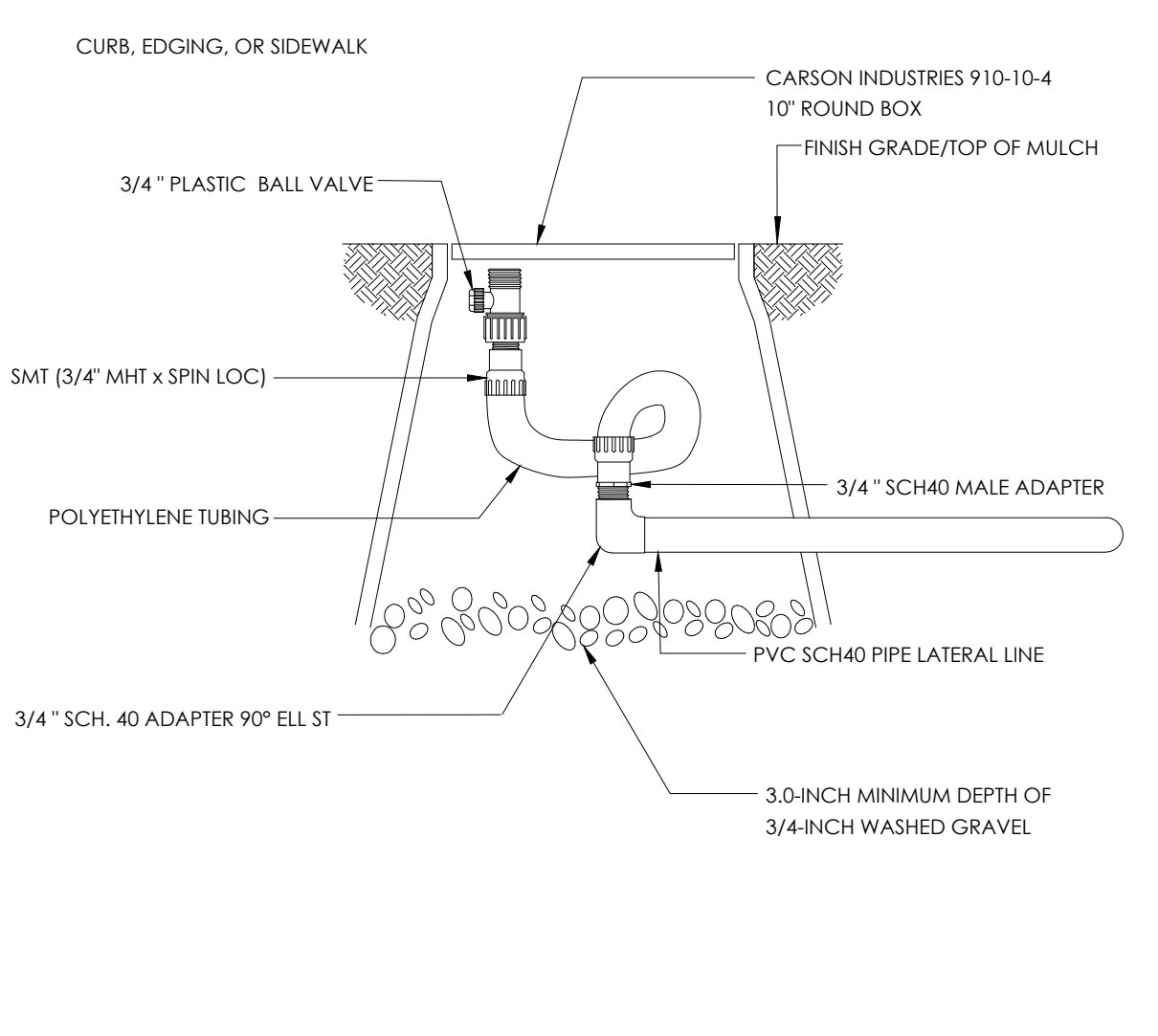
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8 PIPE TRANSITION POINT

3" = 1'-0"

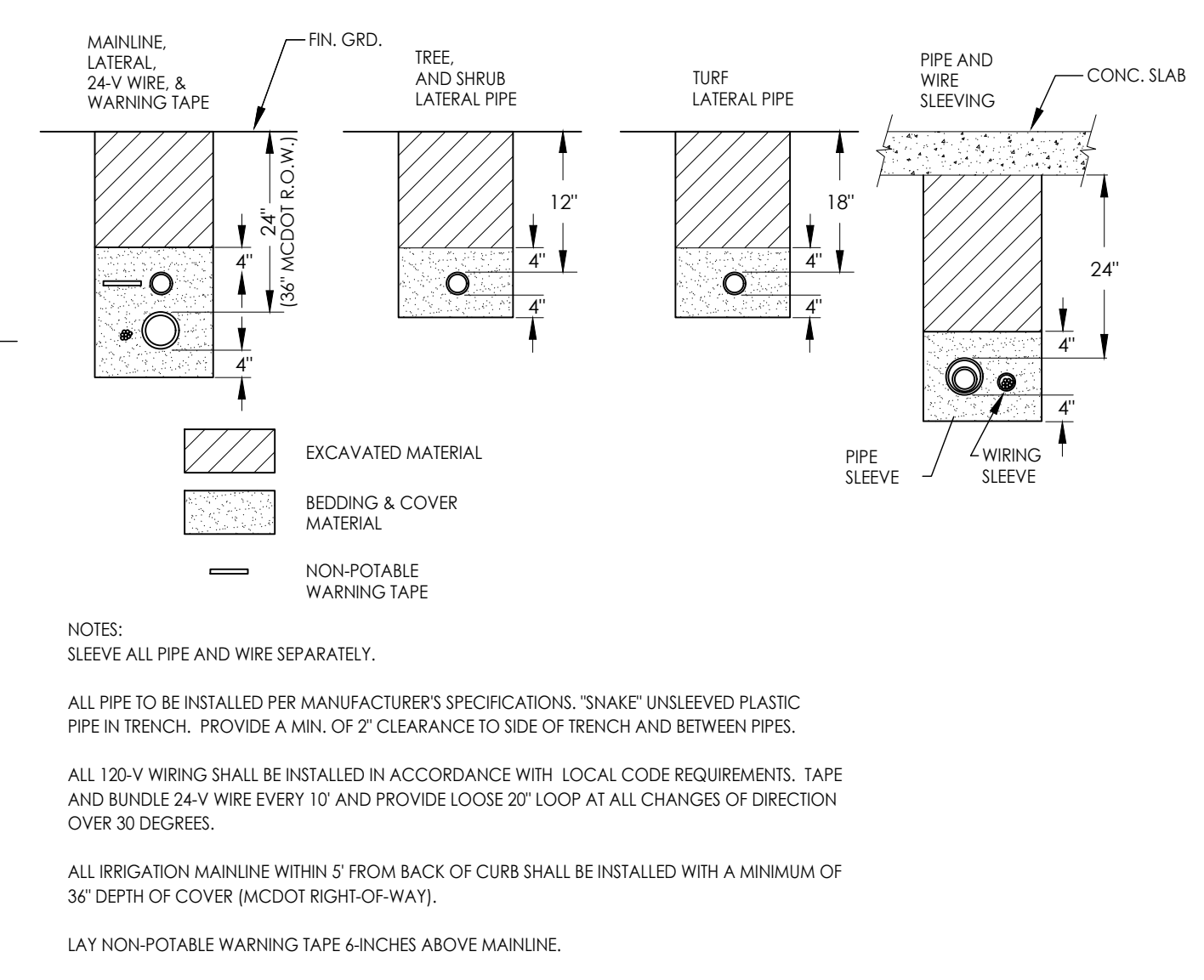
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9 LATERAL FLUSH ASSEMBLY

3" = 1'-0"

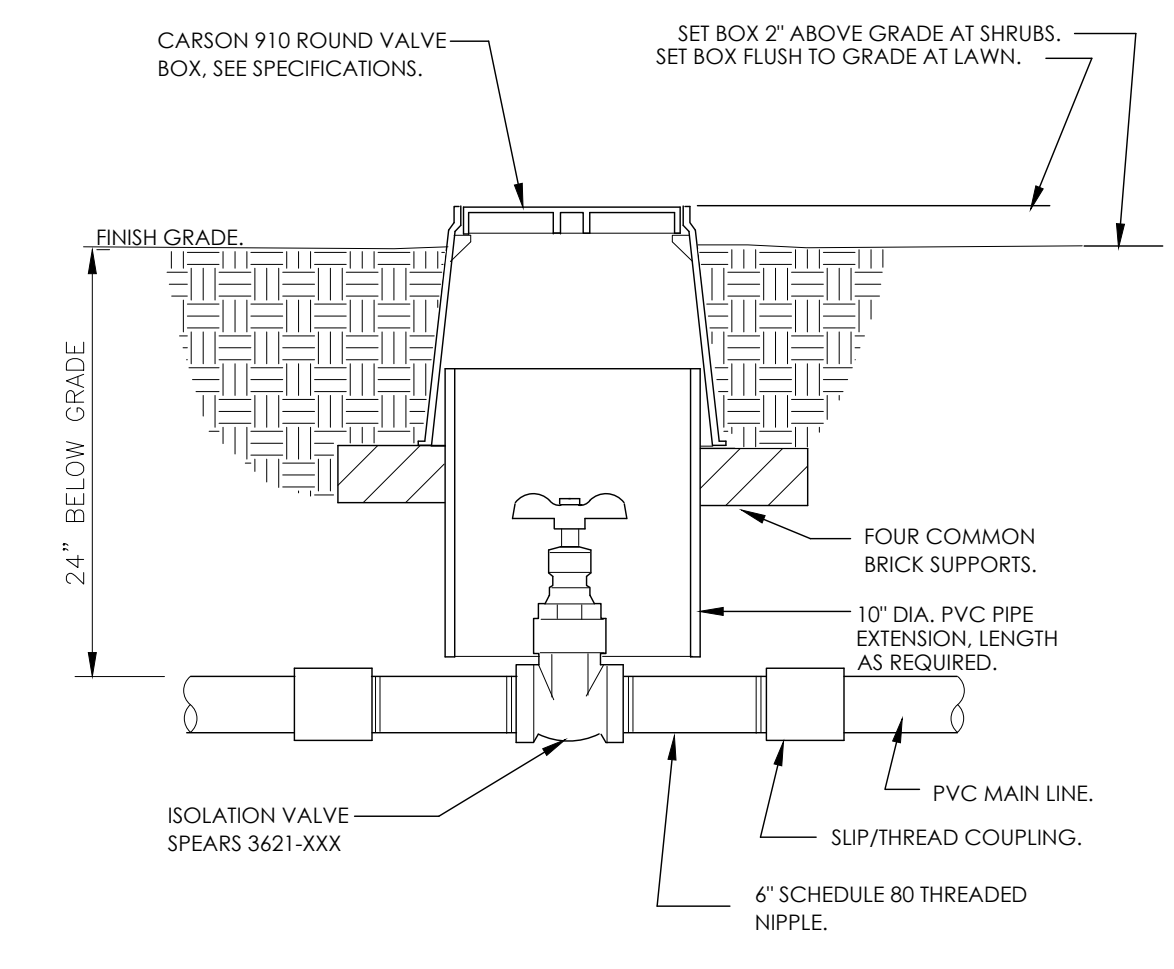
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4 PIPE TRENCH LAYOUTS

1/2" = 1'-0"

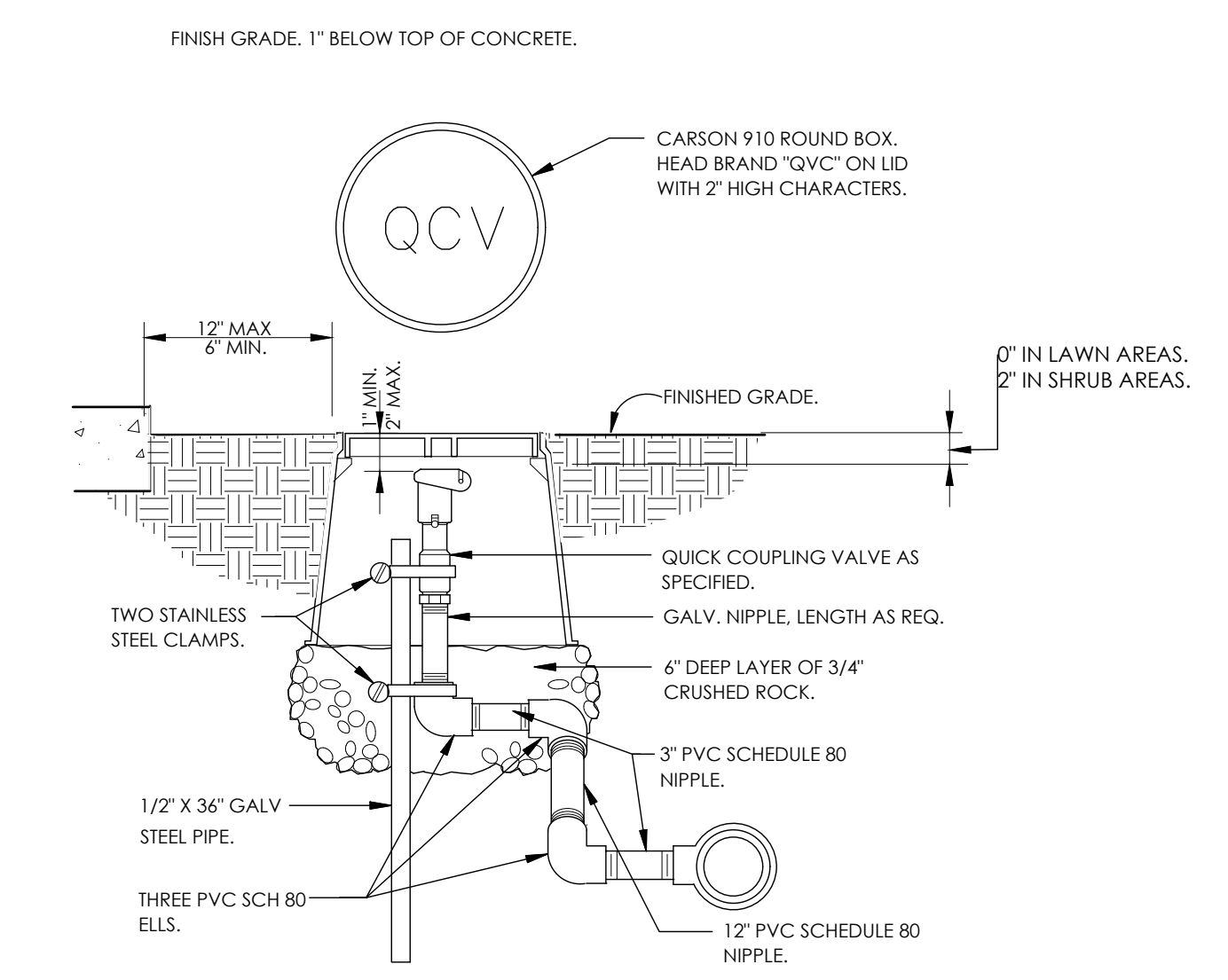
P-CO-ORC-21



5 MANUAL ISOLATION VALVE

1 1/2" = 1'-0"

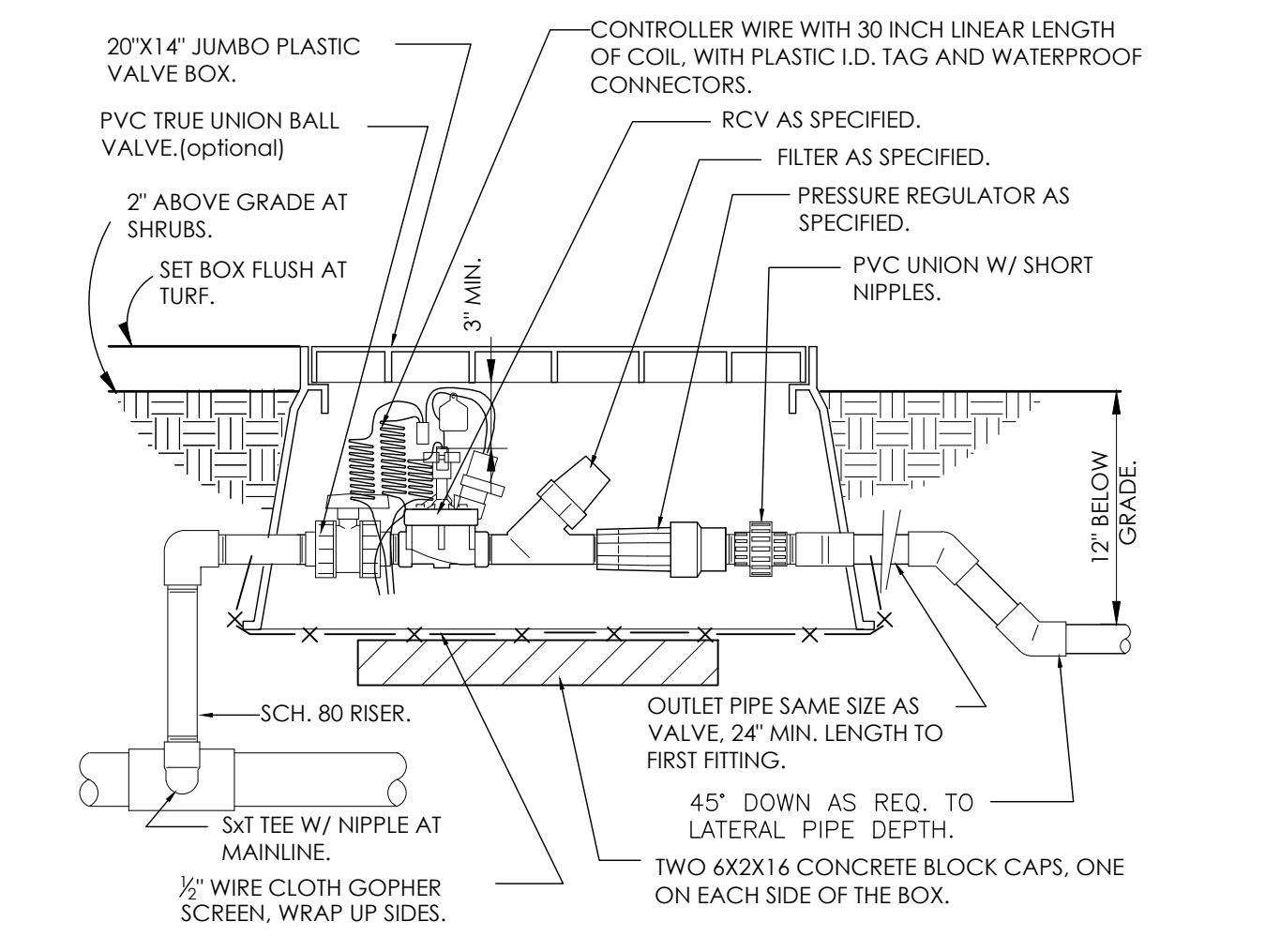
P-CO-ORC-14



6 QUICK COUPLING VALVE IN BOX

1 1/2" = 1'-0"

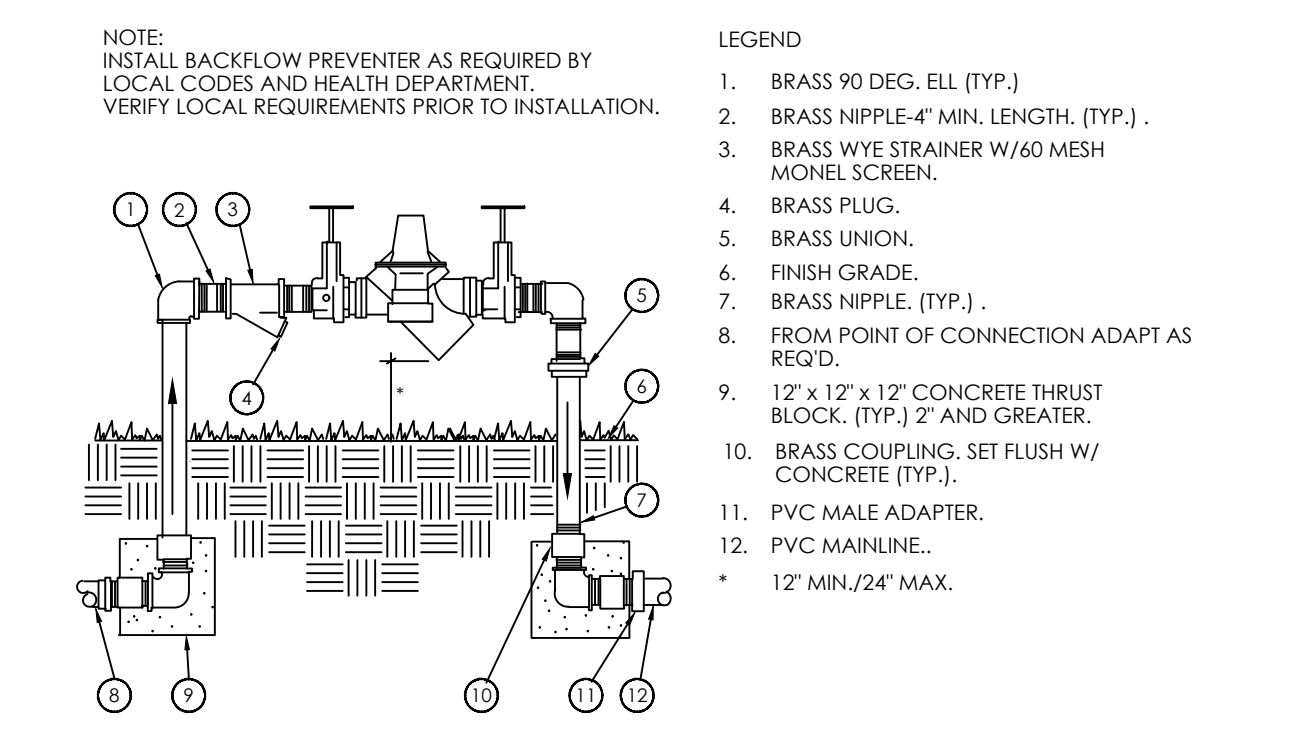
P-CO-ORC-12



1 REMOTE CONTROL IRRIGATION VALVE - DRIP

3/4" = 1'-0"

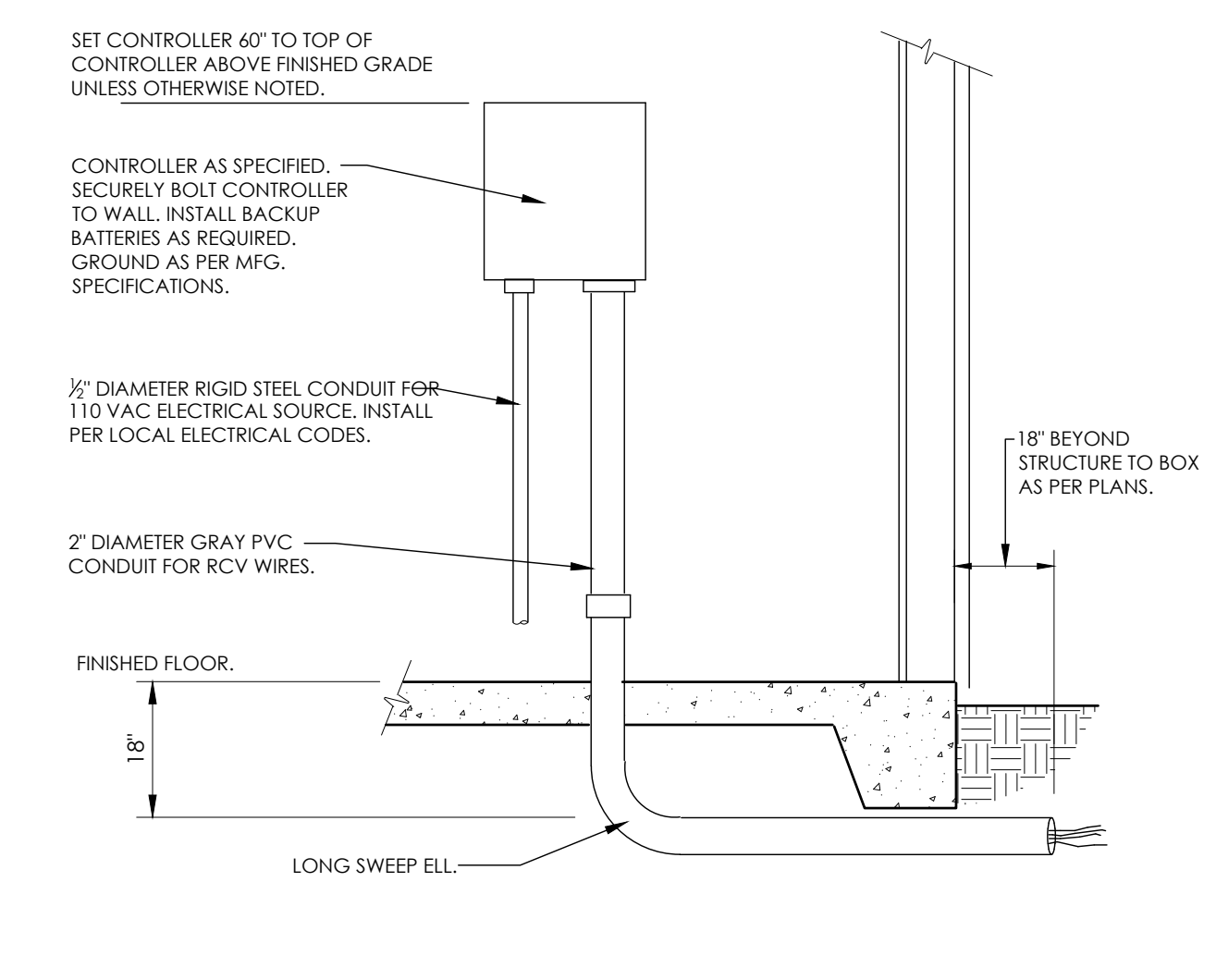
P-CO-ORC-23



2 RP BACKFLOW PREVENTER ASSEMBLY

1 1/2" = 1'-0"

P-CO-ORC-17

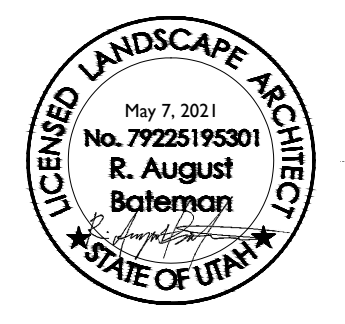


3 INTERIOR WALL MOUNT CONTROLLER

1" = 1'-0"

P-CO-ORC-18

ATTENTION: PRIOR TO PERFORMING ANY WORK ON THIS PLAN CONTRACTOR SHALL IDENTIFY THROUGH BLUESTAKES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY (I.E. ELECTRICAL, GAS, WATER, SEWER, ETC.). EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITH THESE DRAWINGS. QUANTITIES (If and If) LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLANS. WHERE DISCREPANCIES EXIST BETWEEN SPECIFICATIONS, DETAILS, AND/OR DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS ARE CONSISTENT WITH SURVEYED BASE INFORMATION. DURING CONSTRUCTION IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND THE SITE, CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.



SECTION 1 - PLANT MATERIAL PART 1 - GENERAL

1.01 SCOPE OF WORK

A. Work as evident on drawings and specified herein or required to complete all landscaping and shall include, but not necessarily limited to the following work:

- Furnish imported topsoil from outside sources as needed. (see sub-section 2.01.)
- Ensure all necessary permits are obtained prior to construction and staging.
- Excavate tree/shrub pits.
- Provide and plant all materials indicated on plan and plant list.
- Stake and protect all trees and planted areas as specified and detailed.
- Clean all areas prior to Acceptance of the Work, including debris, stains, and dirt from walks and other surfaces.

B. These specifications are complementary to the drawings.

C. Related Sections:

SECTION 2 - Turf Sod and Soil Preparation

1.02 QUALITY ASSURANCE

A. Regulatory Requirements

1. Comply with applicable requirements of Federal, State and Local laws, regulations and codes having jurisdiction at the project site.

Contractor shall be responsible for certificates of inspection of plant material that may be required by Federal and Local authorities to accompany shipments of plants.

Reference Standards

1. "Standardized Plant Name" by the American Joint Committee of Horticultural Nomenclature.

2. "American Standard of Nursery Stock" by the American Association of Nurserymen.

3. American National Standards Institute (ANSI), Publication Z60.1.

C. Substitutions

1. Substitutions of plant material will not be permitted unless authorized in writing by the Landscape Architect. If proof is submitted that any plant specified is not obtainable, a proposal will be considered for use of the nearest equivalent size or variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing to the Landscape Architect at least thirty (30) days prior to start of the work under this Section. These provisions shall not relieve Contractor of the responsibility of obtaining specified materials in advance if special growing conditions or other arrangements must be made in order to supply specified materials.

Source Quality Control

1. Plants shall be subject to inspection and approval by the Landscape Architect/Owner at place of growth and upon delivery for conformity to specifications. Such approvals shall not impair the right of inspection and rejection during progress of the Work. Submit written request for inspection of plant material at place of growth and quantity of plants to be inspected. The Landscape Architect reserves the right to refuse inspection at this time if, in his judgement, a sufficient quantity of plants is not available for inspection.

2. All plants may be inspected at the nursery by the Landscape Architect or Owner and shall be tagged with self-locking tags. Plants delivered to the site without these tags or with broken tags shall be sufficient reason for rejection.

Contractor's Qualifications

1. All bidders shall be required to present proof of their qualifications, contract sample, Utah state licensure, insurance coverage, experience, and ability to perform the scope of work set forth in these specifications according to the following construction deadlines pending unforeseen delays related to the weather or other conditions outside the contractors control.

1.03 PROJECT PERSONNEL AND SITE PROTECTION

ATTENTION:

The Contractor shall have a designated foreman in direct and personal charge of the work, and the foreman shall be on the job at least eighty-five (85) percent of the working hours. The Owner's Authorized Representative may "shut down" the work under contract if the supervisor is not, in his opinion, adequate to protect the interests of the Owner. Such "shut down" time to be counted as working days and will not extend the time of the contract.

All existing site elements including but not limited to the following shall be protected: All existing utilities, existing hardscapes (drives/curbs/walks/patios), etc. shall be protected from impact damage of any sort, staining from leaky trucks or equipment, or other damage.

1.04 PACKAGING, DELIVERY, STORAGE AND HANDLING

A. Plants shall be properly marked for identification and for checking. Each block of plants and at least 25% of each variety of separate plants in any one shipment shall have legible labels securely attached upon delivery to the site.

Product Handling:

During hot weather and when practical, the contractor may be required to transport plant materials between sunset and sunrise if transported in an open trailer or un-refrigerated box.

Dug material should be maintained and watered as required at the nursery to guarantee their vitality and health until shipping.

Protect all trunks, stems, branches, and root balls during tree tying, wrapping and loading operations from damage.

Load balls or containers onto transport vehicle and secure in a manner that protects the structural integrity of the root balls.

The contractor shall be solely responsible for the safe transportation of plants to the site and their condition upon arrival. Trees damaged, dehydrated or abused during transit or storage will be rejected.

Plant materials shall not be stored on concrete or asphalt or left exposed to the sun.

Roots and balls of plants shall be adequately protected at all times from the sun and drying winds.

The Landscape Architect may inspect any phase of this operation and may reject any plant material improperly handled during any phase of this operation.

Nothing in this Section shall be interpreted as relieving the contractor of the responsibility of providing healthy, viable plants, nor shall it have any effect upon the terms of the warranty specified herein.

Deliver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery, and while stored at the site.

Delivery and plantings, storage of dry bulk materials and other shall be coordinated with project General Contractor to ensure appropriate staging area. Protect dry bulk materials from inclement weather conditions such as wind and moisture.

1.06 SUBMITTALS

A. Furnish two (1) copies of manufacturer's literature, plans, samples, certifications, delivery tickets, or laboratory analytical data for approval by the Landscape Architect prior to commencement of all work under this contract for the following items:

- Specified granular and tablet Fertilizers (certification, rate of application and number to tablets per plant pit)
- Weed control, Pre-emergent and anti-desiccant (certification)
- Tree guys (literature)
- Sodded Turf (literature and Delivery Ticket)
- Lawn Edging (literature) See plan.
- Wood Mulch (sample)

Submit proposed plant placement schedule to owner, indicating dates for each type of landscape work during normal seasons for such work in area of site. Once accepted, revise dates only as approved in writing, after documentation of reasons for delay.

1.07 PROJECT WARRANTY

A. Warranty trees and other plant materials, for a period of one year after date of substantial completion, against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond Landscape Installer's control.

B. Remove and replace trees or other plants found to be dead or in unhealthy condition during warranty period. Replace trees or other plants that are in doubtful condition at end of warranty period; unless, in opinion of Architect, it is advisable to extend warranty period for a full growing season.

C. All replacements shall be plants of the same kind, size, and quality as originally specified and they shall be furnished, planted, guyed and maintained as specified at no additional cost.

D. Another inspection shall be conducted at end of extended warranty period to determine acceptance or rejection. Only one replacement (per tree or plant) will be required at end of warranty period, except for losses or replacements due to failure to comply with specified requirements.

PART 2 - PRODUCTS

2.01 SOIL, SOIL AMENDMENTS

A. Topsoil is stockpiled on site for contractor use.

Contractor shall ensure the following amount of topsoil is found in all planter and lawn areas over a non-compacted sub-grade

- Lawn Areas: 6 inch depth.
- Planter Areas: 12 inch depth.

Contractor shall amend top soil on site based on the results of soil test with the following amounts:

2.4 lbs. Nitrogen/1000 sq ft.
2.6 lbs. P2O5/1000 sq ft.
3.6 lbs. K2O/1000 sq ft.

Contractor shall have agronomy soils test performed or provide a soil certificate for proposed imported soil. Test results shall be submitted to Landscape Architect for approval prior to delivery of the topsoil to jobsite. Imported topsoil shall be obtained from well-drained arable land and shall be free from sub-soil, refuse, roots, heavy or stiff clay, stones 1 inch and larger in largest dimension, coarse sand, sticks, brush, litter, and other deleterious substances. Amend soil as needed to meet the ideal parameters in the chart below:

Soil Parameter	Acceptable	Ideal	Non Ideal - Possibly Toxic	Notes
pH	5.5-6.4	6.0-7.5	< 5.5* and > 8.5*	low pH corrected by addition of lime (lvs can give amount needed); high pH difficult to correct; instead solve sodium problems if any and deal with fertility issues caused by high pH
EC, dS/m	< 2.5	< 1.0-1.5	> 4.0-6.0	lower salt content by leaching with good quality water (solve sodium problems if any prior to leaching)
CaCO ₃ (calcium carbonate), %	< 10	< 1	> 100-80	difficult to correct; generally require more phosphorus and some micronutrient fertilizers
SAR ¹ (SP)	< 8 (1:10)	< 4 (1:10)	> 11 (> 10)	lower by addition of gypsum or similar (lvs can give amounts needed)
OM, %	> 1.0	> 3.0	N/A	
Leaf %	< 80%	< 5%	N/A	
SW/Clay ratio	< 2.0 (total of two is 25-35% ratio is not critical if adequate this range)			
CEC ²	> 12	15-25	N/A	
color	all	red, brown, black (avoid grey & yellow)	N/A	
aggregate (0-20mm) stability, not dispersed (clumpy)	> 1 hour	> 2 hours	N/A	
Saturated infiltration Rate (lvs measured after 1 full irrigation)	> 0.2 inch/hour	> 0.6 inch/hour	< 0.1 inch/hour	difficult to correct; select different soil
Subsoil drainage rate	> 0.6 inch/hour	> 1.0 inch/hour	< 0.0 inch/hour	difficult to correct; select different soil
Bulk Density, g/cm ³	1.3-1.6	1.3-1.5	> 1.7-1.8	correct with tillage, but does not always correct problems permanently
NO ₃ -N, ppm	any	any	see EC	add fertilizer to meet plant needs
P - Biochar/peat, ppm	any	10-40 ppm	N/A	add fertilizer to meet plant needs; if P is high = environmental problems
P - Bray P ₁ ppm (only nonacidiformous)	any	20-80 ppm	N/A	add fertilizer to meet plant needs; if P is high = environmental problems
P - Mchalski P ₁ ppm (only nonacidiformous)	any	20-80 ppm	N/A	add fertilizer to meet plant needs
Zn, ppm	> 300	> 300	N/A	add fertilizer to meet plant needs
Mg, ppm	> 100	> 100	N/A	add fertilizer to meet plant needs
B ₁	see table (SP)			
S ³ , ppm	any	< 200	see EC	add fertilizer to meet plant needs
Zn, ppm	> 1.0	> 1.0-5.0	> 1000	add fertilizer to meet plant needs if value is low; if too high then reject soil
Fe, ppm	> 4	> 6 (and pH < 7.2 or tolerant species)	Unlikely	add fertilizer to meet plant needs if value is low; if too high then reject soil
Mn, ppm	> 6	> 8	> 800	add fertilizer to meet plant needs if value is low; if too high then reject soil
Cu, ppm	0.2-2.0	0.4-2.0	> 200	add fertilizer to meet plant needs if value is low; if too high then reject soil
B ₂ , ppm	0.9-2.0	1-2	> 2-4	add fertilizer to meet plant needs if value is low; if too high then reject soil
Cl, ppm	any	12-175	> 175-200	from soil
*AL, ppm	1.0-10	0	> 10-20	(if high, raise soil pH to greater than 5.5 with lime (see pH))

2.02 PLANT MATERIALS

A. Plants shall be typical of their species and variety, have normal growth habits, well developed branches, dense foliage, vigorous, fibrous root systems.

Plants shall be free from defects and injuries. All shipments of plant stock shall comply with existing State and Federal laws and regulations governing plant disease and infection and interstate movement of nursery stock.

Quality and size of plants, spread of roots, and size of balls shall be in accordance with USA-Z60.1-1973, "American Standard for Nursery Stock" as published by the American Association of Nurserymen. The caliper of trees shall be measured six (6) inches above the surface of the ground. Plant lists indicate minimum size requirements only. Plant materials shall be equal to or greater in size than those specified.

Plants shall not be pruned before planting.

All trees must have straight trunks with single leader intact, except in the case of specimen plants or otherwise indicated by the plan. Bank shall be free of abrasion, all cuts over 1-1/4" shall have callused over.

Trees shall not be accepted which have had their leaders cut or which have leaders damaged so that cutting is necessary.

Trees and shrubs shall be true to name.

Upon request, Contractor shall furnish the landscape architect a list indicating the source of each of the different plants to be supplied.

All Plants shall be ball and burlap or container grown unless otherwise indicated on the Plant Material List.

All plants shall be even in growth with balanced root and top growth and shall be No. 1 in grade or type conforming to the latest edition of American Standard for Nursery Stock.

Plant material shall be nursery grown and shall have received the proper fertilizing, watering, root pruning and such other care as is normally given for a particular plant under nursery conditions. All plants shall be hardy under climate conditions similar to those in the locality of the project.

All material shall be freshly dug according to American Standard for Nursery Stock. All ball and burlap material shall be of firm earth from the original soil in which the plant grew. The ball shall be wrapped with burlap and tightly tied or enclosed in a tight fitting wire basket to hold it firm and intact. Any plants with broken or loose balls or manufactured balls will be rejected.

All plant material in containers shall have been established in that container. Any newly potted material will be rejected.

2.03 FERTILIZER FOR PLANT MATERIAL

A. Fertilize trees and shrubs with a fertilizer tablet having a slow release nitrogen, phosphorus and potash (20-10-5) plus sulphur and iron formulation. 21 gram tablets manufactured by Agriform or equal. Jobe Tree Spikes are acceptable.

Execution: Position plant in hole and backfill by 1/2 the ball root height. Place tablet(s) beside the root ball about 1 inch from root tips. Do not place tablets in the bottom of the plant hole. Complete backfill, tamp and water.

- 1-2 Gallon Size: 1 Tablet
- 3-5 Gallon Size: 3 Tablets
- 15 Gallon Size: 7 Tablets
- 1.5" Caliper Trees: 6 Tablets
- 2" Caliper Trees: 8 Tablets
- 3" Caliper Trees: 12 Tablets

Any fertilizer that becomes caked or otherwise damaged, making it unsuitable for use will not be accepted.

2.04 ORGANIC/INORGANIC MULCH

Provide and place minimum three inch depth of medium shredded wood mulch. Color shall be dark brown in color. No weed barrier fabric shall be installed under organic mulch. Submit sample to owner for approval prior to bulk delivery.

2.05 WEED CONTROL / PRE-EMERGENT

During construction, landscape contractor shall ensure all installed landscapes areas remain weed free. All spray applied weed control shall be applied by a certified chemical applicator and shall adhere to all local and state governing codes and manufacturer's recommended application rates and processes. Contractor shall be aware of high wind conditions and shall in no case apply weed control during a wind event that may carry product beyond its desired location.

Pre-Emergent weed killer shall be granulated and shall be "Treflan" or "Dacthal", or approved 12 month weed preventer. Product shall be delivered to the site in its original container, bearing the manufacturer's label and instructions for handling and application. Pre-Emergent shall be applied by landscape contractor following final topsoil grade and plant placement and prior to organic mulch placement. Care shall be taken to avoid spreading of Pre-Emergent on adjacent hardscapes and lawn areas. Ensure proper coverage as per manufacturer's recommendation.

PART 3 - EXECUTION

3.01 GENERAL

A. Before commencing Contractor shall become familiar with and obtain any necessary permits required for staging and performing work on the property according to Vineyard City or Utah County or other governing ordinances.

B. Proceed with and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

C. Plant or install materials during normal planting seasons for each type of landscape work required. Correlate planting with specified maintenance periods to provide maintenance from date of substantial completion for that portion of the work. Actual planting shall be performed only when weather and soil conditions are suitable and in accordance with locally accepted practice and as approved by the landscape architect.

D. Contractor shall be responsible to determine location of all underground utilities and perform work in a manner which will in all cases avoid possible damage. Hand excavate, as required. Low voltage and line voltage electrical lines may exist throughout the site as well as drain lines and sumps. Very all locations with General Contractor.

E. The Contractor is responsible for all damage to these utilities. In the event that damage to existing utilities is found, the owner shall coordinate the repair and labor to fix the work and shall back charge the contractor for these services.

F. Contractor shall only layout quantity of plantings that can be installed same day. Following layout of plantings as per plans and prior to planting, landscape architect shall inspect layout for approval and may adjust as necessary prior to installation. Landscape contractor shall notify landscape architect 48 hours in advance of plants being placed.

G. If underground construction, obstructions, or large rocks are encountered in excavation of planting areas, other locations for the planting may be selected by the landscape architect.

H. Plant totals are for convenience only and are not guaranteed. Verify amounts shown on drawings. All planting indicated on drawings is required unless indicated otherwise.

3.02 PREPARATION OF PLANTING BEDS

A. The Contractor shall furnish and spread topsoil on planting bed areas as required to meet lines, grades and elevations as needed, after light rolling and natural settlement. Finish grade of all planting bed areas shall be minimum of 4 inch below grade of any adjacent landscape to allow for 3" depth of organic mulch.

B. Where possible, light equipment shall be utilized to deliver and spread topsoil to planter areas. Sub-grade or topsoil shall not be driven on, placed or spread when ground is muddy from precipitation. Allow ground to adequately dry to avoid compaction of sub-grade and topsoil.

C. Fine grade planting bed areas to smooth, even surface with loose, uniformly fine texture. Roll, rake and drag planting bed areas, remove ridges and fill depressions, as required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading.

D. Beds shall be raked smooth and put in first class condition before final acceptance and placement of pre-emergent weed control and organic mulch.

3.03 EXCAVATION FOR PLANTING

Obstruction Below Ground: Do not plant any plant with a large obstruction directly below the root ball. In the event that rock or obstructions are encountered in any plant pit excavation, alternate locations may be selected by the Landscape Architect.

Drainage: In the event that impervious rock or hardpan is encountered during digging operations, in tree pits or shrub pits, it shall be the responsibility of the Landscape Contractor to ensure proper drainage in all pits. Minimum drainage requirements shall be the loss of water at the rate of 6" drop in water level per hour. All rock or hardpan encountered shall be disposed of from the site.

Holes for trees and shrubs shall be three times (3x) the ball diameter for trees and two to three times (2-3x) the ball diameter for shrubs as per planting details where possible. Subsoil excavated from tree and shrub pits may be used as backfill material for planting if it is free from sub-soil, refuse, roots, heavy or stiff clay, stones 1 inch and larger in largest dimension, coarse sand, sticks, brush, litter, and other deleterious substances. Mix excavated soil by 50% volume with imported topsoil to backfilling.

Tree rings in lawn areas, if any, shall be circular in outline, with a diameter at least two (2) feet greater than the diameter of the ball of each plant to be planted and edged with specified edging.

Where turf areas are damaged by planting operations, they shall be replaced by equal quality turf by the Landscape Contractor at no cost to the Owner.

Remove debris, rock, and other deleterious material excavated from plants pits from the site.

3.04 SETTING AND BACKFILLING PLANTS

Placing Plants: Plants shall be set with the root ball at the same natural relationship as it had in the nursery. The top of the root ball should be 1-2" above the finished grade. Plants shall be handled by the root ball, not by the trunk or by the stems. Balls must be handled carefully and the trees must be skidded (not dropped) into the hole.

Place specified fertilizer tablets as specified.

Backfill shall be worked around the ball and tamped to eliminate air pockets. Water plants when the hole is two-thirds (2/3) full of backfill.

At this point, any tie wire, twine, burlap, grow bags, etc., tied or wrapped around the stem or plant ball shall be loosened and pulled away from the plant. The burlap on the ball shall be laid back from the top of the ball and any excess burlap and ties shall be cut off and removed from the planting except where wire cage prohibits removal of burlap. Wire cage shall not be removed.

Soil treatment: A pre-emergent herbicide such as "Dacthal" or "Treflan", or an approved equal shall be delivered to the site in its original container, bearing the manufacturer's label and instructions for handling and application. All trees and shrubs are to be receive pre-emergent.

All plants shall be watered and straightened the same day as planted. No holes will be left open over night.

Container grown plants shall have containers cut open and the plants carefully removed so that the earth around roots of plant remain unbroken. Plants shall then be planted in the same manner as ball plants.

Plant trees after final grades are established and prior to planting/ placement of lawns, unless otherwise acceptable to landscape architect. If planting of trees occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

All plant material must be watered the same day it is planted in order to comply with these specifications. Any plant not watered at the time of planting may be rejected at the option of the landscape architect.

As needed, the Contractor shall hand water newly planted trees twice a week for eight weeks with a minimum of five (5) gallons per tree per watering unless irrigation system is in place and provides adequate water.

All plant material shall be staked and guyed as shown on detail. The stakes will be driven after the tree has been set-in, but before backfilling begins so as to avoid damage to the roots. Any deviation will not be accepted.

3.05 PROTECTION AND CLEAN-UP

A. The Contractor shall remove at the end of each day: excess soil or other litter from roads or other hardscape surfaces (curbs/gutters, walks, driveways, stone patios, steps, walls, decks etc.) and other waste material. All planting sites shall be left in a condition acceptable to the landscape architect. If any remedial action is necessary by the landscape architect, the cost of such action (\$50.00 minimum) shall be withheld from payment due the Contractor. Delays in clean-up caused by weather conditions are to be reported to the landscape architect on the day such delays occur, together with and estimate of when clean-up can be affected.

3.06 INSPECTION AND ACCEPTANCE

A. When landscape work is completed, including maintenance, landscape architect may, upon request, make an inspection to determine acceptability.

B. When inspected landscape work does not comply with requirements, reject rejected work and continue specified maintenance until re-inspected by Landscape Architect and found to be acceptable. Remove rejected plants and materials promptly from the project site.

C. Final acceptance shall require that the site be clean and free of any signs of construction in progress. All hardscape areas shall be in like new condition including public streets adjacent to the property that were affected by the construction process.

SECTION 2 - TURF SOD AND SOIL PREPARATION

PART 1 - GENERAL

1.01 SCOPE OF WORK

The Work under this Section shall consist of furnishing all labor, materials and incidentals needed to install topsoil and turf grass in accordance with these Specifications.

1.02 QUALITY ASSURANCE

A. Comply with federal, state and local laws requiring inspection for plant disease and infestations. Inspection certificates required by state law shall accompany each shipment and be delivered to the Construction Project Representative.

Personnel: Employ only qualified personnel familiar with required work.

1.03 SUBMITTALS

Product Data: The Contractor shall submit as part of the project submittal package, two (2) complete sets of the supplier's guaranteed statement of:

- Composition, mixture, percentage of purity and germination for variety of sod, specified herein for approval by the landscape architect.
- Certificate of lawn fertilizer.
- Laboratory analytical data of imported topsoil (if required)

PART 2 - PRODUCTS

2.01 TOPSOIL

A. Contractor will be responsible for placement and amendment of topsoil. Contractor shall use existing on-site topsoil and shall provide imported topsoil as needed.

Contractor shall ensure the following amount of topsoil is found in all lawn areas over a non-compacted sub-grade

- Lawn Areas: 6 inch depth.

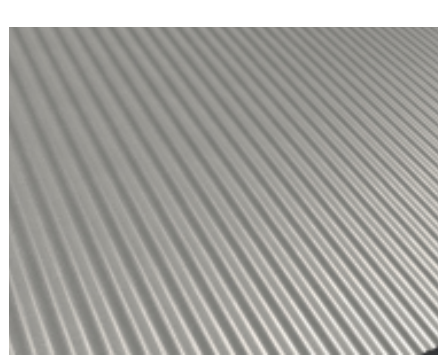
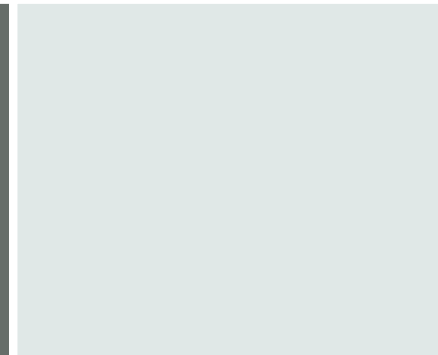
Contractor shall have agronomy soils test performed on any proposed imported soil. Test results shall be submitted to Landscape Architect for approval prior to delivery of the topsoil to jobsite. Imported topsoil shall be obtained from well-drained arable land and shall be free from sub-soil, refuse, roots, heavy or stiff clay, stones 1" inch and larger, in largest dimension, coarse sand, sticks, brush, litter, and other deleterious substances. See soil requirements in Section 1, Part 2.01.

2.02 LAWN

Contractor to recommend a drought tolerant bluegrass blend to landscape architect for approval prior to commencement of all work under this contract. Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Broken pads or pads

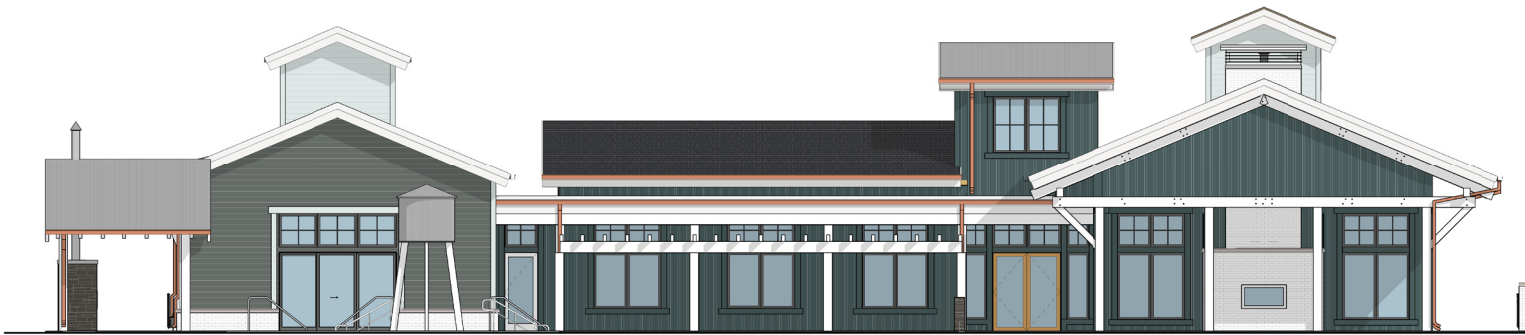
COLOR SET C - MATERIAL BOARD



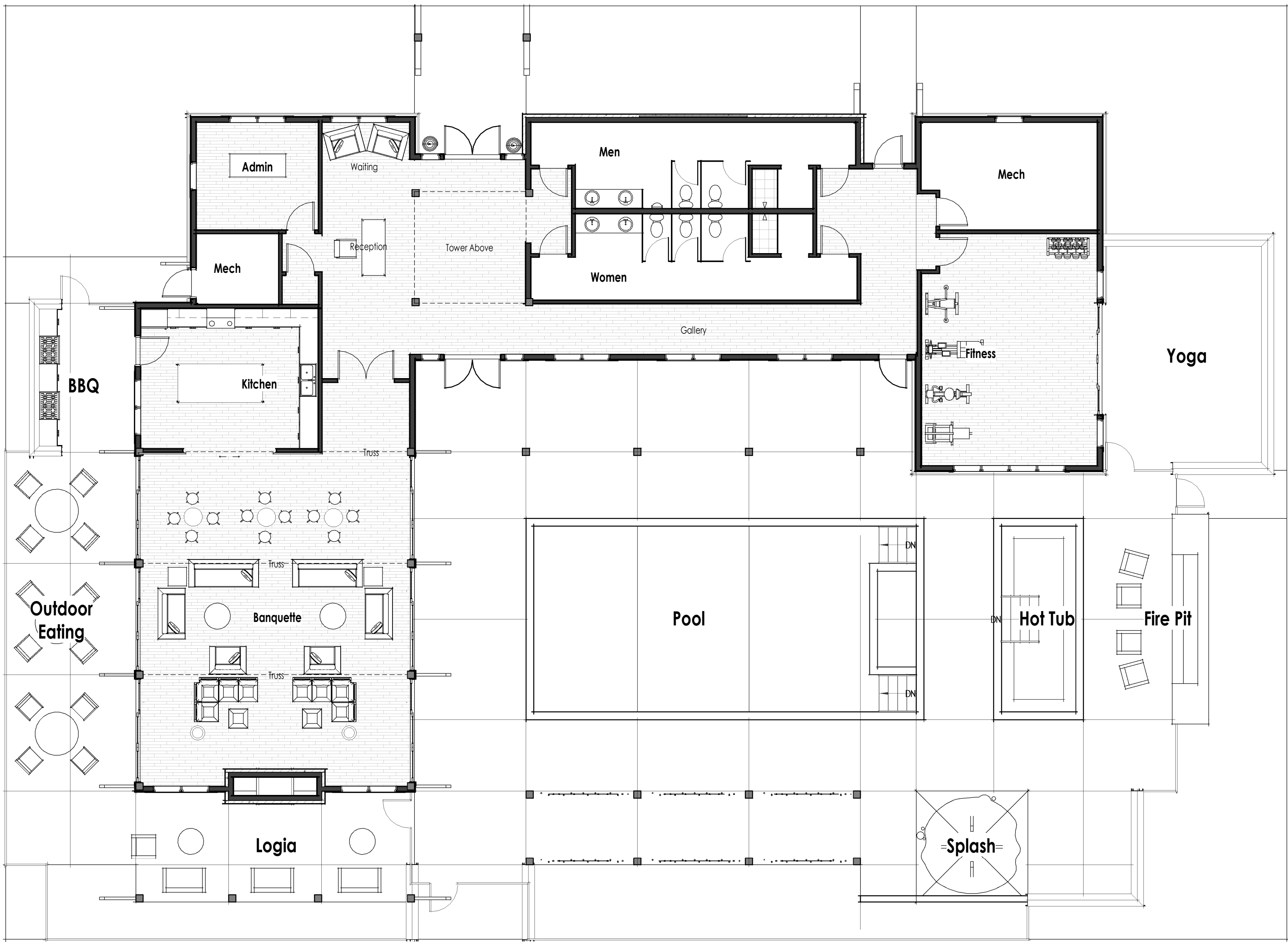
						
Corrugated Roof Natural Texture Jarden Zinc	Ashpalt Roof George Town Gray Certain Teed	Masonry Painted with Color 3	Color 1 Still Water Sherwin Williams SW 6223	Color 2 Homburg Gray Sherwin Williams SW 7622	Color 3 Snowdrop Sherwin Williams SW 6511	Entry Door Honey Wheat Provia

COLORS ARE REPRESENTATIONAL ONLY

CLUBHOUSE COLORS



COLORS ARE REPRESENTATIONAL ONLY



LEVEL 1 - PRESENTATION

1/8" = 1'-0"

1
D101

The Views I Clubhouse

6200 S 5600 W
West Valley, Utah

PROJECT NO. 15091

DATE: 3/29/2019

REVISIONS:

DESIGN REVIEW

SHEET TITLE:
LEVEL 1

SHEET NUMBER:
D101

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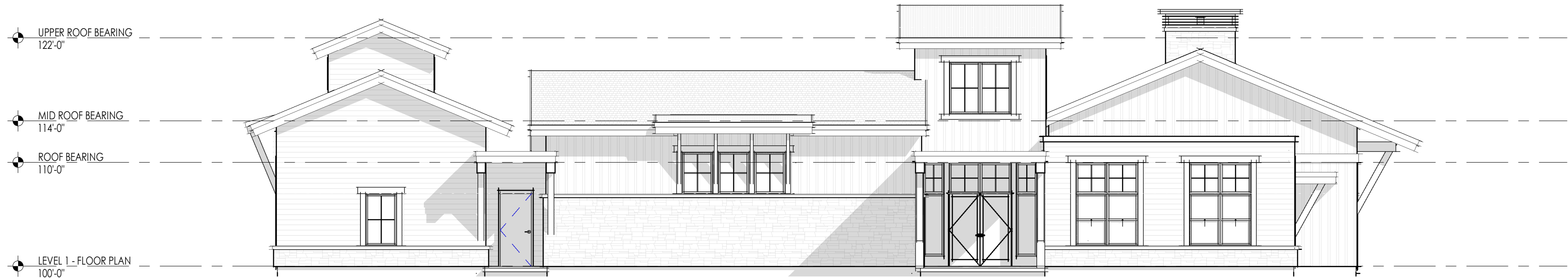
Think

Architecture

Architecture
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Landscape Architecture
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FRONT PRESENTATION

1/8" = 1'-0"

1

D201



LEFT PRESENTATION

1/8" = 1'-0"

2

D201

The Views I Clubhouse

6200 S 5600 W
West Valley, Utah

PROJECT NO. 15091

DATE: 3/29/2019

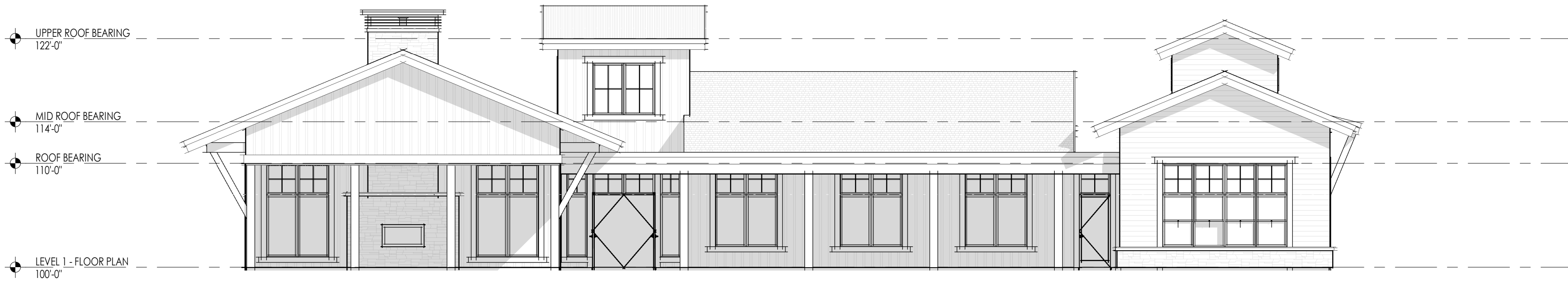
REVISIONS:

SHEET TITLE:
EXTERIOR
ELEVATIONS

D201

DESIGN REVIEW

3/29/2019 8:59:23 AM



REAR PRESENTATION

1/8" = 1'-0"

1
D202



RIGHT PRESENTATION

1/8" = 1'-0"

2
D202

The Views I Clubhouse

6200 S 5600 W
West Valley, Utah

PROJECT NO. 15091

DATE: 3/29/2019

REVISIONS:

DESIGN REVIEW

SHEET TITLE:
EXTERIOR
ELEVATIONS

D202